

1350 Baldwin Avenue
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**PLANNING BOARD
REGULAR MEETING AGENDA
1350 BALDWIN AVENUE, CITY HALL
MONDAY, JUNE 2, 2025
5:30 PM**

- 1. CALL TO ORDER**
 - A. Invocation
 - B. Pledge of Allegiance
- 2. ROLL CALL**
- 3. APPROVAL OF MINUTES**
 - A. April 7, 2025
- 4. NEW BUSINESS**
 - A. Review of the Final plans for the Circle Drive Lakeside Townhomes (2025-SP-04)
 - B. 2025-SD-01, 26th and Van Buren Subdivision, approval of the final plan
- 5. PLANNING DIRECTOR UPDATE**
- 6. CITIZEN COMMENTS**
- 7. ADJOURNMENT**

Florida Statute 286.0105. Notices of meetings and hearings must advise that a record is required to appeal. Each board, commission, or agency of this state or of any political subdivision thereof shall include in the notice of any meeting or hearing, if notice of the meeting or hearing is required, of such board, commission, or agency, conspicuously on such notice, the advice that, if a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The requirements of this section do not apply to the notice provided in s. 200.065(3). In accordance with Section 286.26, F.S., persons with disabilities may contact the City Clerk at cityclerk@defuniaksprings.net or 850-892-8500 ext. 1103.

**DeFuniak Springs Planning Board
Regular Meeting Minutes
City Council Chambers
April 7, 2025**

1. Call of Order

Graham Campbell-Work Chair, called the meeting to order at 5:30 pm.

2. Invocation and Pledge of Allegiance

Mayor Campbell lead the Invocation and Pledge of Allegiance.

3. Roll Call

Present: Graham Campbell-Work Chair, Brooke Hoke Vice Chair, Kevin Shepherd, Mark Bird, Tyrone King.

Absent: LaKisha Brinson.

Also, present City Attorney Clay Adkinson, Mayor Bob Campbell, Planning Director Chris Wallace, and City Clerk Rafael Ali.

4. APPROVAL OF MINUTES

A. March 3, 2025

A motion was made to approve the March 3, 2025, minutes by Mr. Bird and seconded by Mr. Shepherd; the motion passed without objection.

5. NEW BUSINESS

A. Review of the Final Plan for Bay Springs Ph 3 (2024-SD-01)

Mr. Wallace presented on the Final Plan for Bay Springs Ph 3 (2024-SD-01).

Mr. Wallace stated that he needs a recommendation to approve the Final Plan for Bay Springs Ph 3 (2024-SD-01).

Mr. Wallace stated that the applicant is here if the board has any questions.

A motion was made to approve the Final Plan for Bay Springs Ph 3 (2024-SD-01) by Mr. Shepherd and seconded by Mrs. Hoke; the motion passed without objection.

B. Review of the preliminary plans for the Circle Drive Lakeside Townhomes (2025-SP-04)

Mr. Wallace presented the preliminary plans for the Circle Drive Lakeside Townhomes (2025-SP-04).

He stated that the project received approval from the City Council to provide on-street parking and perform repairs to the right of way.

Mr. Campbell-Work asked if the units were going to be rentals. Mr. Wallace responded that he believes they will be.

Mrs. Hoke asked if the home located behind the property will be demolished. Mr. Wallace answered that if the home is not included in the demolition plan, it will not be demolished.

Mrs. Hoke inquired about any restrictions on the hospital, as it is listed on the National Register of Historic Places. Mr. Wallace answered that they will need to comply with historic district standards.

Mrs. Hoke expressed that she would like to hear from Mr. Knauer prior to making a decision. Mr. Wallace confirmed that the project will return for a final review.

Mayor Campbell called Cliff Knauer.

Mr. Knauer stated that the house will not be demolished.

Mrs. Hoke asked whether it will be a rental or available for purchase. Mr. Knauer replied that he would need to ask the owner.

Mr. Knauer stated that the units will be condominiums, not apartments.

Mrs. Hoke asked if more detailed plans will be available later.

Mr. Wallace confirmed that it will come back for further review.

Mr. Bird commented that he is happy the corner is finally getting some attention.

A motion was made to approve the preliminary plan for the Circle Drive Lakeside Townhomes (2025-SP-04) by Mr. Bird and seconded by Mr. Shepherd; the motion passed without objection.

C. 2025-SSA-05 & 2025-RZ-04, Jonathan Nash's request to amend the Future Land Use Map and a request to amend the Zoning Map.

Mr. Wallace presented on 2025-SSA-05 and 2025-RZ-04, which involves Jonathan Nash's request to amend the Future Land Use Map and the Zoning Map.

Mr. Wallace requested a motion to approve the Future Land Use Map amendment to designate the area as commercial in order to accommodate future development.

Mrs. Hoke asked whether the two parcels in question are connected. Thomas Brandon clarified that they are connected only by an easement.

Mrs. Hoke inquired whether there is any reason to believe there might be an issue with the parcels becoming commercial. Mr. Brandon responded that the family is comfortable with the proposed land use change.

A motion was made to approve the future land use amendment by Mrs. Hoke and seconded by Mr. Bird; the motion passed without objection.

A motion was made to amend the zoning map to a C2 commercial by Mr. Bird and seconded by Mr. Shepherd; the motion passed without objection.

6. PLANNING DIRECTOR UPDATE

Mr. Wallace provided his planning director update.

Mr. Wallace stated that Tractor Supply is finally open.

Mr. Wallace stated that Aspen Dental is pretty complete on the outside but needs to do more work on the inside.

Mr. Wallace stated that Verizon is the other store next to Aspen.

Mr. Wallace stated that there is no leases yet for the building in front of 4 Cs Bar-B-Q.

Mr. Wallace stated that there is a new ex officio from Eglin Air Force Base.

Mr. Shepherd, asked how they got appointed.

Mr. Adkinson stated that the Department of Defense sends them to us.

The board had discussion on lights and stop signs.

Mr. Adkinson stated that placement of a stop sign is supposed to be based on a traffic study, but the City Council, under general police power, can dictate the placement of street signage.

Mr. King asked how long before we get a light on Walton and 83.

Mr. Adkinson stated that the State decides that.

Mr. Wallace answered that it is in the works.

Mayor Campbell asked if there is any action on the apartment complex between Bob Sikes and 19th. Mr. Wallace answered no.

Mayor Campbell asked how far the developer is in the process.

Mr. Wallace answered that they haven't submitted anything up to this point.

Mr. Adkinson stated that it was annexed into the city.

Mr. Wallace stated that he is getting married this Sunday.

7. CITIZEN COMMENTS

8. ADJOURNMENT

The meeting was adjourned at 6:08 PM.

Approved:

Graham Campbell-Work, Chair

ATTEST:

Rafael Ali, City Clerk

Proper notice having been duly given.

DRAFT



PLANNING BOARD

Agenda Item Form

Meeting Date: June 2, 2025
Department: Planning Department

Presenter:

Chris Wallace, Planning Director

Request Type: Action Item

Does this item require legal review? no

Time Required for Request: 5 Minutes

Agenda Item Title:

Review of the Final plans for the Circle Drive Lakeside Townhomes (2025-SP-04)

Attachment(s):

1. Construction-Plans-Circle Drive Townhomes_2025-2-23

Brief Summary:

Cliff Knauer has submitted plans for the rehabilitation of the old hospital located on the corner of Circle Drive and Live Oak Ave. The plan is to renovate the hospital into 9 apartment units, with the house next door, to the north, remaining a single family home with renovations. All required parking is provided on site. The developer has received permission from the City Council to add additional parking on Live Oak that will be available for anyone to utilize.

Action Requested:

Approve the final plan for the Circle Drive Lakeside Townhomes

Issue Overview:

Background Information & Issue Summary:

Financial Impacts:

Staff Recommendations/Comments:

Staff recommends approval of this request

GENERAL NOTES:

- 1. THE CONTRACTORS SHALL NOTIFY THE ENGINEER OF RECORD OR DESIGNEE 48 HOURS PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING PRIVATE AND PUBLIC UTILITIES, PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES...

UTILITY NOTES:

- 1. THE LOCATION SHOWN FOR EXISTING UNDERGROUND UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK IN EACH AREA...

KNOWN UTILITIES OWNERS INCLUDE:

WATER/SEWER REGIONAL UTILITIES 4432 US HWY 98 E SANTA ROSA BEACH, FL. PH: (850) 231-5114

ELECTRIC - GULF POWER MR. TOM RICHARDSON 140 HOLLYWOOD BLVD SW FORT WALTON BEACH, FL. PH: (850) 833-4881

NATURAL GAS - OKALOOSA GAS DISTRICT MR. GLENN BAILEY 20 HUGHES ST NE FORT WALTON BEACH, FL. PH: (850) 729-4700

CABLE - COX CABLE 320 RACETRACK ROAD NW FORT WALTON BEACH, FL. PH: (850) 862-4142

TELEPHONE - CENTURYLINK 411 B MARY ESTHER CUT OFF FORT WALTON BEACH, FL. PH: (850) 244-1150

SUNSHINE STATE ONE-CALL 605 WEST GARDEN STREET ORLANDO, FL. 32809 PH: (800) 432-4770

- 3. CENTURYLINK WILL COMPLETE ALL WORK DURING THE HOURS OF 7:30 AM - 4:30 PM, MONDAY THRU FRIDAY, NO NIGHT OR WEEKEND WORK.
4. ALL CABLE DAMAGE MUST BE REPORTED TO THE CENTURYLINK REPAIR SERVICE DEPARTMENT AT 611 FROM A LAND LINE OR 877-737-2478 IF USING A CELL PHONE.

LAYOUT NOTES:

- 1. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM (1988).
2. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK...

STORMWATER SYSTEM MAINTENANCE:

- 1. CONTRACTOR SHALL STAGE AND TIME CONSTRUCTION TO MINIMIZE THE SIZE OF EXPOSED SOIL AREAS AND THE TIME BETWEEN EXPOSING THE SOIL AREA AND FINISHING THE SOIL AREA.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING A TASK TO PROVIDE EROSION CONTROL UNLESS ANOTHER PARTY HAS BEEN PREVIOUSLY SPECIFIED AS RESPONSIBLE FOR THE EROSION CONTROL ASSOCIATED WITH THAT TASK...

EROSION CONTROL NOTES:

- 1. EROSION PROTECTION: SOIL EROSION SEDIMENTATION MUST BE CONTROLLED AND RETAINED ON SITE DURING CONSTRUCTION. THEREFORE, EROSION PROTECTION, SUCH AS STAKED BALED HAY AND SILT FENCE BARRIERS, MUST BE INSTALLED PRIOR TO START OF CONSTRUCTION.
2. SILT FENCE BARRIER SHALL BE INSTALLED AS SHOWN ON PLANS, AND IN ALL AREAS SUBJECT TO SOIL EROSION SEDIMENTATION.

CONSTRUCTION SEQUENCE:

- 1. CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION CONFERENCE WITH THE WALTON COUNTY, UTILITY COMPANIES, ENGINEER AND ALL OTHER PARTIES REQUIRED FOR COMMENCEMENT OF PROJECT. THIS MEETING SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF ANY PROJECT RELATED ACTIVITIES.
2. THE CONTRACTOR SHALL ENSURE THAT A FOREMAN OR SUPERVISOR WHO HAS BEEN CERTIFIED UNDER FLORIDA STORMWATER, EROSION, AND SEDIMENTATION CONTROL INSPECTOR TRAINING PROGRAM IS AVAILABLE IN PERSON OR BY TELEPHONE AT ALL TIMES DURING CONSTRUCTION ACTIVITIES...

- 10. DAILY SWEEPING WILL BE REQUIRED ON THE PROPERTY AND IMMEDIATELY AFTER STORM EVENTS TO PREVENT TRACKING OF SEDIMENT ONTO STREETS AND RIGHT-OF-WAY.
11. REMOVE ALL SEDIMENT/EROSION CONTROL DEVICES, REMOVE AND DISTRIBUTE ANY REMAINING SEDIMENT ONCE FULLY STABILIZED, ASSURE THAT DISTRIBUTED SEDIMENT WILL NOT BE REDISTRIBUTED...

LEGEND

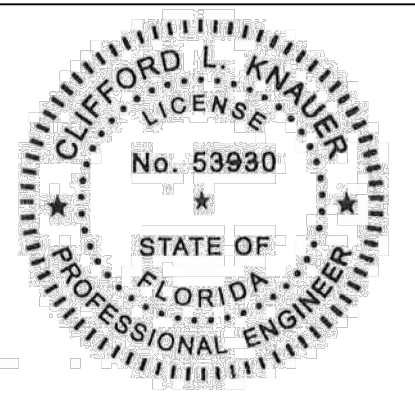
LEGEND table listing symbols for wetlands, asphalt, dirt roadway, gravel roadway, landscape buffer, wetland buffer, concrete, property lines, setbacks, storm drains, silt fencing, turbidity barriers, hay bales, existing objects, section lines, elevation views, and spot elevations.

SYMBOLS & ABBREVIATIONS:

SYMBOLS & ABBREVIATIONS table listing symbols for numbers, distances, business types, surveying, elevation, records, measurements, descriptions, lengths, angles, bearings, lengths, materials, pipes, concrete, points, tangency, curvature, beginning, commencement, way, resources, protection, agencies, corporations, control lines, conditioners, control points, monuments, identification, building setbacks, land offices, transportation, drawings, centerlines, capped iron rods, concrete monuments, concrete manholes, manholes, electric manholes, irrigation valves, gas valves, stubouts, cleanouts, mailboxes, benchmarks, monitoring wells, piling, anchors, poles, flags, miscellaneous, electric boxes, telephone boxes, television boxes, spot elevations, contour elevations, buried cables, fiber optic cables, electric lines, gas lines, sanitary sewer gravity lines, sanitary sewer force main, telephone lines, television lines, water-main, overhead utility lines, overhead electric lines.



KNAUER NEVER ENGINEERING, INC. 877 CR 983 NORTH SANTA ROSA BEACH, FL 32459 PHONE: (850) 974-8815 cliff@knaurnevereng.com



CLIFFORD L. KNAUER, P.E. 53930

Table with columns for DATE, DESCRIPTION, and NO. for tracking changes or notes.

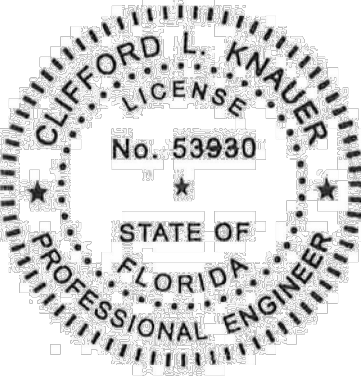
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PROJECT NO. SP1025 DATE FEBRUARY 2025 DRAWN BY BTW APPROVED BY BTW

DUE DILIGENCE

SHEET NO. C1.1

TITLE GENERAL NOTES AND LEGEND



CLIFFORD L. KNAUER, P.E. 53930

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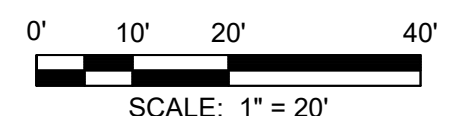
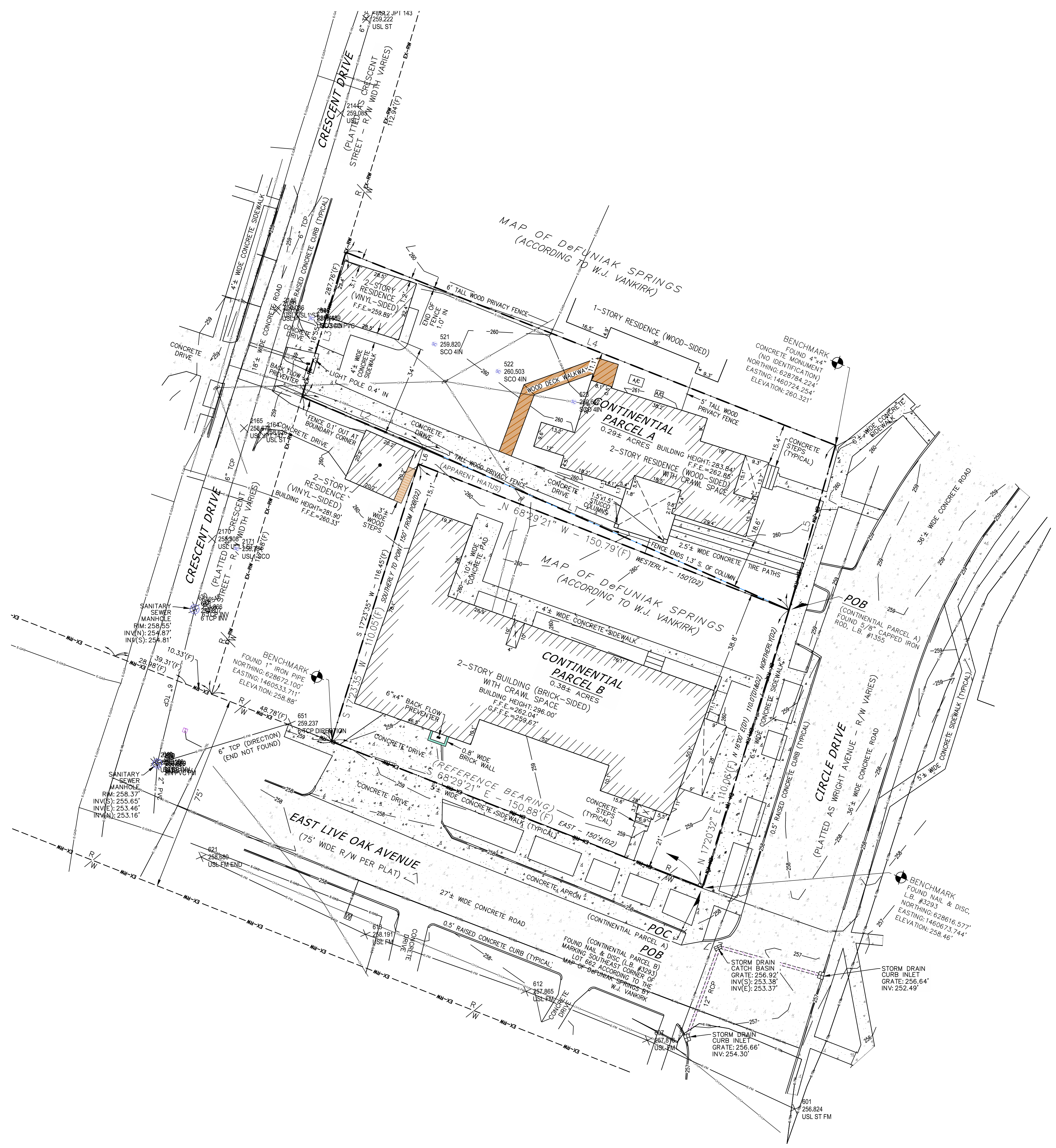
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REYNOLDS HENDERSON CONTINENTAL PACIFIC
 CITY OF DEFUNIAK SPRINGS
 WALTON COUNTY, FLORIDA

TITLE: **EXISTING CONDITIONS**

PROJECT NO. SP1025
 DATE FEBRUARY 2025
 DRAWN BY BTW
 APPROVED BY BTW

PROJECT STATUS
 DUE DILIGENCE

SHEET NO.
C2.1



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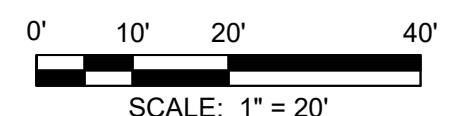
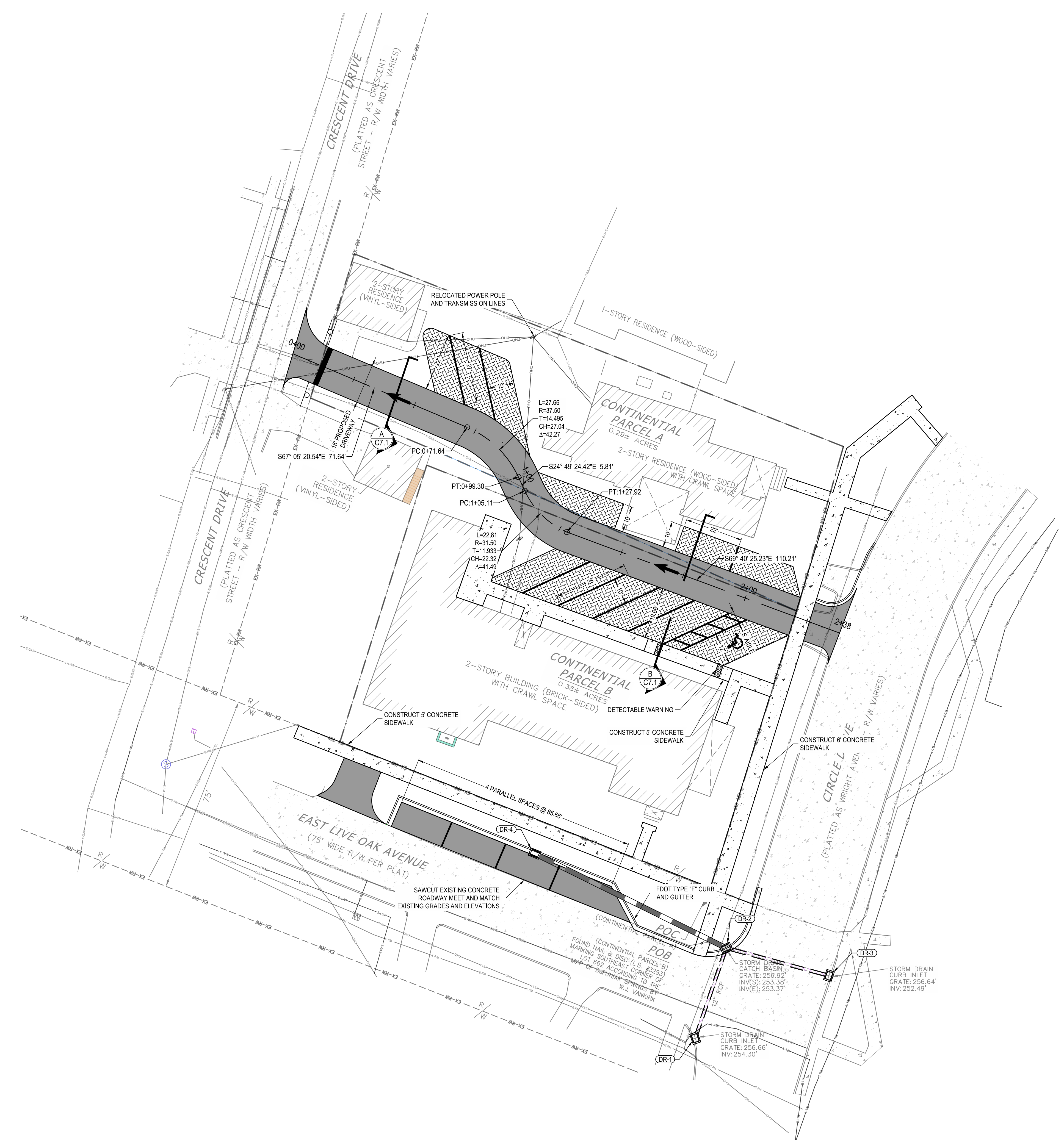
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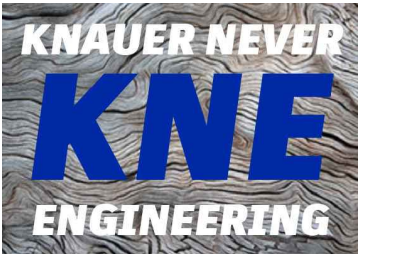
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PROJECT STATUS
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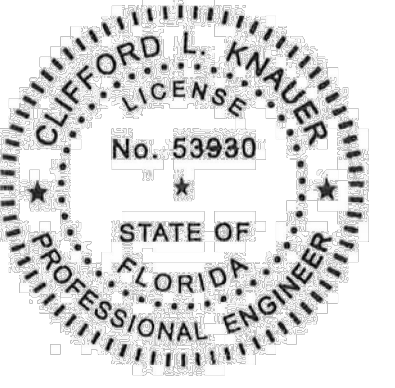
SHEET NO.
C3.2

TITLE
 GEOMETRY PLAN





KNAUER NEVER ENGINEERING, PLLC
 21 W. WILLOW MIST ROAD
 INLET BEACH, FL 32461
 PHONE: (850) 974-8815
 cliff@knaurnevereng.com



CLIFFORD L. KNAUER, P.E. 53930

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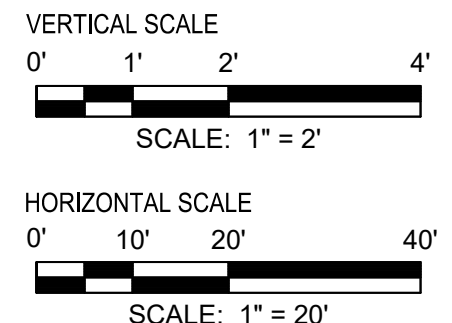
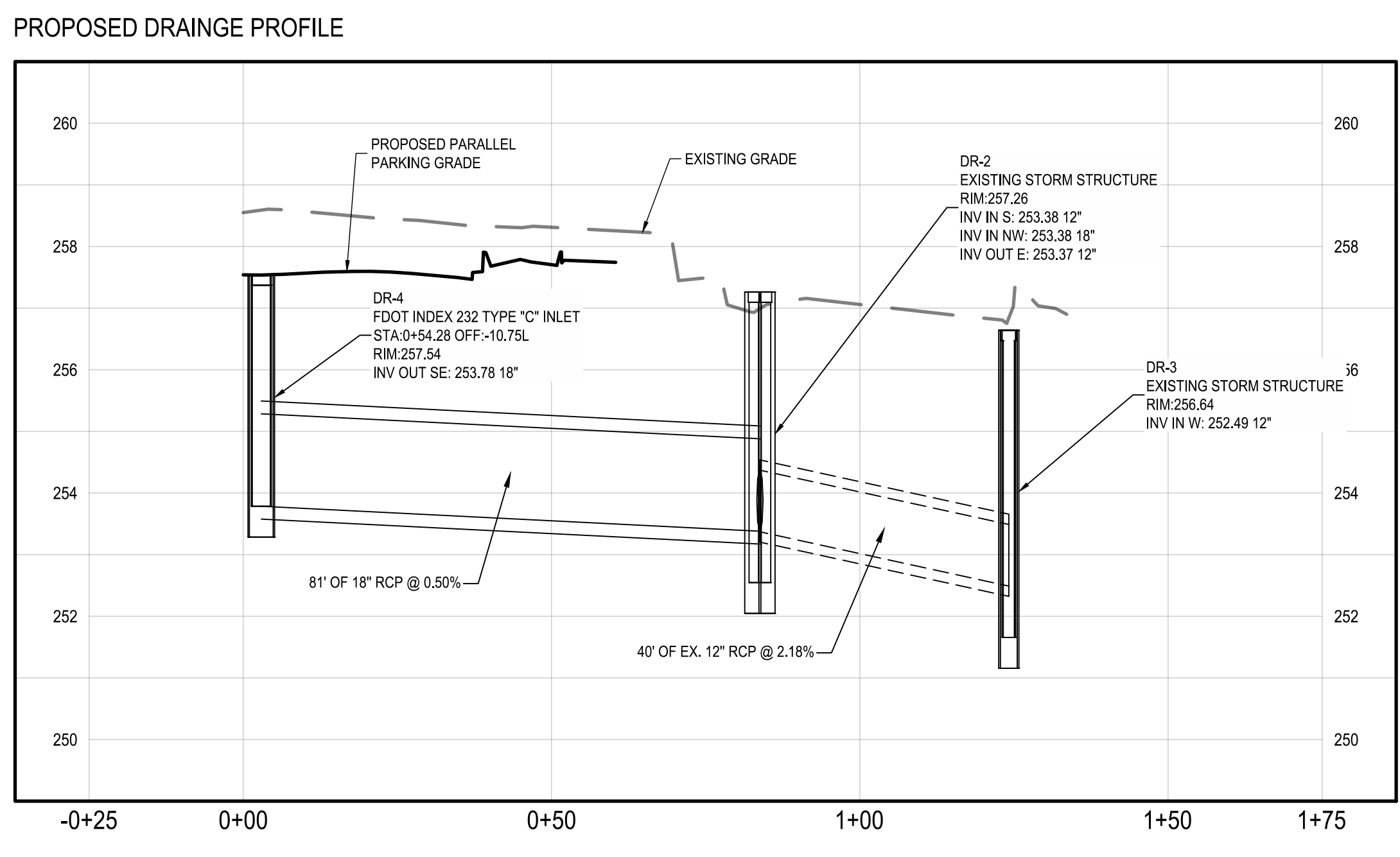
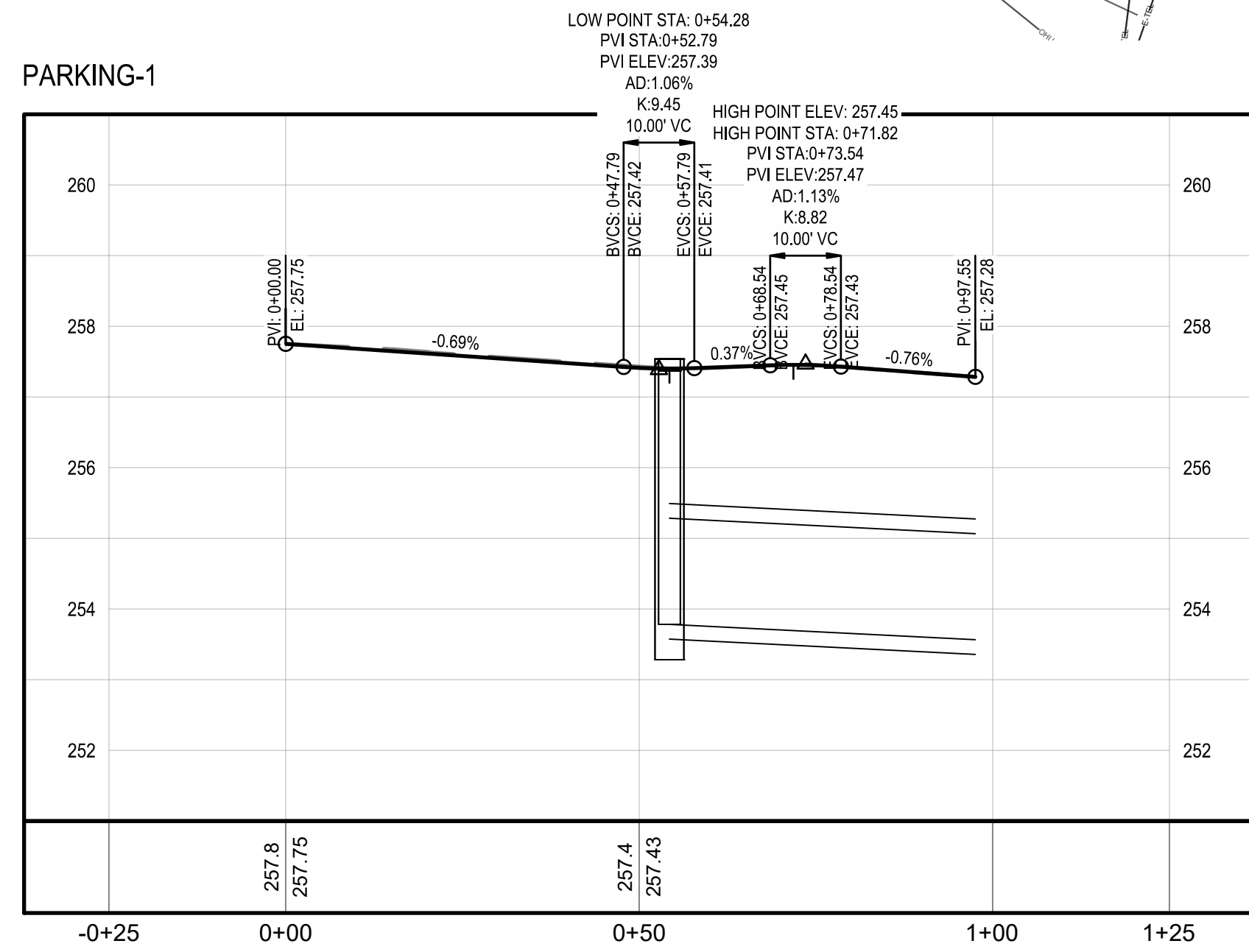
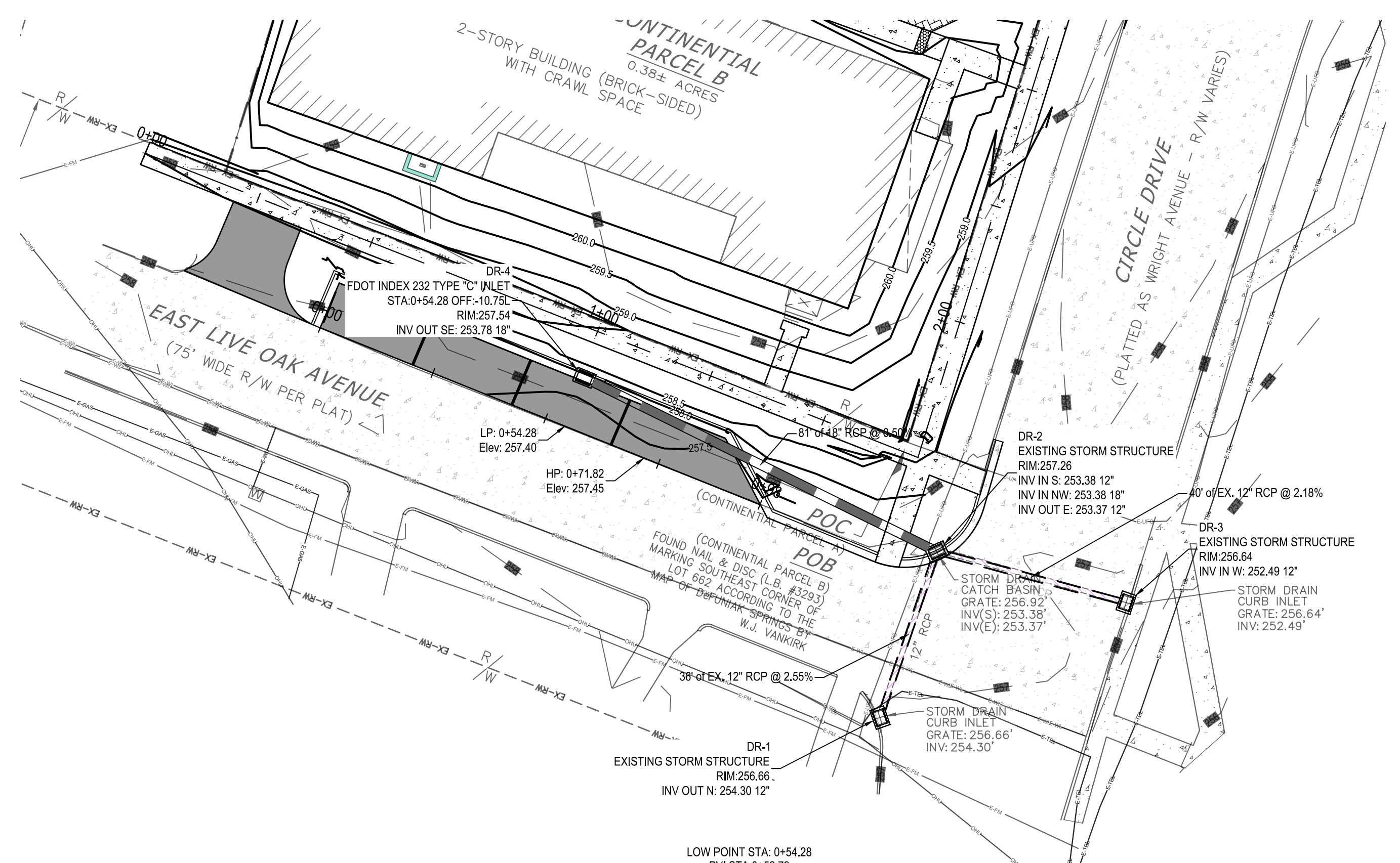
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 CITY OF DEFWINAK SPRINGS
 WALTON COUNTY, FLORIDA

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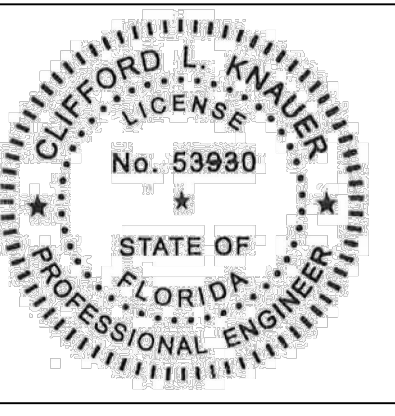
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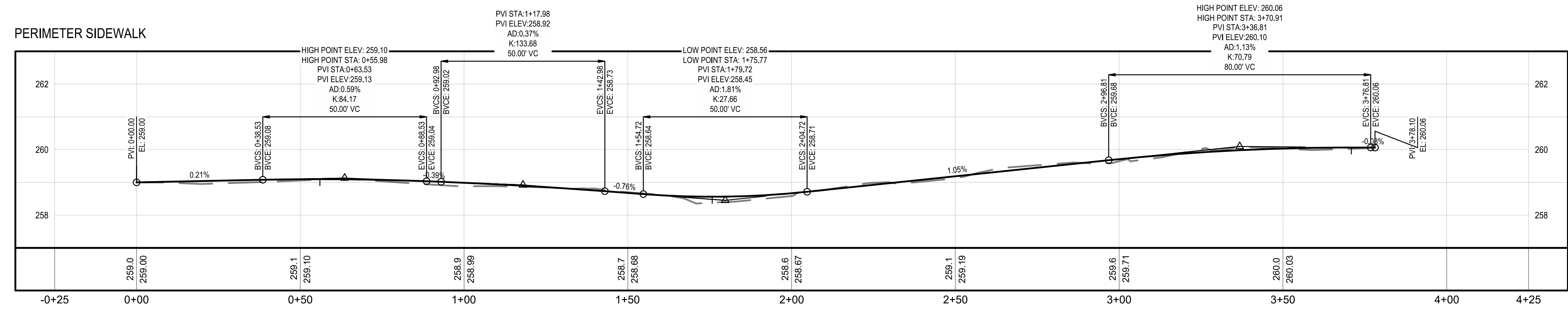
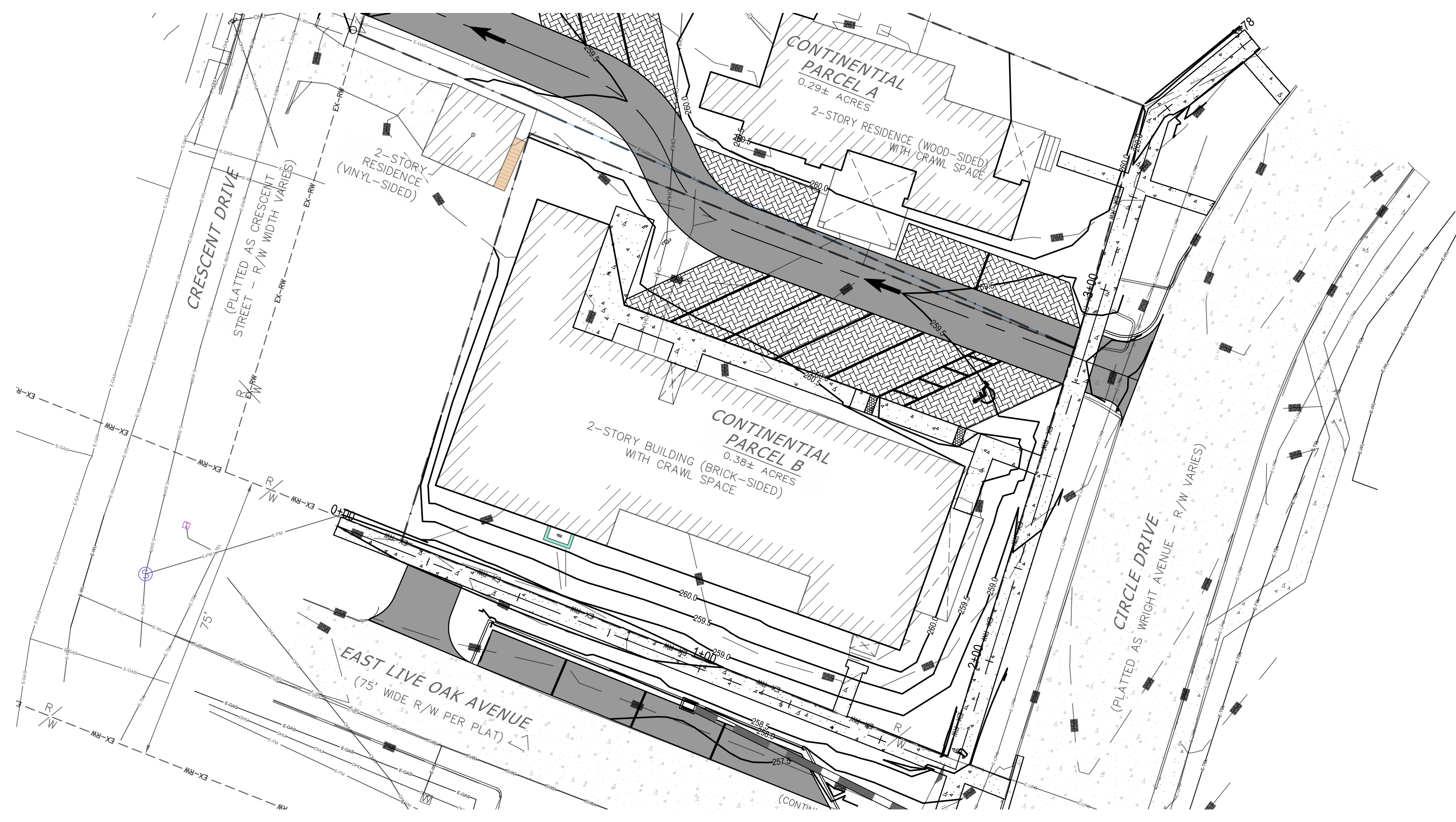
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CLIFFORD L. KNAUER, P.E. 53930



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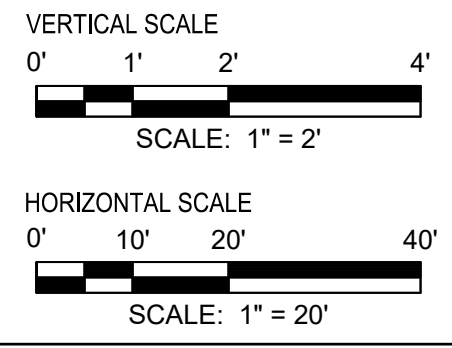
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CITY OF DEFUINAK SPRINGS
WALTON COUNTY, FLORIDA

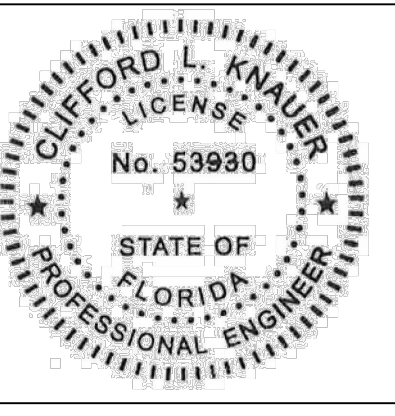
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PROJECT NO. SP1025
DATE FEBRUARY 2025
DRAWN BY BTW
APPROVED BY BTW

PROJECT STATUS
DUE DILIGENCE

SHEET NO.
C5.3





CLIFFORD L. KNAUER, P.E. 53930

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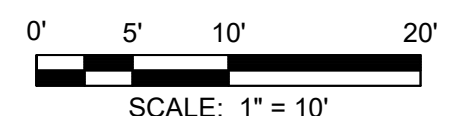
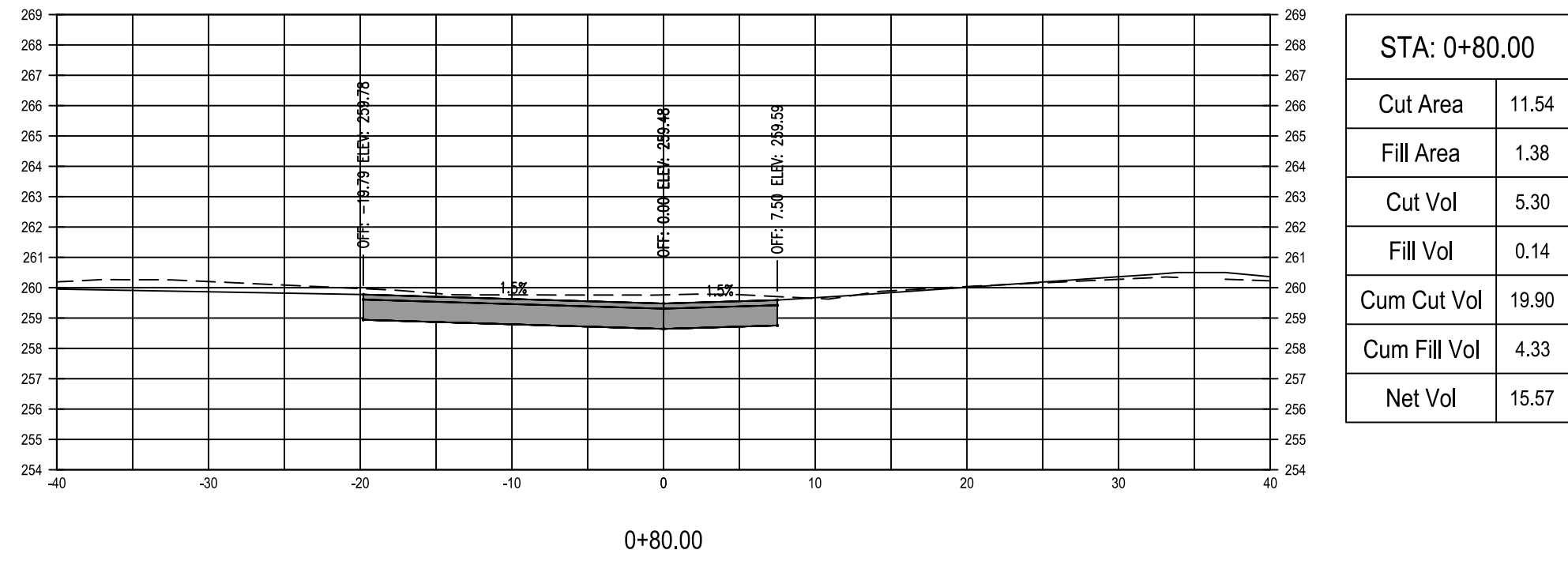
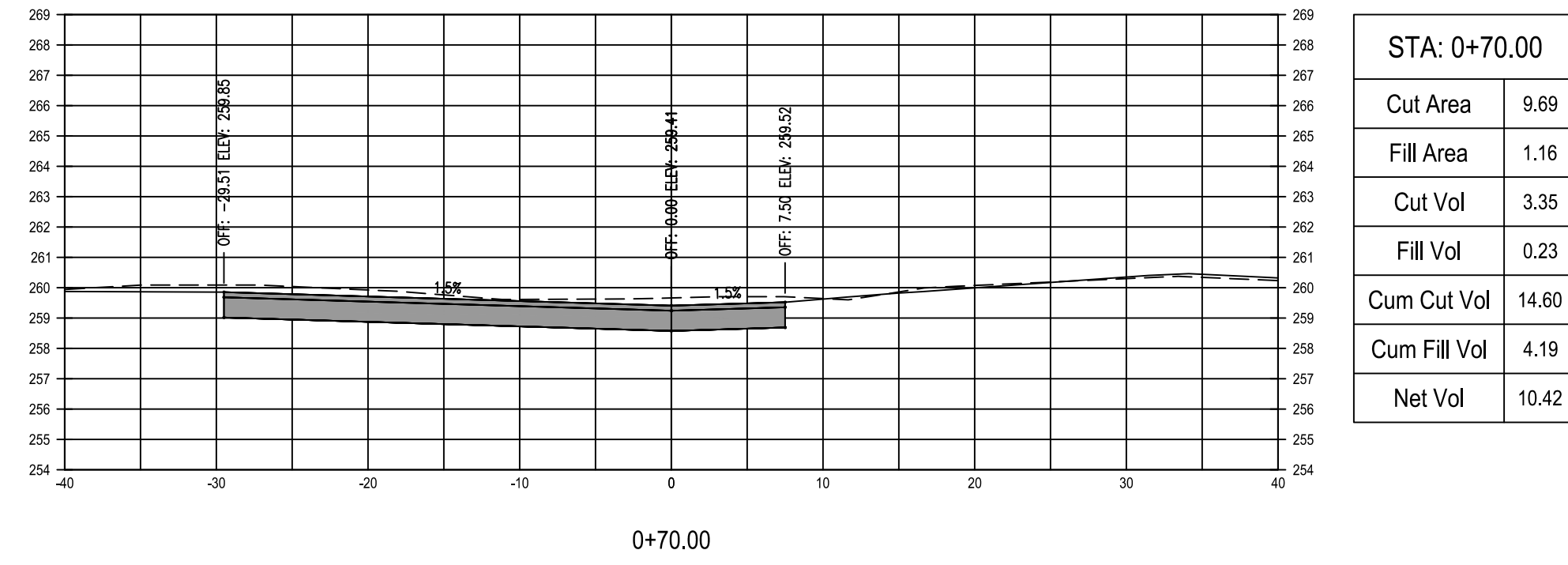
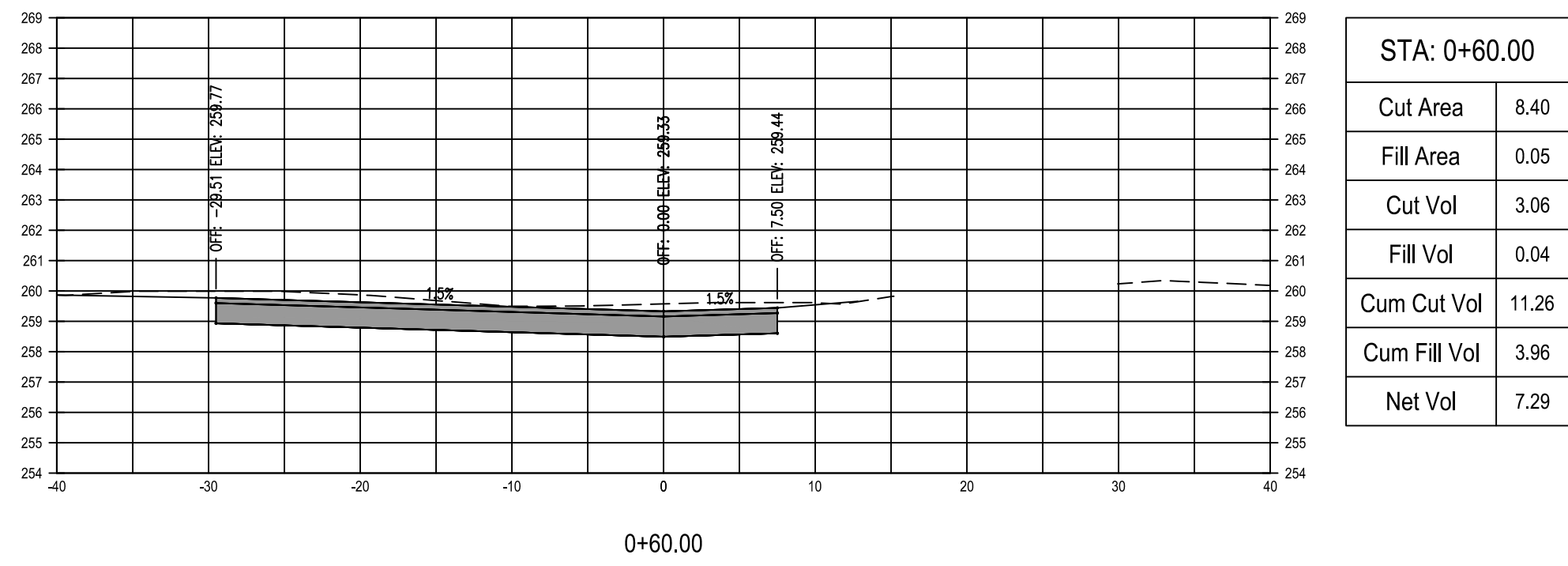
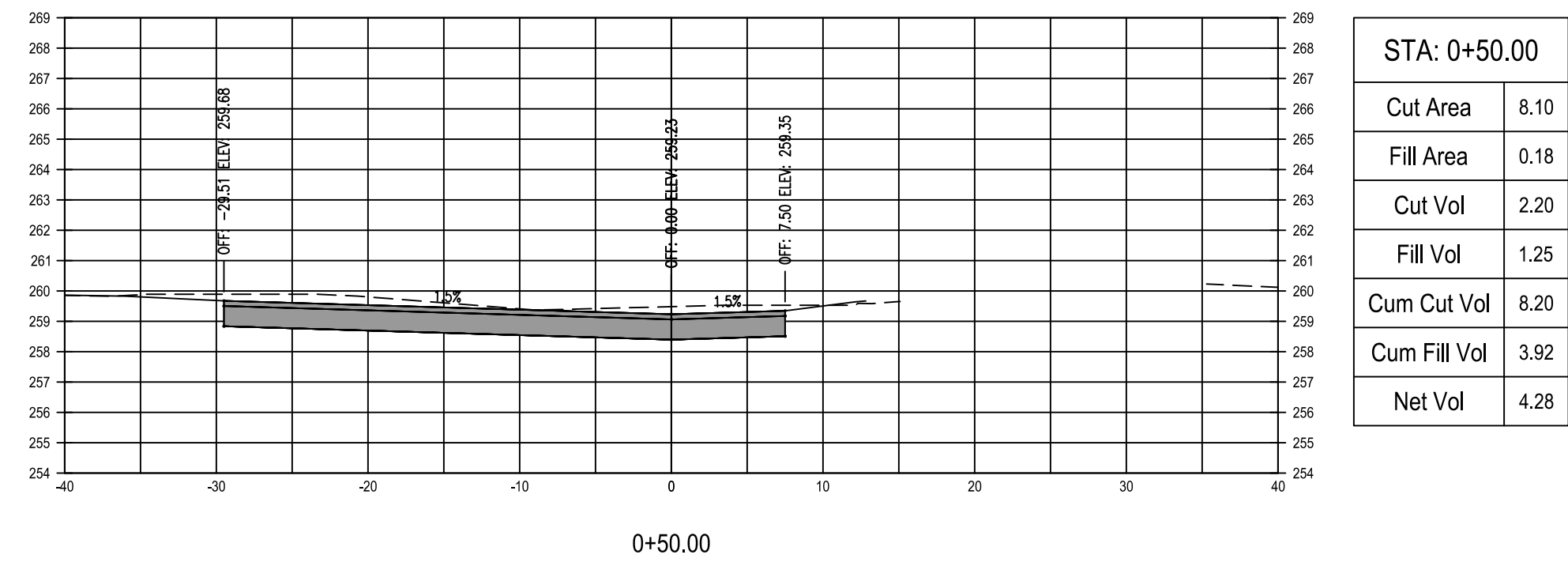
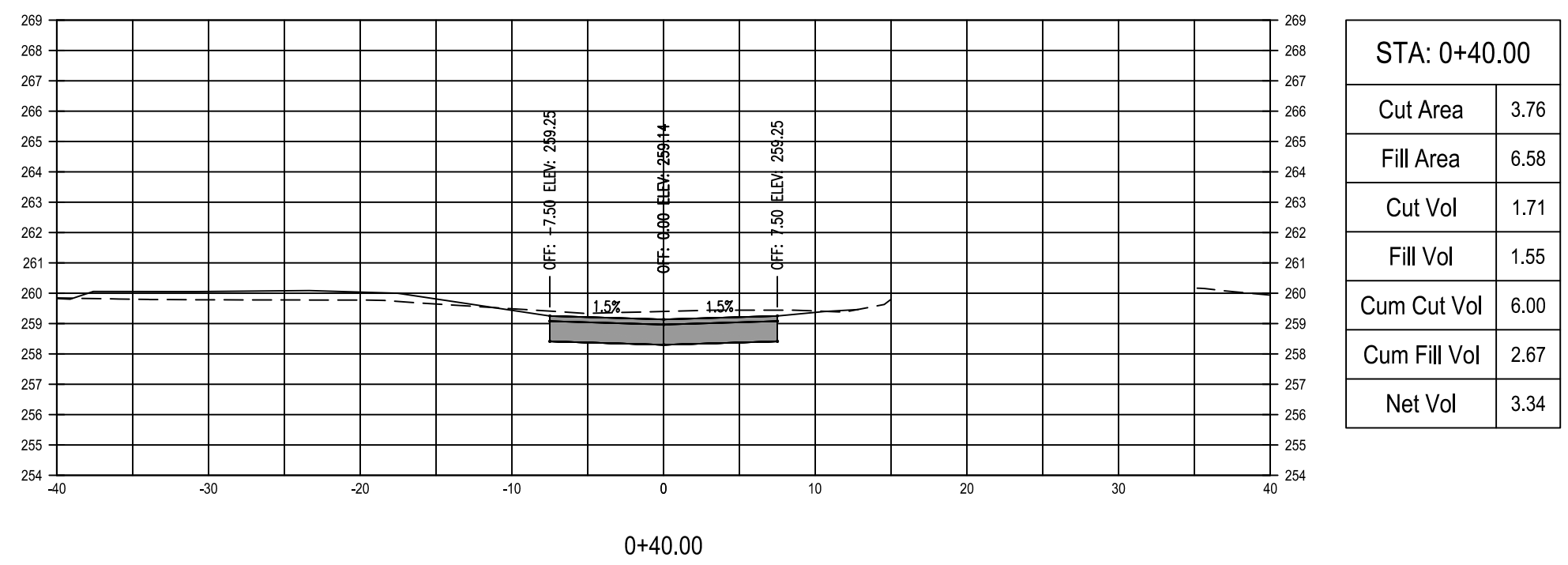
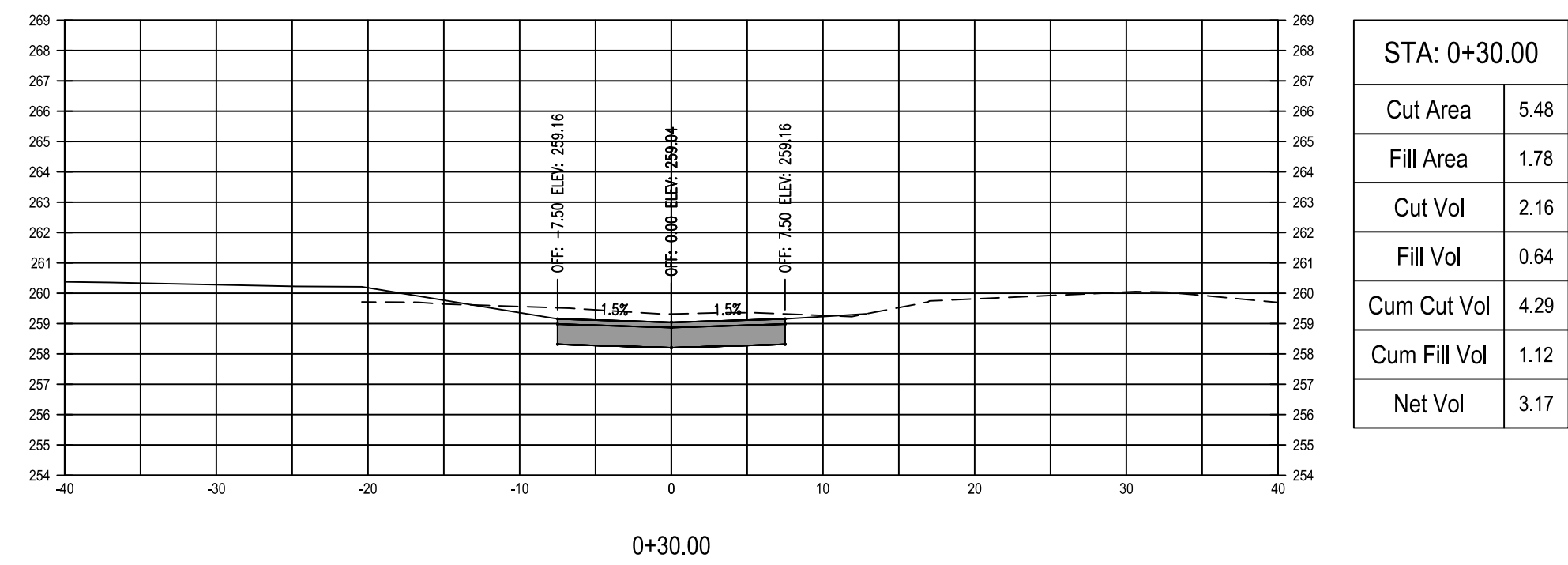
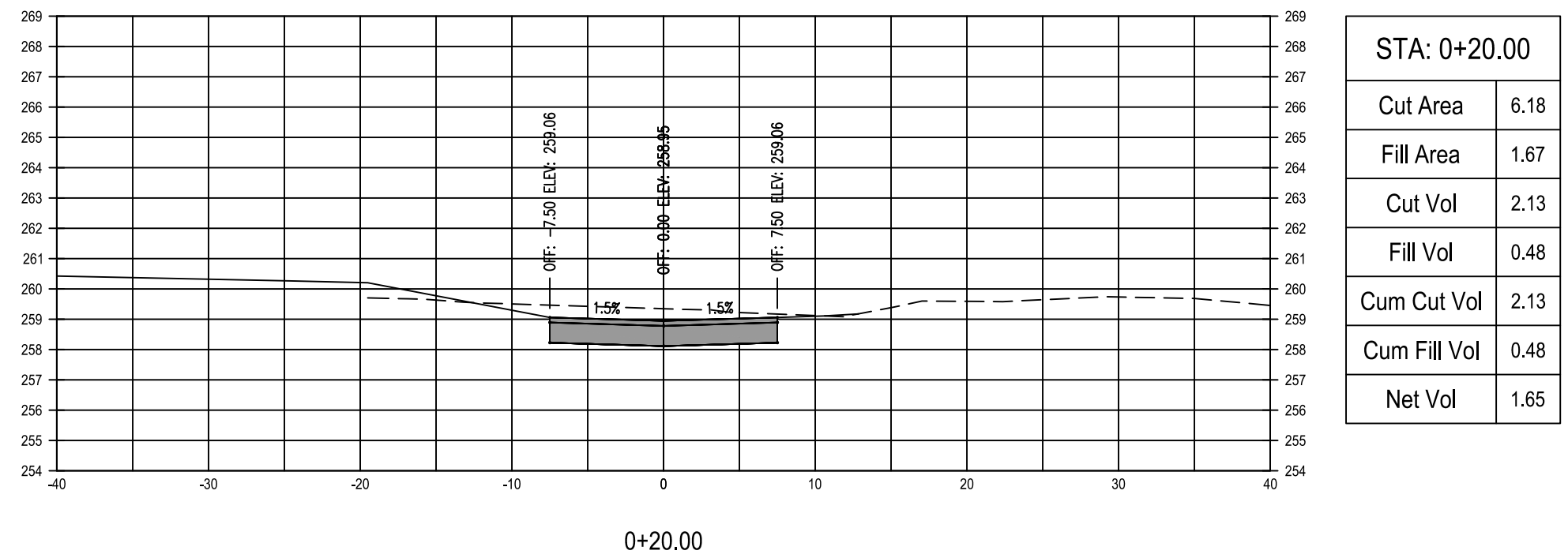
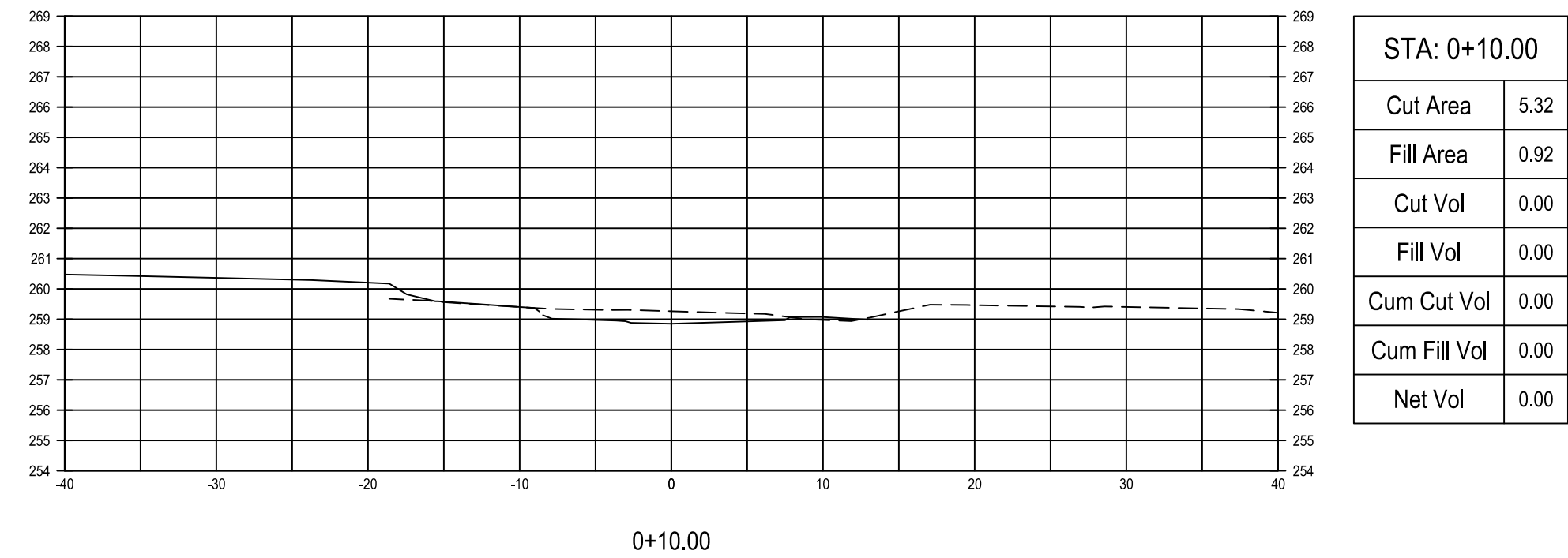
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REYNOLDS HENDERSON CONTINENTAL PACIFIC
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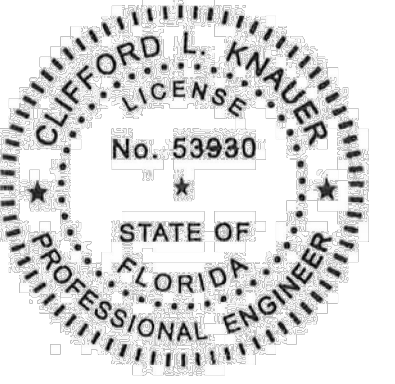
TITLE
DRIVEWAY CROSS SECTIONS

PROJECT NO. SP1025
 DATE FEBRUARY 2025
 DRAWN BY BTW
 APPROVED BY BTW

PROJECT STATUS
 DUE DILIGENCE

SHEET NO.
C5.4





CLIFFORD L. KNAUER, P.E. 53930

NO.	DESCRIPTION	DATE

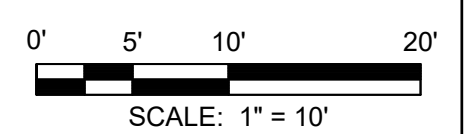
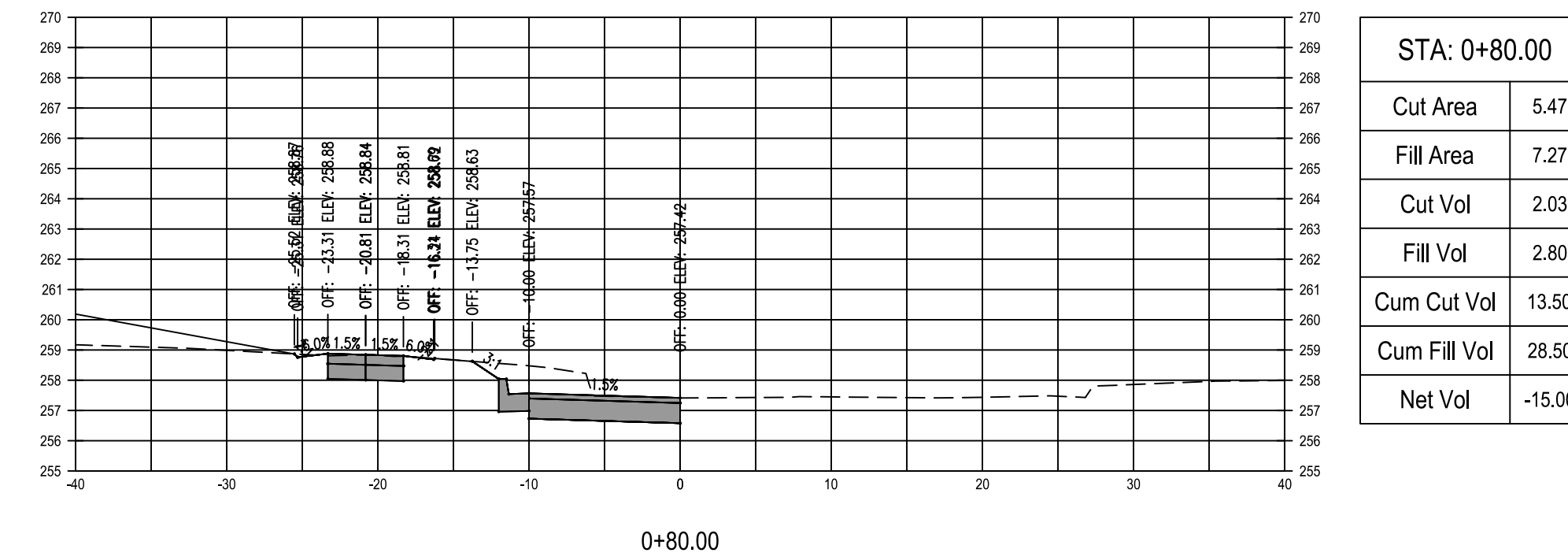
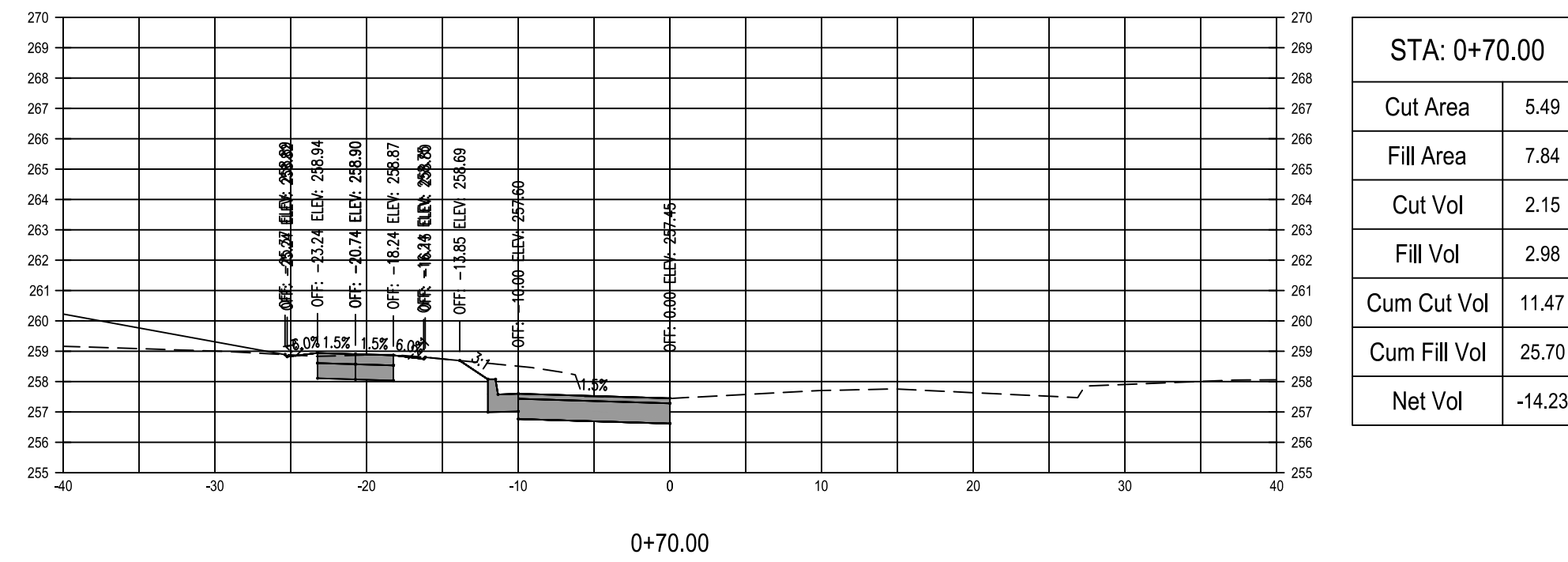
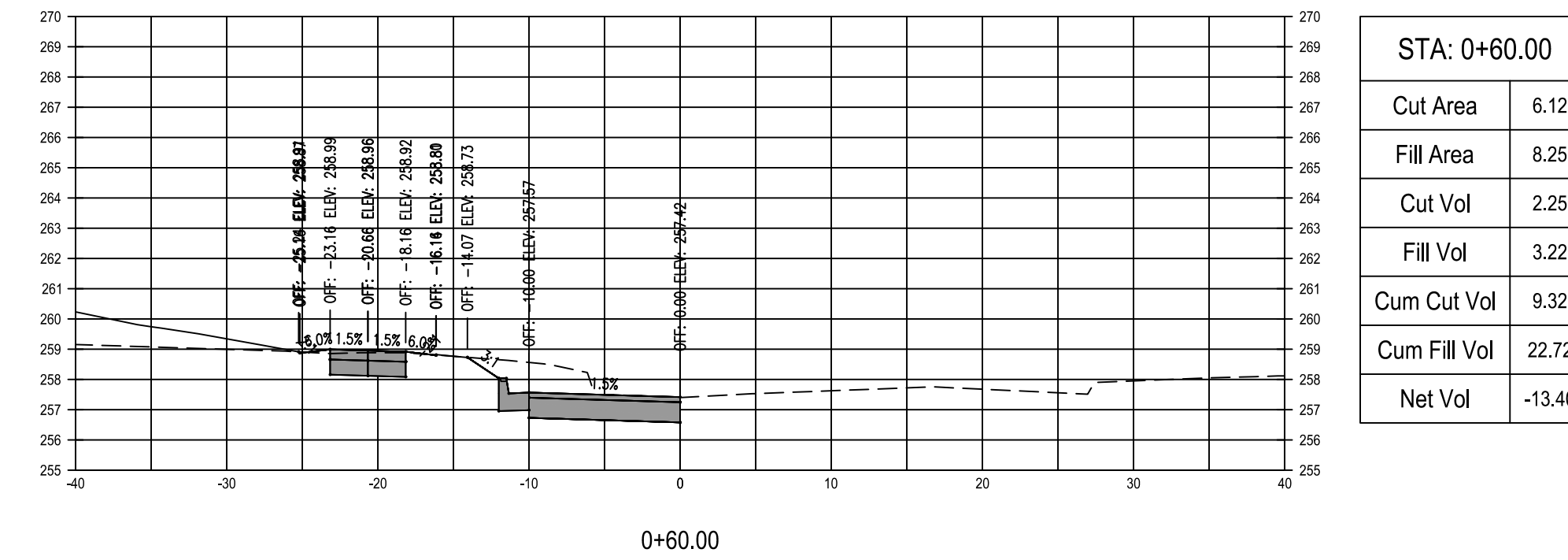
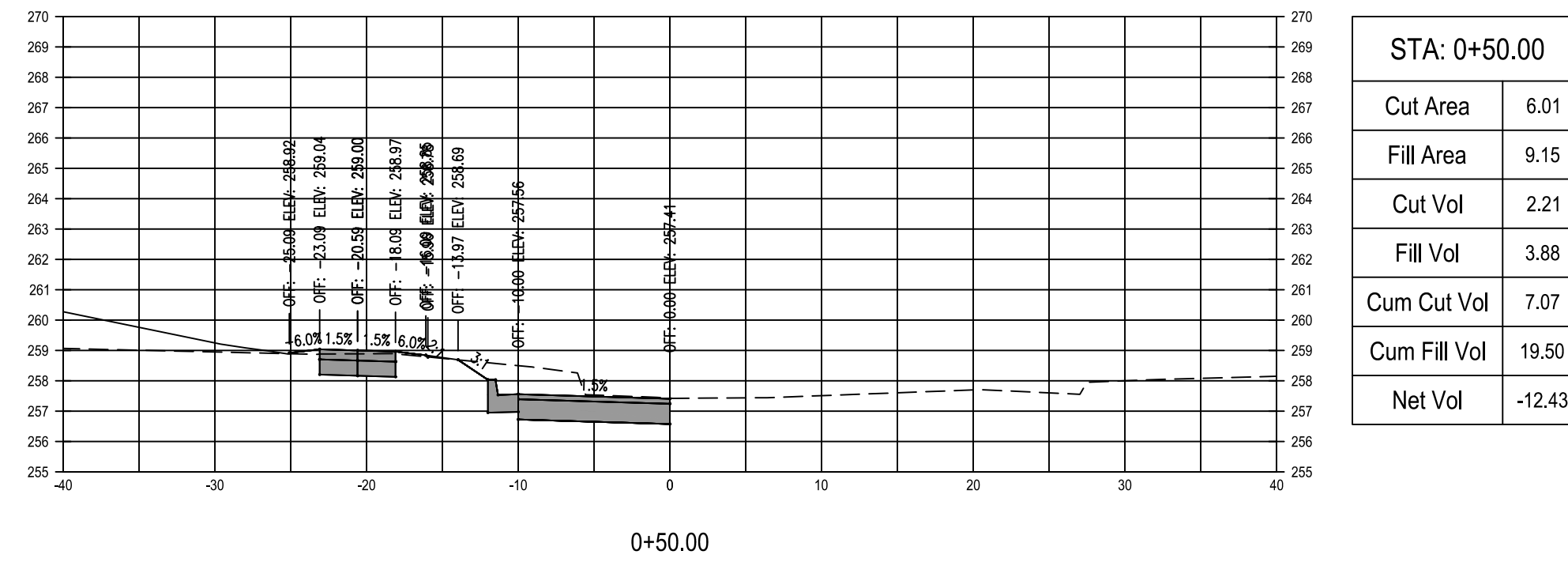
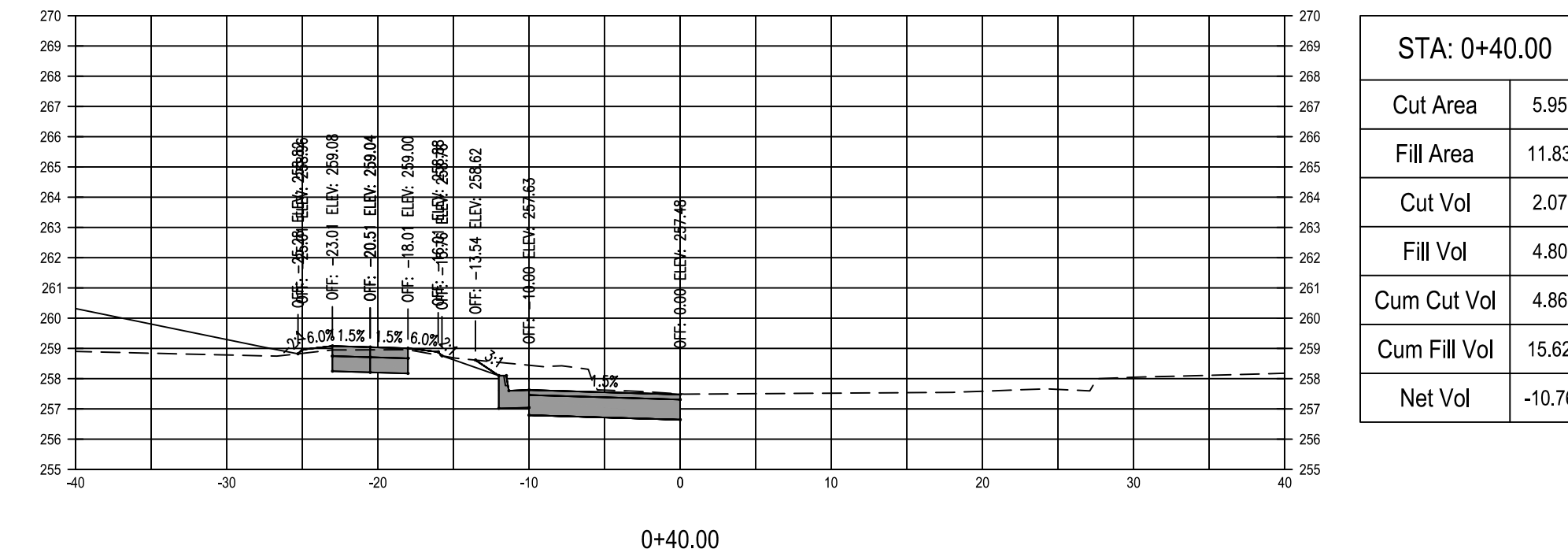
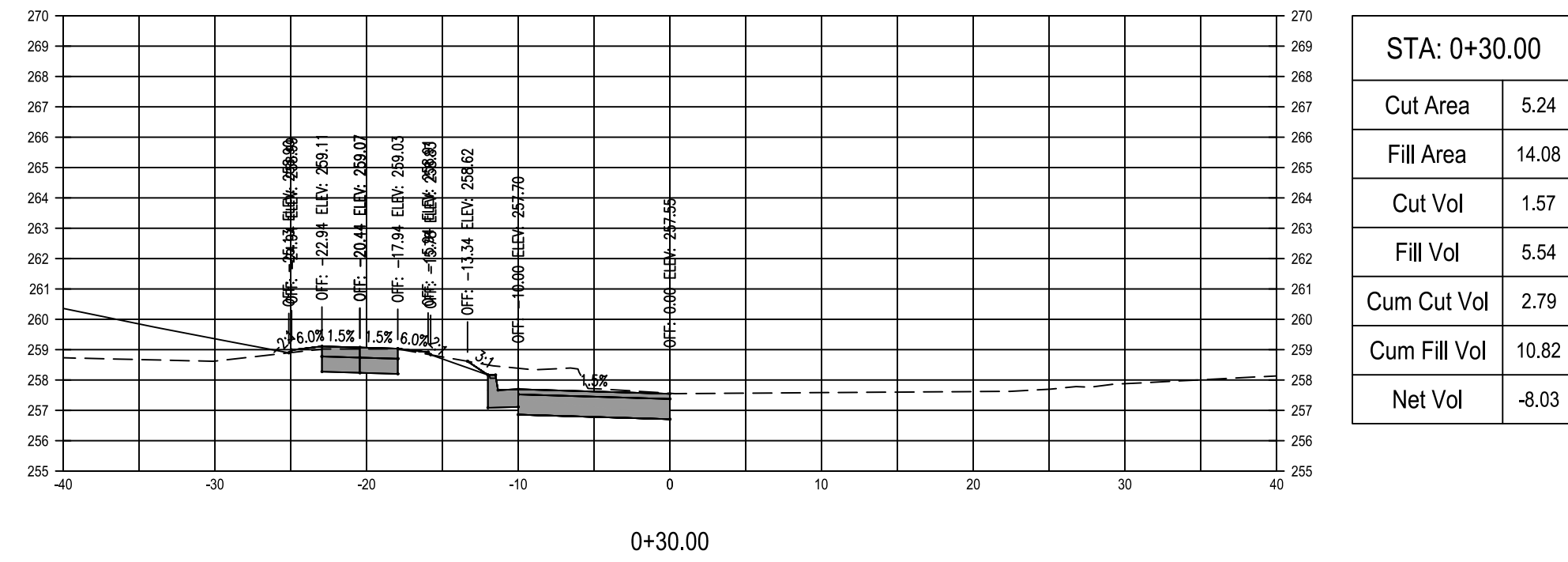
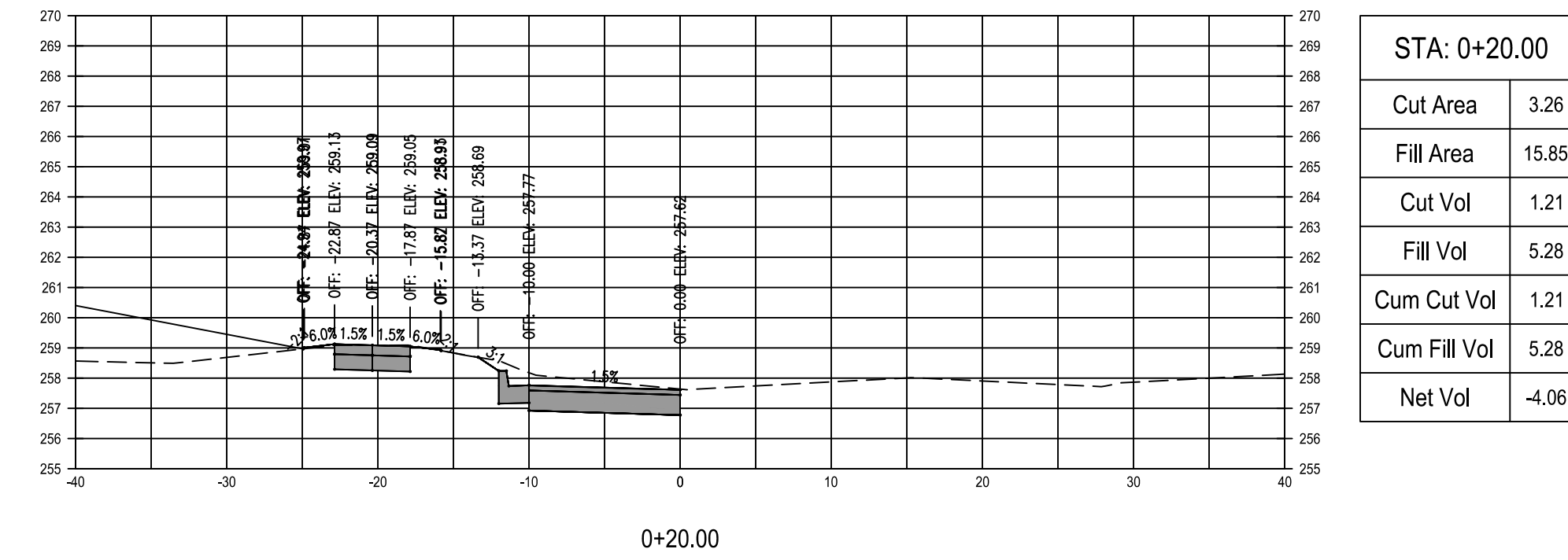
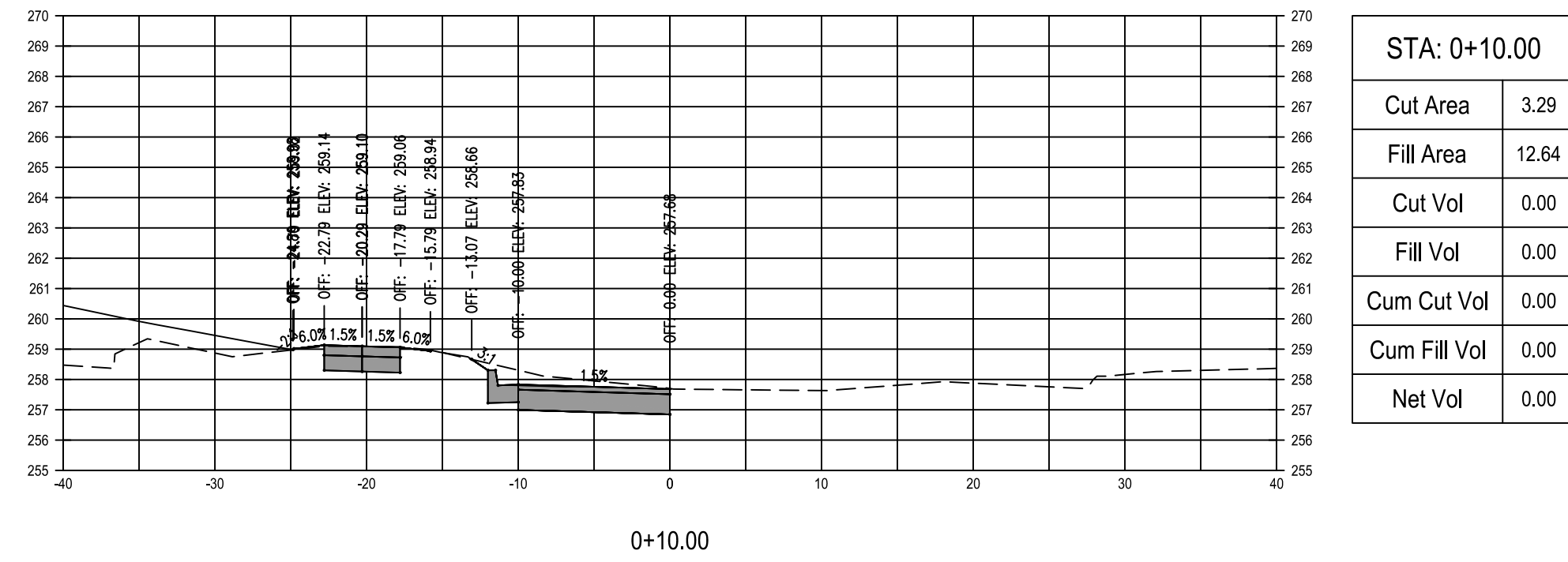
CIRCLE DRIVE TOWNHOMES
REYNOLDS HENDERSON CONTINENTAL PACIFIC
 CITY OF DEFUNIAK SPRINGS
 WALTON COUNTY, FLORIDA

TITLE: **PARALLEL PARKING CROSS SECTIONS**

PROJECT NO. SP1025
 DATE FEBRUARY 2025
 DRAWN BY BTW
 APPROVED BY BTW

PROJECT STATUS: **DUE DILIGENCE**

SHEET NO. **C5.7**





CLIFFORD L. KNAUER, P.E. 53930

NO.	DESCRIPTION	DATE

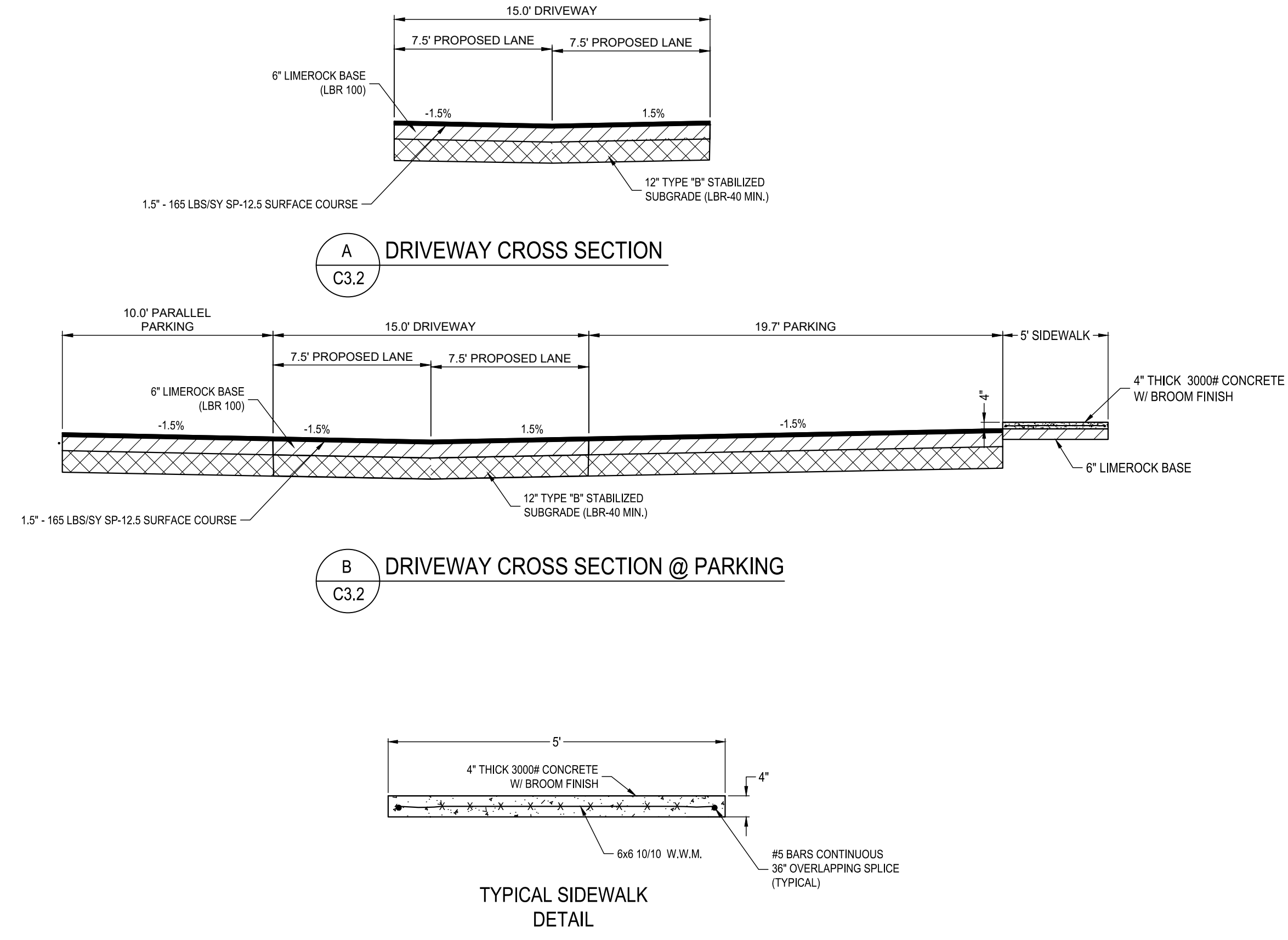
CIRCLE DRIVE TOWNHOMES
REYNOLDS HENDERSON CONTINENTAL PACIFIC
CITY OF DEFLUNIAK SPRINGS
WALTON COUNTY, FLORIDA

TITLE
CONSTRUCTION DETAILS

PROJECT NO. SP1025
DATE FEBRUARY 2025
DRAWN BY BTW
APPROVED BY BTW

DUE DILIGENCE

SHEET NO.
C7.1



2/25/25 6:16:30 AM
C:\SET\PROJECTS_CH-101\KNAUER\NEVER\2025\101\SP1025\CIRCLE DRIVE TOWNHOMES_CIVIL\FOLDER_PROD\PRODUCTIONS\SP1025\DET-DWG



PLANNING BOARD

Agenda Item Form



Meeting Date: June 2, 2025
Department: Planning Department

Presenter:
Chris Wallace, Planning Director

Request Type: Action Item

Does this item require legal review? No

Time Required for Request: 5 min

Agenda Item Title:
2025-SD-01, 26th and Van Buren Subdivision, approval of the final plan

Attachment(s):
1. 2025.03.10 Civil Full Set
2. Landscape Plan

Brief Summary:
Daniel Payne has submitted final plans for a 19 lot subdivision located at S 26th Street and Van Buren Ave. The project contains a 2" force main that will serve the development. Water service is currently available.

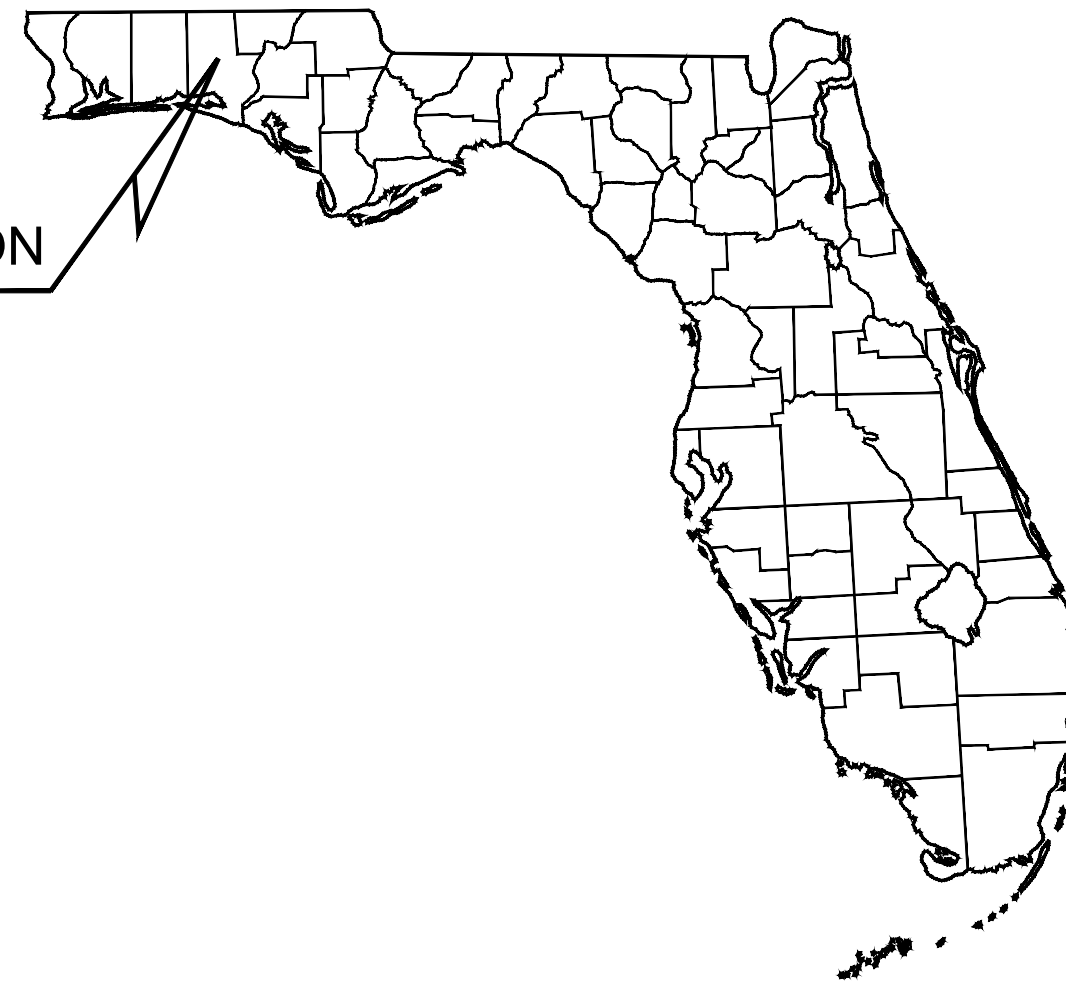
Action Requested:
Approve the final plan for 2025-SD-01, 26th and Van Buren.

Issue Overview:
Background Information & Issue Summary:

Financial Impacts:

Staff Recommendations/Comments:
Staff recommends approval of this plan

PROJECT LOCATION



SITE CIVIL CONSTRUCTION PLANS FOR SOUTH 26TH STREET SUBDIVISION AT DEFUNIAK SPRINGS, FLORIDA WALTON COUNTY

MARCH 2025

UTILITY COMPANIES

CONTRACTOR SHALL HAVE ALL EXISTING BURIED UTILITIES
"LINE SPOTTED" BY CALLING 800-432-4770 "CALL SUNSHINE"

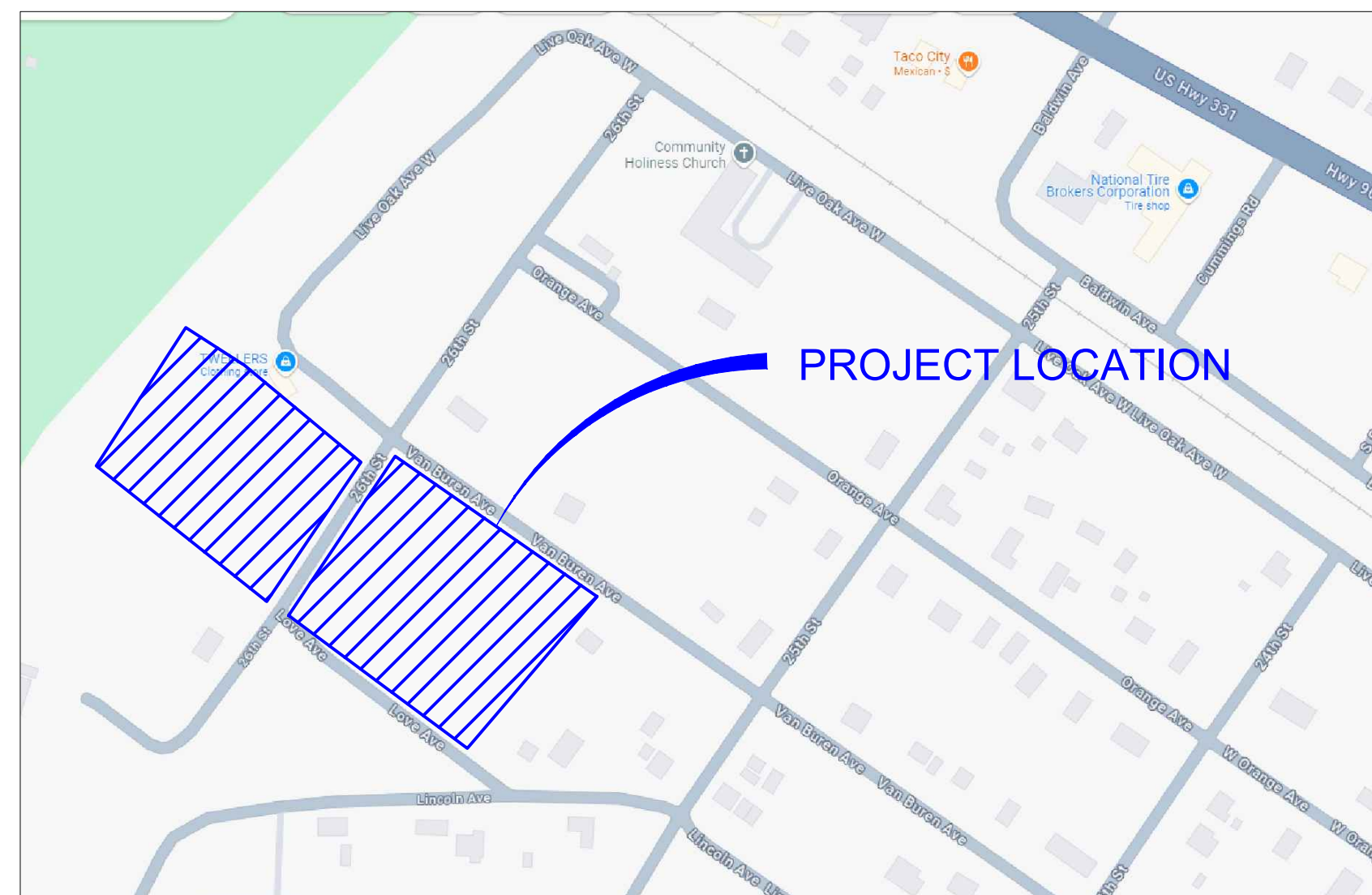
ELECTRIC: FLORIDA POWER AND LIGHT (FPL)
1100-1298 CIRCLE DRIVE
DEFUNIAK SPRINGS, FL 32435
PHONE: (833) 313-2973

INTERNET SERVICE PROVIDER: NUMEROUS IN AREA
PLEASE REFER TO 811 FOR PROVIDERS IN AREA

FIRE: CITY OF DEFUNIAK SPRINGS
58 WEST BURDICK AVENUE
DEFUNIAK SPRINGS, FL 32433
PHONE: (850) 892-8515
EMERGENCY: 911

WATER & SEWER: CITY OF DEFUNIAK SPRINGS
1350 BALDWIN AVENUE
DEFUNIAK SPRINGS, FL 32433
CONTACT: RANDALL HOLDEN
PHONE: (850) 892-8534

GAS: CITY OF DEFUNIAK SPRINGS
1350 BALDWIN AVENUE
DEFUNIAK SPRINGS, FL 32433
PHONE: (850) 892-8534



SHEET NO.

- C1
- C2
- C3
- C4
- C5
- C6
- C7
- C8
- C9

TITLE OF DRAWINGS

- COVER SHEET
- DEMOLITION & EROSION CONTROL PLAN
- SITE & LANDSCAPING PLAN
- PAVING, GRADING, & DRAINAGE PLAN
- EROSION CONTROL DETAILS
- SWPPP & NOTES
- UTILITY PLAN
- DETAILS
- LOW PRESSURE SEWER DETAILS

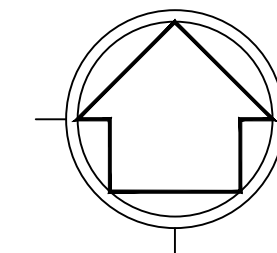
DUTY TO INDEMNIFY

THE CONTRACTOR SHALL DEFEND, INDEMNIFY, KEEP AND SAVE HARMLESS THE OWNER AND ENGINEER AND THEIR RESPECTIVE MEMBERS, REPRESENTATIVES, AGENTS, AND EMPLOYEES, IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES, AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES, CAUSED BY, GROWING OUT OF, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR IT'S SUBCONTRACTORS TO THE FULL EXTENT AS ALLOWED BY THE LAWS OF THE STATE OF FLORIDA AND NOT BEYOND ANY EXTENT WHICH WOULD RENDER THESE PROVISIONS VOID OR UNENFORCEABLE. IN THE EVENT OF ANY SUCH INJURY (INCLUDING DEATH) OR LOSS OR DAMAGE, OR CLAIMS THEREFORE, THE CONTRACTOR SHALL GIVE PROMPT NOTICE TO THE OWNER.

AUTHORITY AND RESPONSIBILITY

THE ENGINEER, AS REPRESENTATIVE OF THE OWNER, SHALL NOT GUARANTEE THE WORK OF ANY CONTRACTOR OR SUBCONTRACTOR, SHALL HAVE NO AUTHORITY TO STOP WORK, SHALL HAVE NO SUPERVISION OR CONTROL, AS TO THE WORK OR PERSONS DOING THE WORK, SHALL NOT HAVE CHARGE OF THE WORK, SHALL NOT BE RESPONSIBLE FOR SAFETY IN, ON, OR ABOUT THE JOB SITE OR HAVE ANY CONTROL OF THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENT, SCAFFOLDING, SUPPORTS, FORMS, OR OTHER WORK AIDS, AND SHALL HAVE NO DUTIES OR RESPONSIBILITIES IMPOSED BY THE STRUCTURAL WORK ACT.

LOCATION MAP
N.T.S.



OWNER/DEVELOPER

FL SUNSHINE REALTY, LLC
241 LINSTEW DRIVE NW
FORT WALTON BEACH, FL 32548
CONTACT : JOHN S. MEAD
PHONE:(850) 243-3135
FAX: (850) 244-4849
EMAIL: JOHN@MEADLAWANDTITLE.COM

CIVIL ENGINEER

D. PAYNE & ASSOCIATES, LLC.
2571 PALM SHORES DRIVE
SHALIMAR, FLORIDA 32579
CONTACT: DANIEL J. PAYNE, PE
PHONE: (850) 240-0361
EMAIL: DANIEL.PAYNE48@GMAIL.COM

SURVEYOR

GEOPOINT SURVEYING, INC.
67 JOE CAMPBELL ROAD
FREEPORT, FL 32439
CONTACT: DARYL BURGIS, PSM
PHONE: (813) 248-8888



REV	PER CITY OF DEFUNIAK COMMENTS	DATE	BY
1		1/15/25	DJP

D. PAYNE & ASSOCIATES, LLC.
2571 PALM SHORES DRIVE, SHALIMAR, FL 32579
PHONE (850) 240-0361
FL REGISTRY NO. 37439

SCALE	AS NOTED
DESIGNED BY	DJP
DRAWN BY	DJP
CHECKED BY	

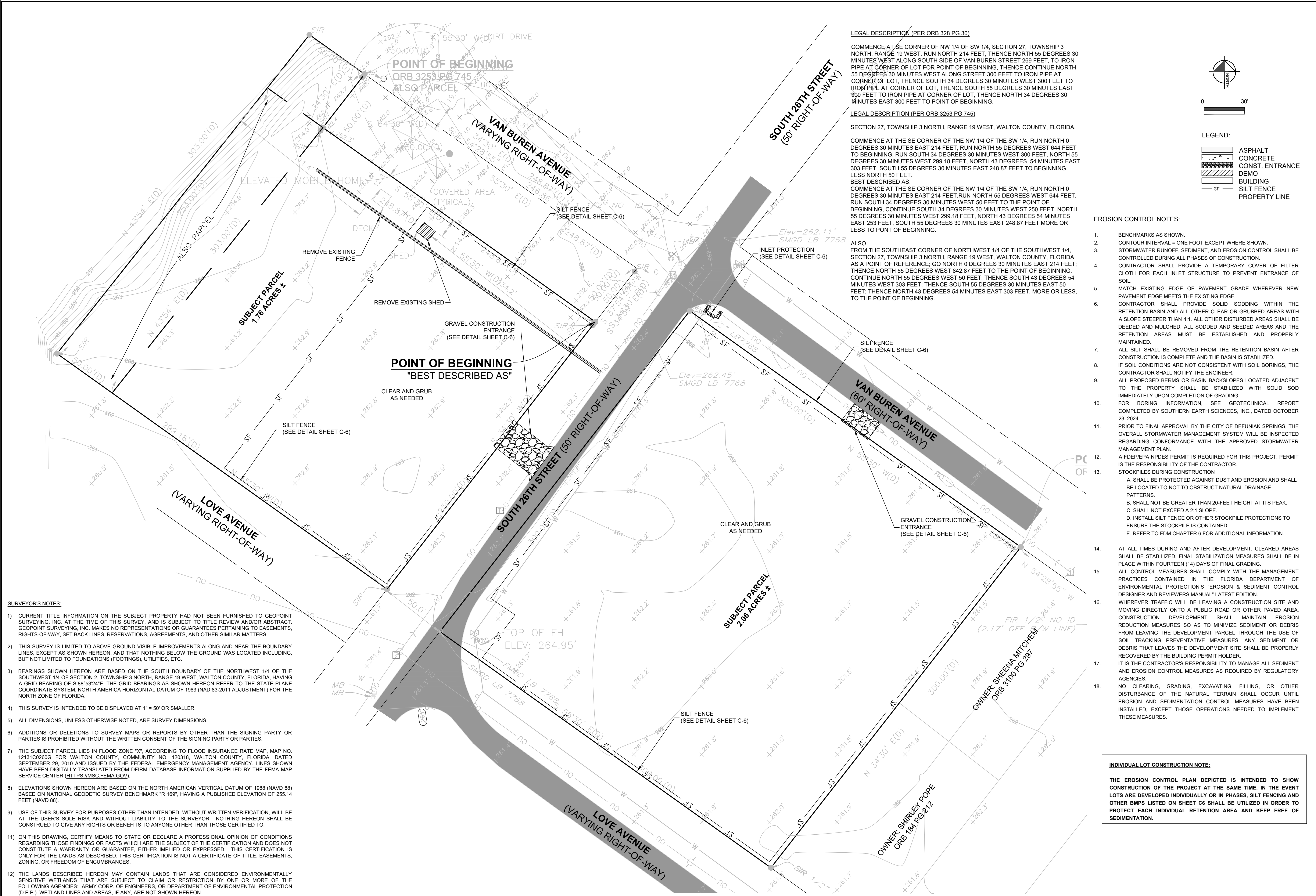
COVER SHEET

SOUTH 26TH STREET
SUBDIVISION
DEFUNIAK SPRINGS, FL
WALTON COUNTY
FLORIDA

DATE
PROJECT NO. N/A
SHEET NUMBER C1

SURVEYOR'S NOTES:

- 1) CURRENT TITLE INFORMATION ON THE SUBJECT PROPERTY HAD NOT BEEN FURNISHED TO GEOPPOINT SURVEYING, INC. AT THE TIME OF THIS SURVEY, AND IS SUBJECT TO TITLE REVIEW AND/OR ABSTRACT. GEOPPOINT SURVEYING, INC. MAKES NO REPRESENTATIONS OR GUARANTEES PERTAINING TO EASEMENTS, RIGHTS-OF-WAY, SET BACK LINES, RESERVATIONS, AGREEMENTS, AND OTHER SIMILAR MATTERS.
- 2) THIS SURVEY IS LIMITED TO ABOVE GROUND VISIBLE IMPROVEMENTS ALONG AND NEAR THE BOUNDARY LINES, EXCEPT AS SHOWN HEREON, AND THAT NOTHING BELOW THE GROUND WAS LOCATED INCLUDING, BUT NOT LIMITED TO FOUNDATIONS (FOOTINGS), UTILITIES, ETC.
- 3) BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH BOUNDARY OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 2, TOWNSHIP 3 NORTH, RANGE 19 WEST, WALTON COUNTY, FLORIDA, HAVING A GRID BEARING OF S 88°53'24"E. THE GRID BEARINGS AS SHOWN HEREON REFER TO THE STATE PLANE COORDINATE SYSTEM, NORTH AMERICA HORIZONTAL DATUM OF 1983 (NAD 83-2011 ADJUSTMENT) FOR THE NORTH ZONE OF FLORIDA.
- 4) THIS SURVEY IS INTENDED TO BE DISPLAYED AT 1" = 50' OR SMALLER.
- 5) ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE SURVEY DIMENSIONS.
- 6) ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- 7) THE SUBJECT PARCEL LIES IN FLOOD ZONE "X", ACCORDING TO FLOOD INSURANCE RATE MAP, MAP NO. 12131C0260G FOR WALTON COUNTY, COMMUNITY NO. 120318, WALTON COUNTY, FLORIDA, DATED SEPTEMBER 29, 2010 AND ISSUED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. LINES SHOWN HAVE BEEN DIGITALLY TRANSLATED FROM DFIRM DATABASE INFORMATION SUPPLIED BY THE FEMA MAP SERVICE CENTER ([HTTPS://MSC.FEMA.GOV](https://msc.fema.gov)).
- 8) ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BASED ON NATIONAL GEODETIC SURVEY BENCHMARK "R 169", HAVING A PUBLISHED ELEVATION OF 255.14 FEET (NAVD 88).
- 9) USE OF THIS SURVEY FOR PURPOSES OTHER THAN INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- 11) ON THIS DRAWING, CERTIFY MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION OF CONDITIONS REGARDING THOSE FINDINGS OR FACTS WHICH ARE THE SUBJECT OF THE CERTIFICATION AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER IMPLIED OR EXPRESSED. THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. THIS CERTIFICATION IS NOT A CERTIFICATE OF TITLE, EASEMENTS, ZONING, OR FREEDOM OF ENCUMBRANCES.
- 12) THE LANDS DESCRIBED HEREON MAY CONTAIN LANDS THAT ARE CONSIDERED ENVIRONMENTALLY SENSITIVE WETLANDS THAT ARE SUBJECT TO CLAIM OR RESTRICTION BY ONE OR MORE OF THE FOLLOWING AGENCIES: ARMY CORP. OF ENGINEERS, OR DEPARTMENT OF ENVIRONMENTAL PROTECTION (D.E.P.). WETLAND LINES AND AREAS, IF ANY, ARE NOT SHOWN HEREON.



LEGAL DESCRIPTION (PER ORB 328 PG 30)

COMMENCE AT SE CORNER OF NW 1/4 OF SW 1/4, SECTION 27, TOWNSHIP 3 NORTH, RANGE 19 WEST, RUN NORTH 214 FEET, THENCE NORTH 55 DEGREES 30 MINUTES WEST ALONG SOUTH SIDE OF VAN BUREN STREET 269 FEET, TO IRON PIPE AT CORNER OF LOT FOR POINT OF BEGINNING, THENCE CONTINUE NORTH 55 DEGREES 30 MINUTES WEST ALONG STREET 300 FEET TO IRON PIPE AT CORNER OF LOT, THENCE SOUTH 34 DEGREES 30 MINUTES WEST 300 FEET TO IRON PIPE AT CORNER OF LOT, THENCE SOUTH 55 DEGREES 30 MINUTES EAST 300 FEET TO IRON PIPE AT CORNER OF LOT, THENCE NORTH 34 DEGREES 30 MINUTES EAST 300 FEET TO POINT OF BEGINNING.

LEGAL DESCRIPTION (PER ORB 3253 PG 745)

SECTION 27, TOWNSHIP 3 NORTH, RANGE 19 WEST, WALTON COUNTY, FLORIDA.

COMMENCE AT THE SE CORNER OF THE NW 1/4 OF THE SW 1/4, RUN NORTH 0 DEGREES 30 MINUTES EAST 214 FEET, RUN NORTH 55 DEGREES WEST 644 FEET TO BEGINNING, RUN SOUTH 34 DEGREES 30 MINUTES WEST 300 FEET, NORTH 55 DEGREES 30 MINUTES WEST 299.18 FEET, NORTH 43 DEGREES 54 MINUTES EAST 303 FEET, SOUTH 55 DEGREES 30 MINUTES EAST 248.87 FEET TO BEGINNING, LESS NORTH 50 FEET.

BEST DESCRIBED AS:
COMMENCE AT THE SE CORNER OF THE NW 1/4 OF THE SW 1/4, RUN NORTH 0 DEGREES 30 MINUTES EAST 214 FEET, RUN NORTH 55 DEGREES WEST 644 FEET, RUN SOUTH 34 DEGREES 30 MINUTES WEST 50 FEET TO THE POINT OF BEGINNING, CONTINUE SOUTH 34 DEGREES 30 MINUTES WEST 250 FEET, NORTH 55 DEGREES 30 MINUTES WEST 299.18 FEET, NORTH 43 DEGREES 54 MINUTES EAST 253 FEET, SOUTH 55 DEGREES 30 MINUTES EAST 248.87 FEET MORE OR LESS TO POINT OF BEGINNING.

ALSO FROM THE SOUTHEAST CORNER OF NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 27, TOWNSHIP 3 NORTH, RANGE 19 WEST, WALTON COUNTY, FLORIDA AS A POINT OF REFERENCE, GO NORTH 0 DEGREES 30 MINUTES EAST 214 FEET, THENCE NORTH 55 DEGREES WEST 642.87 FEET TO THE POINT OF BEGINNING; CONTINUE NORTH 55 DEGREES WEST 50 FEET; THENCE SOUTH 43 DEGREES 54 MINUTES WEST 303 FEET; THENCE SOUTH 55 DEGREES 30 MINUTES EAST 50 FEET; THENCE NORTH 43 DEGREES 54 MINUTES EAST 303 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

LEGEND:

- ASPHALT
- CONCRETE
- CONST. ENTRANCE
- DEMO
- BUILDING
- SILT FENCE
- PROPERTY LINE

EROSION CONTROL NOTES:

1. BENCHMARKS AS SHOWN.
2. CONTOUR INTERVAL = ONE FOOT EXCEPT WHERE SHOWN.
3. STORMWATER RUNOFF, SEDIMENT, AND EROSION CONTROL SHALL BE CONTROLLED DURING ALL PHASES OF CONSTRUCTION.
4. CONTRACTOR SHALL PROVIDE A TEMPORARY COVER OF FILTER CLOTH FOR EACH INLET STRUCTURE TO PREVENT ENTRANCE OF SOIL.
5. MATCH EXISTING EDGE OF PAVEMENT GRADE WHEREVER NEW PAVEMENT EDGE MEETS THE EXISTING EDGE.
6. CONTRACTOR SHALL PROVIDE SOLID SODDING WITHIN THE RETENTION BASIN AND ALL OTHER CLEAR OR GRUBBED AREAS WITH A SLOPE STEEPER THAN 4:1. ALL OTHER DISTURBED AREAS SHALL BE DEEDED AND MULCHED. ALL SODDED AND SEEDED AREAS AND THE RETENTION AREAS MUST BE ESTABLISHED AND PROPERLY MAINTAINED.
7. ALL SILT SHALL BE REMOVED FROM THE RETENTION BASIN AFTER CONSTRUCTION IS COMPLETE AND THE BASIN IS STABILIZED.
8. IF SOIL CONDITIONS ARE NOT CONSISTENT WITH SOIL BORINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
9. ALL PROPOSED BERMS OR BASIN BACKSLOPES LOCATED ADJACENT TO THE PROPERTY SHALL BE STABILIZED WITH SOLID SOD IMMEDIATELY UPON COMPLETION OF GRADING.
10. FOR BORING INFORMATION, SEE GEOTECHNICAL REPORT COMPLETED BY SOUTHERN EARTH SCIENCES, INC., DATED OCTOBER 23, 2024.
11. PRIOR TO FINAL APPROVAL BY THE CITY OF DEFUNIAK SPRINGS, THE OVERALL STORMWATER MANAGEMENT SYSTEM WILL BE INSPECTED REGARDING CONFORMANCE WITH THE APPROVED STORMWATER MANAGEMENT PLAN.
12. A FDEP/EPA NPDES PERMIT IS REQUIRED FOR THIS PROJECT. PERMIT IS THE RESPONSIBILITY OF THE CONTRACTOR.
13. STOCKPILES DURING CONSTRUCTION
 - A. SHALL BE PROTECTED AGAINST DUST AND EROSION AND SHALL BE LOCATED TO NOT OBSTRUCT NATURAL DRAINAGE PATTERNS.
 - B. SHALL NOT BE GREATER THAN 20-FOOT HEIGHT AT ITS PEAK.
 - C. SHALL NOT EXCEED A 2:1 SLOPE.
 - D. INSTALL SILT FENCE OR OTHER STOCKPILE PROTECTIONS TO ENSURE THE STOCKPILE IS CONTAINED.
 - E. REFER TO FDM CHAPTER 6 FOR ADDITIONAL INFORMATION.
14. AT ALL TIMES DURING AND AFTER DEVELOPMENT, CLEARED AREAS SHALL BE STABILIZED. FINAL STABILIZATION MEASURES SHALL BE IN PLACE WITHIN FOURTEEN (14) DAYS OF FINAL GRADING.
15. ALL CONTROL MEASURES SHALL COMPLY WITH THE MANAGEMENT PRACTICES CONTAINED IN THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION'S "EROSION & SEDIMENT CONTROL DESIGNER AND REVIEWERS MANUAL" LATEST EDITION.
16. WHEREVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVING DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREA, CONSTRUCTION DEVELOPMENT SHALL MAINTAIN EROSION REDUCTION MEASURES SO AS TO MINIMIZE SEDIMENT OR DEBRIS FROM LEAVING THE DEVELOPMENT PARCEL THROUGH THE USE OF SOIL TRACKING PREVENTATIVE MEASURES. ANY SEDIMENT OR DEBRIS THAT LEAVES THE DEVELOPMENT SITE SHALL BE PROPERLY RECOVERED BY THE BUILDING PERMIT HOLDER.
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MANAGE ALL SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED BY REGULATORY AGENCIES.
18. NO CLEARING, GRADING, EXCAVATING, FILLING, OR OTHER DISTURBANCE OF THE NATURAL TERRAIN SHALL OCCUR UNTIL EROSION AND SEDIMENTATION CONTROL MEASURES HAVE BEEN INSTALLED, EXCEPT THOSE OPERATIONS NEEDED TO IMPLEMENT THESE MEASURES.

INDIVIDUAL LOT CONSTRUCTION NOTE:

THE EROSION CONTROL PLAN DEPICTED IS INTENDED TO SHOW CONSTRUCTION OF THE PROJECT AT THE SAME TIME. IN THE EVENT LOTS ARE DEVELOPED INDIVIDUALLY OR IN PHASES, SILT FENCING AND OTHER BMPs LISTED ON SHEET C6 SHALL BE UTILIZED IN ORDER TO PROTECT EACH INDIVIDUAL RETENTION AREA AND KEEP FREE OF SEDIMENTATION.

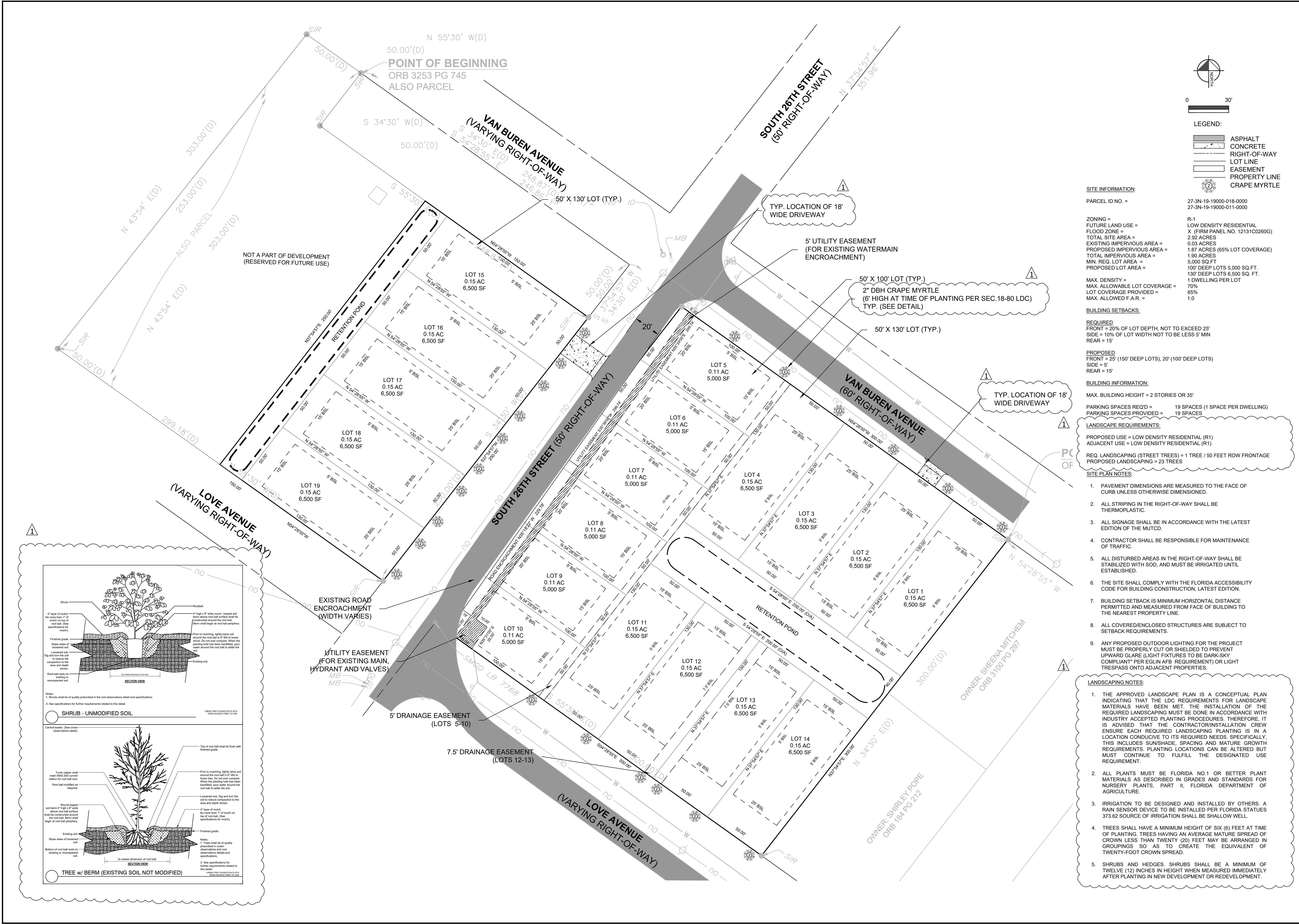
REV.	REV. PER CITY OF DEFUNIAK COMMENTS	DATE
1		

SCALE	AS NOTED
DESIGNED BY	DJP
DRAWN BY	DJP
CHECKED BY	

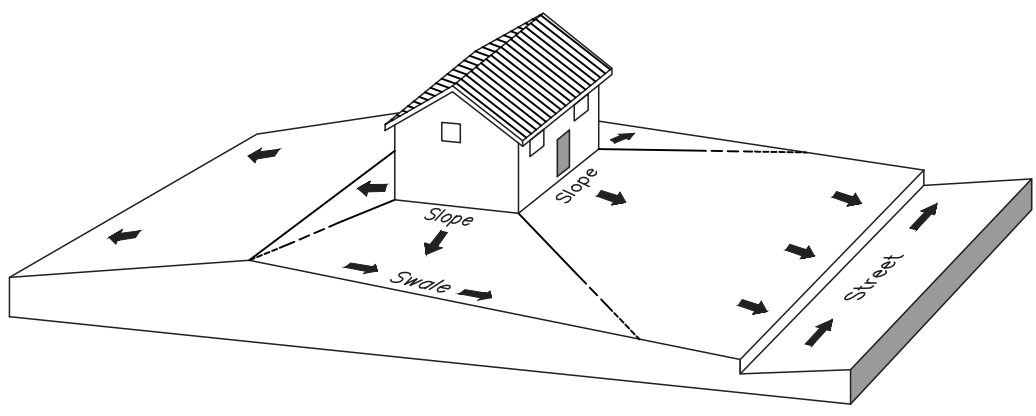
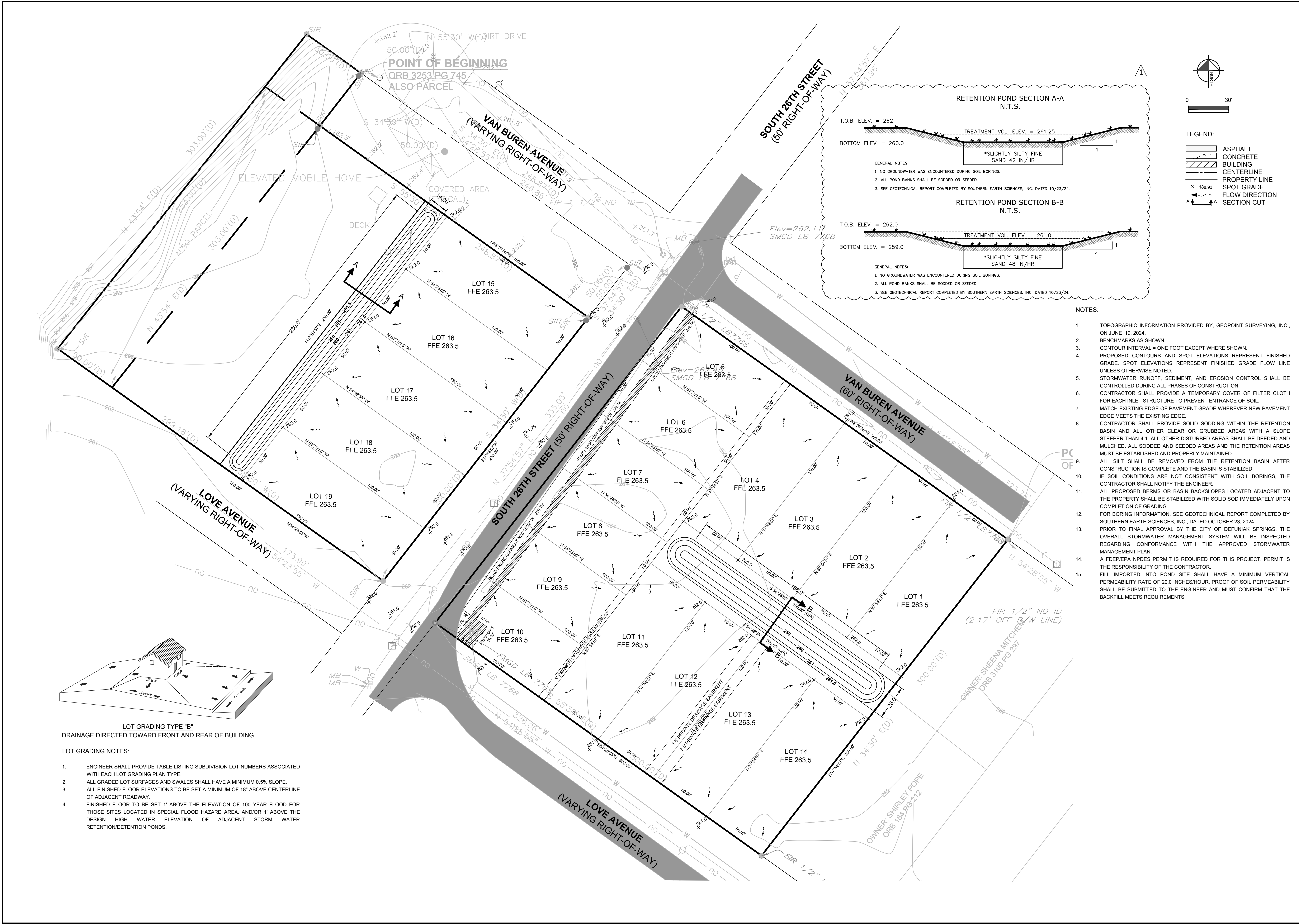
D. PAYNE & ASSOCIATES, LLC.	
2571 PALM SHORES DRIVE, SHALIMAR, FL 32579	
PHONE (850) 240-0361	
FL REGISTRY NO. 37439	

DEMOLITION & EROSION CONTROL PLAN	
SOUTH 26TH STREET SUBDIVISION	DEFUNIAK SPRINGS, FL
WALTON COUNTY	FLORIDA

DATE	
PROJECT NO.	N/A
SHEET NUMBER	C2



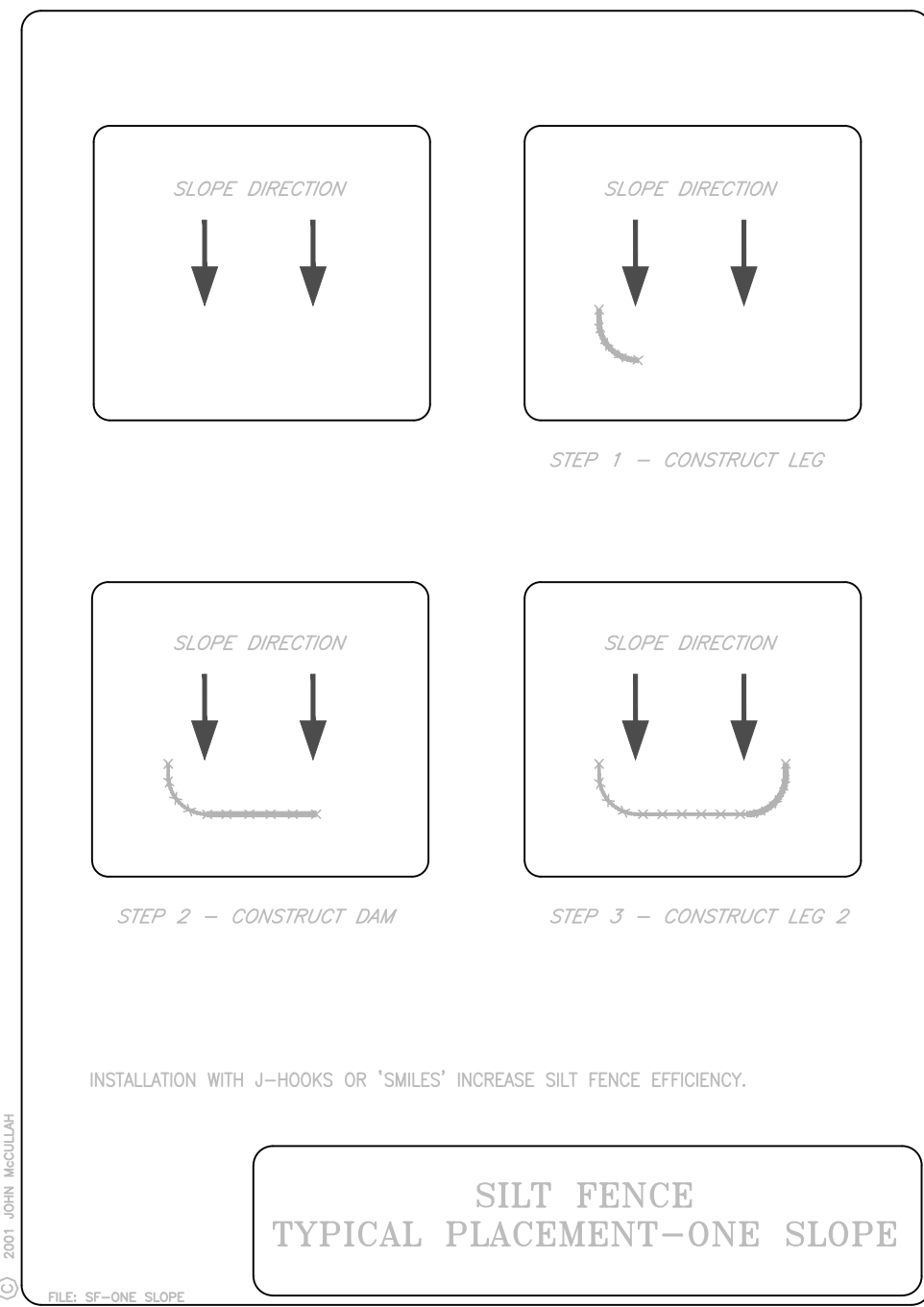
SCALE	AS NOTED	DESIGNED BY	DJP	DRAWN BY	DJP	CHECKED BY	
SITE & LANDSCAPE PLAN							
SOUTH 26TH STREET SUBDIVISION							
DEFUNIAK SPRINGS, FL							
WALTON, COUNTY							
DATE							
PROJECT NO.	N/A						
SHEET NUMBER	C3						
REV.	PER CITY OF DEFUNIAK COMMENTS	DATE	BY	REV.	PER CITY OF DEFUNIAK COMMENTS	DATE	BY
1		1/15/25					



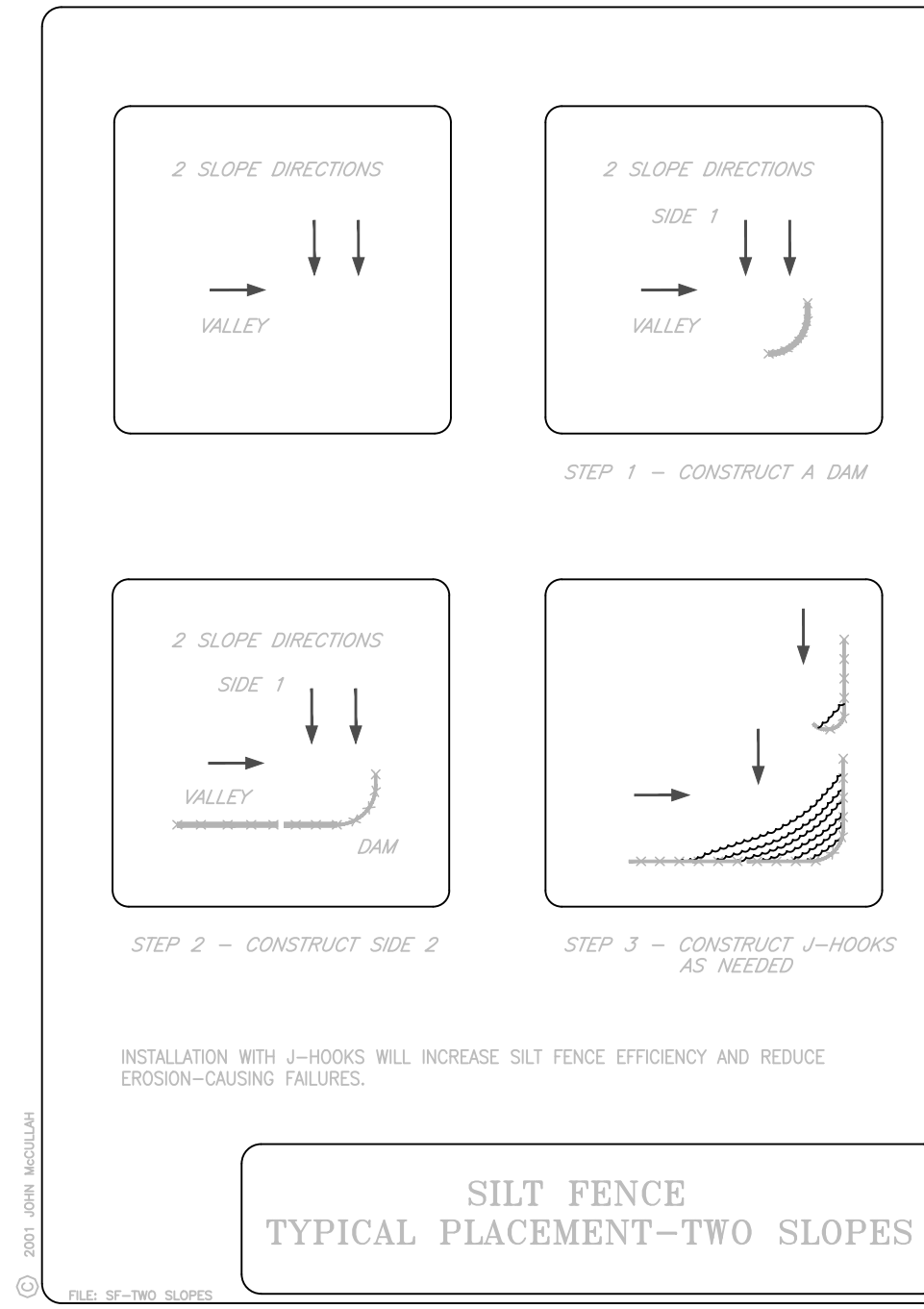
- LOT GRADING NOTES:**
- ENGINEER SHALL PROVIDE TABLE LISTING SUBDIVISION LOT NUMBERS ASSOCIATED WITH EACH LOT GRADING PLAN TYPE.
 - ALL GRADED LOT SURFACES AND SWALES SHALL HAVE A MINIMUM 0.5% SLOPE.
 - ALL FINISHED FLOOR ELEVATIONS TO BE SET A MINIMUM OF 18" ABOVE CENTERLINE OF ADJACENT ROADWAY.
 - FINISHED FLOOR TO BE SET 1' ABOVE THE ELEVATION OF 100 YEAR FLOOD FOR THOSE SITES LOCATED IN SPECIAL FLOOD HAZARD AREA, AND/OR 1' ABOVE THE DESIGN HIGH WATER ELEVATION OF ADJACENT STORM WATER RETENTION/DETENTION PONDS.

REV.	REV. PER CITY OF DEFUJIAK COMMENTS	DATE	BY
1		1/15/25	

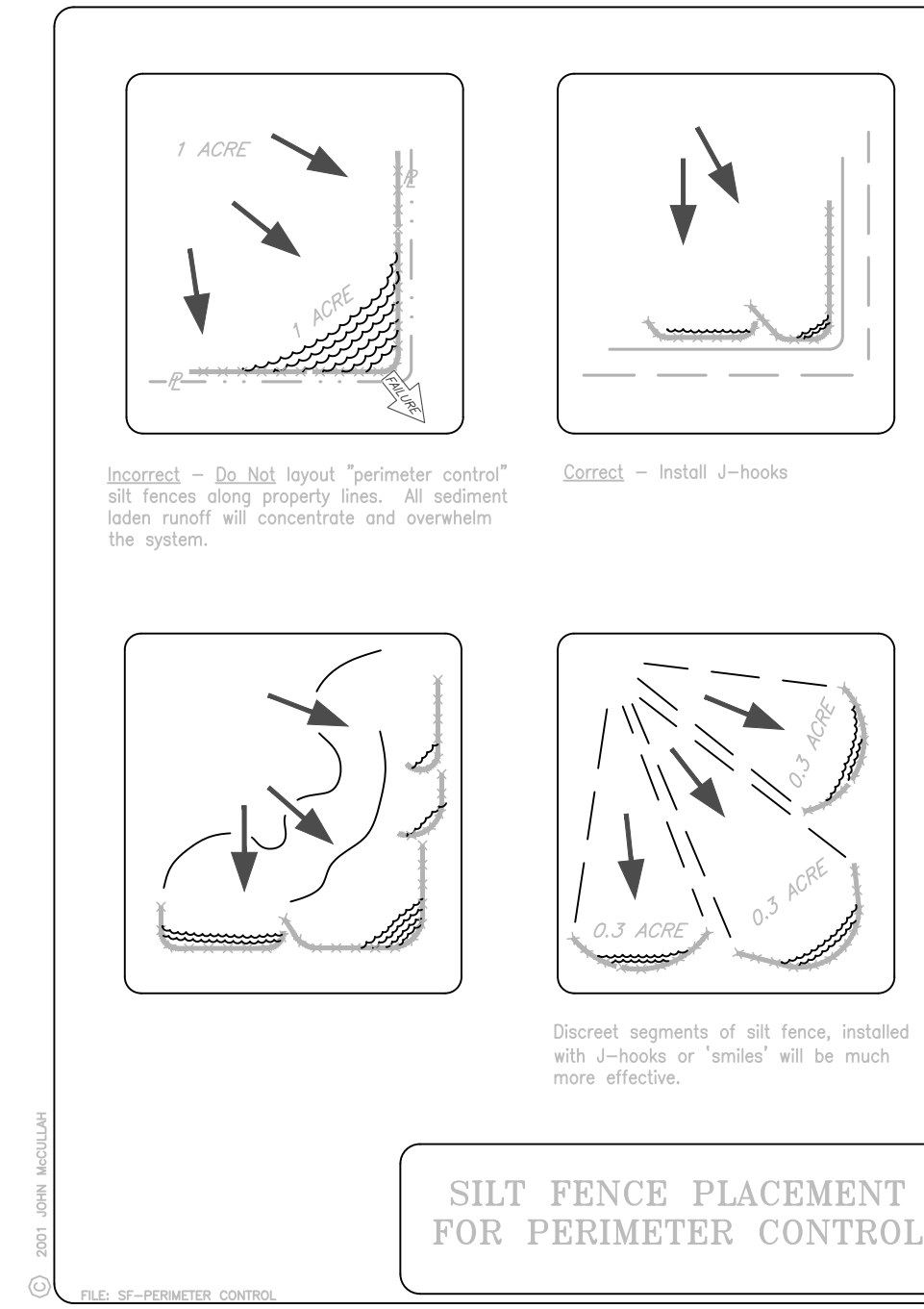
D. PAYNE & ASSOCIATES, LLC. 2571 PALM SHORES DRIVE, SHALIMAR, FL 32579 PHONE (850) 240-0361 FL REGISTRY NO. 37439	
DANIEL J. PAYNE, P.E. FL REGISTRATION NO. 76659	
SCALE AS NOTED	DESIGNED BY: DJP
	DRAWN BY: DJP
	CHECKED BY:
PAVING, GRADING, & DRAINAGE PLAN	
SOUTH 26TH STREET SUBDIVISION DEFUJIAK SPRINGS, FL	
WALTON, COUNTY FLORIDA	
DATE	N/A
PROJECT NO.	N/A
SHEET NUMBER	C4



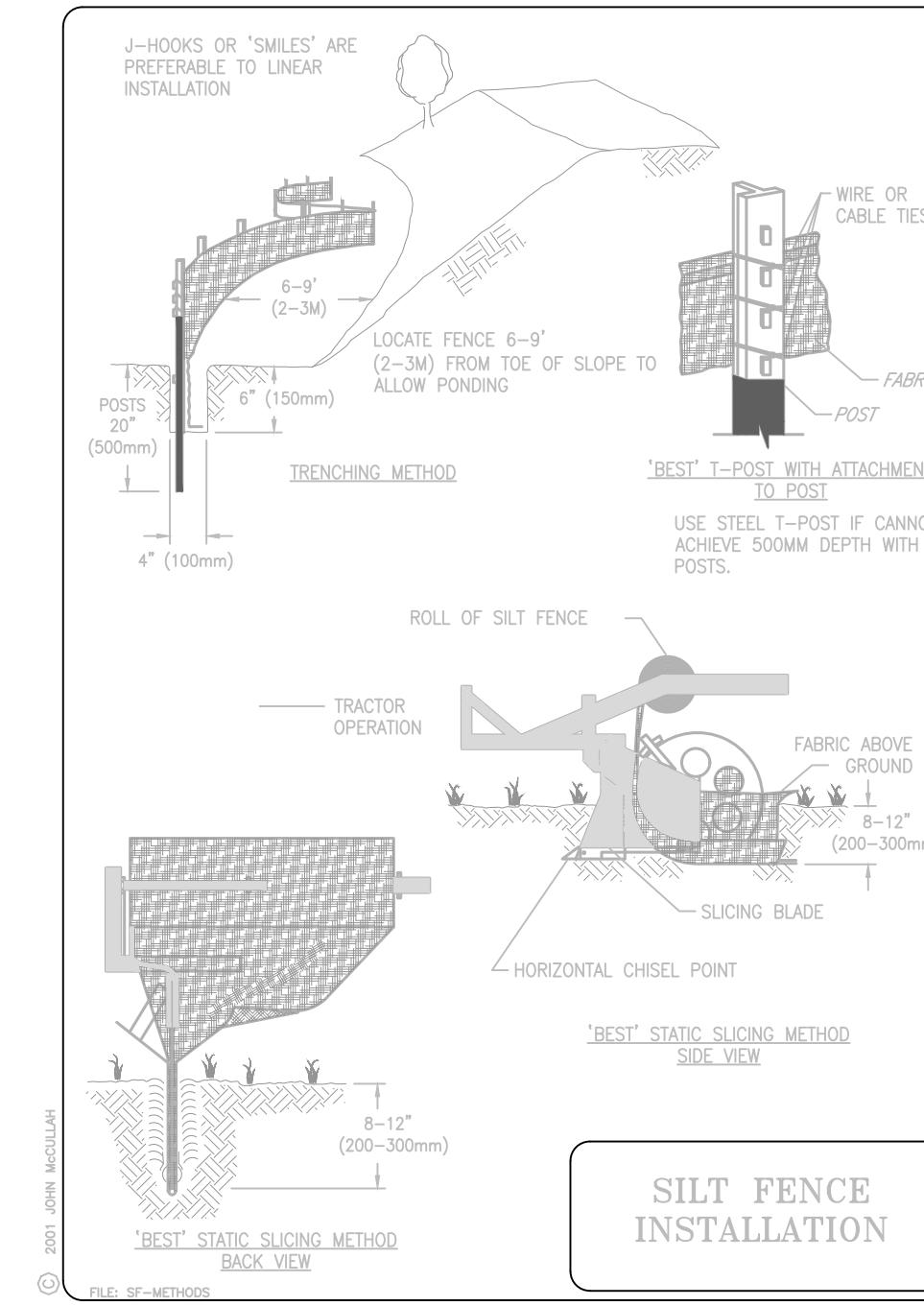
**SILT FENCE
TYPICAL PLACEMENT-ONE SLOPE**



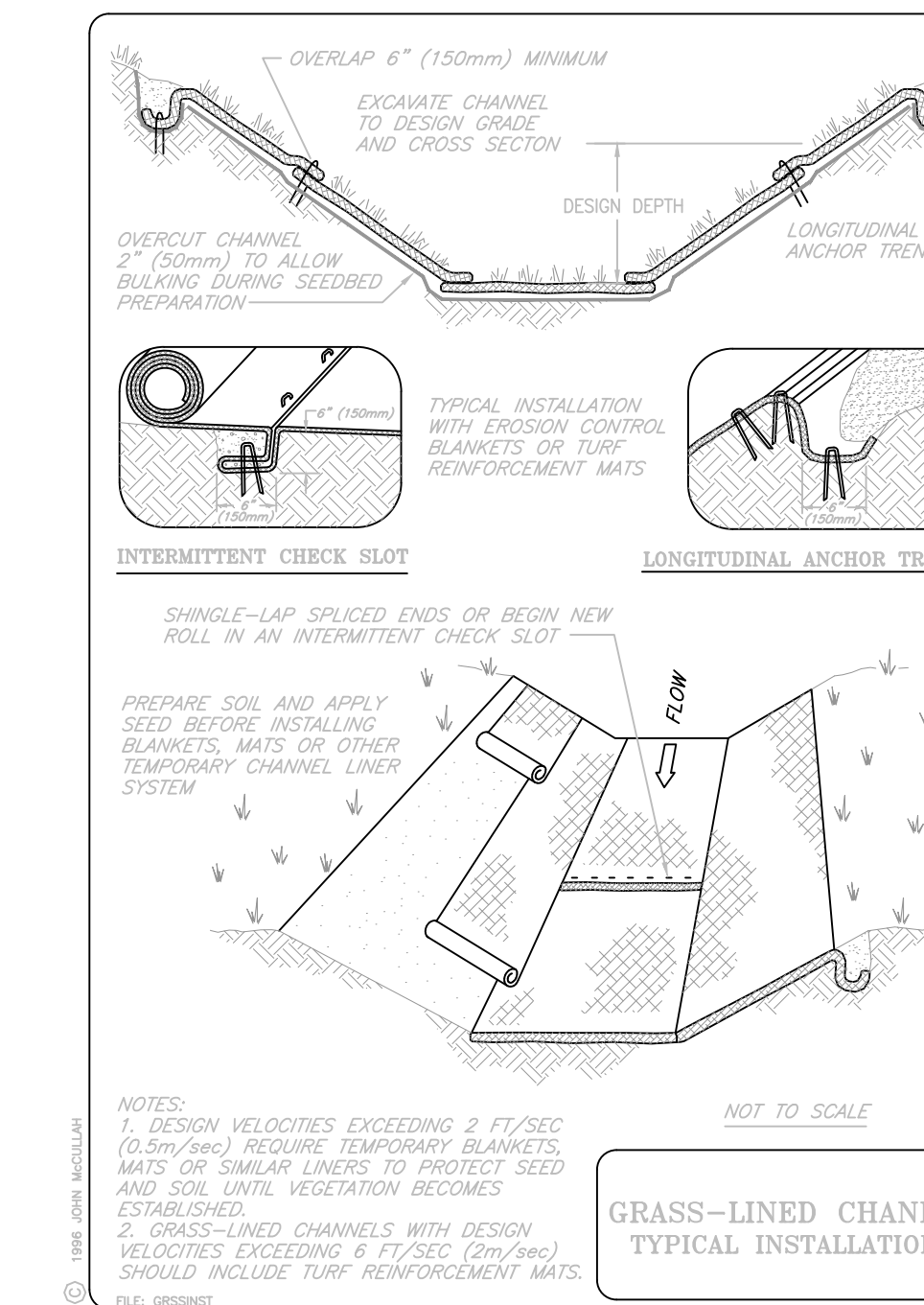
**SILT FENCE
TYPICAL PLACEMENT-TWO SLOPES**



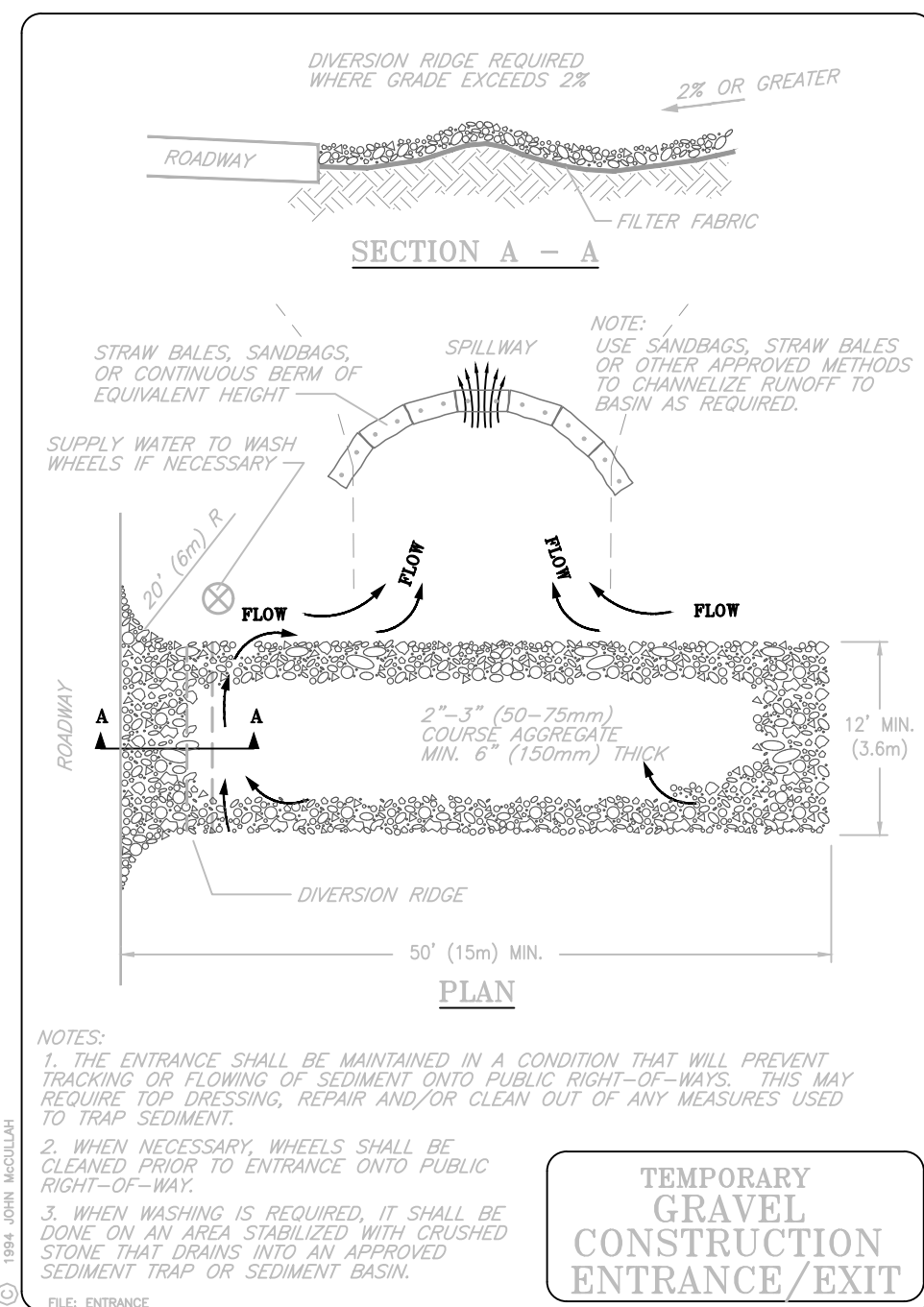
**SILT FENCE PLACEMENT
FOR PERIMETER CONTROL**



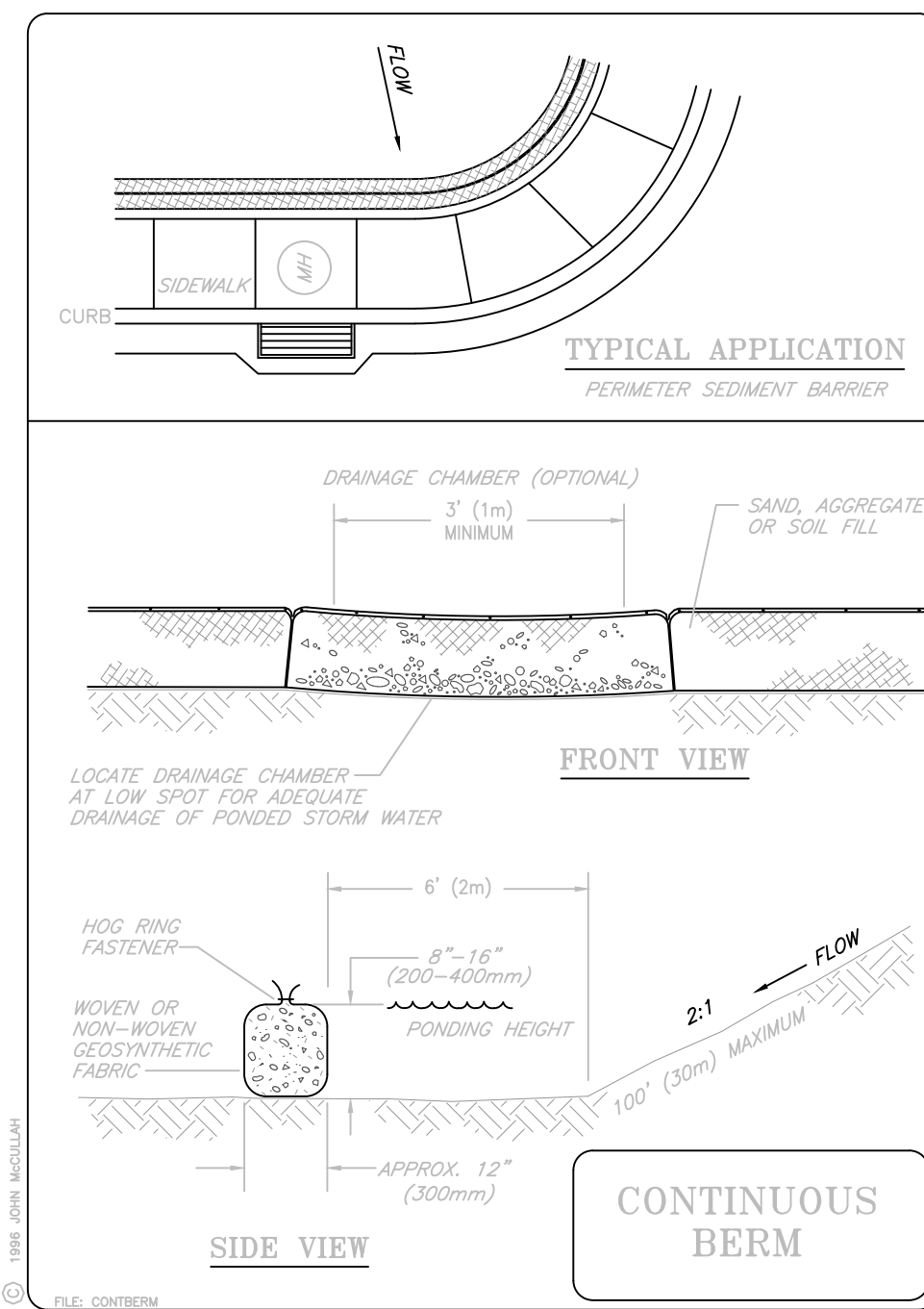
**SILT FENCE
INSTALLATION**



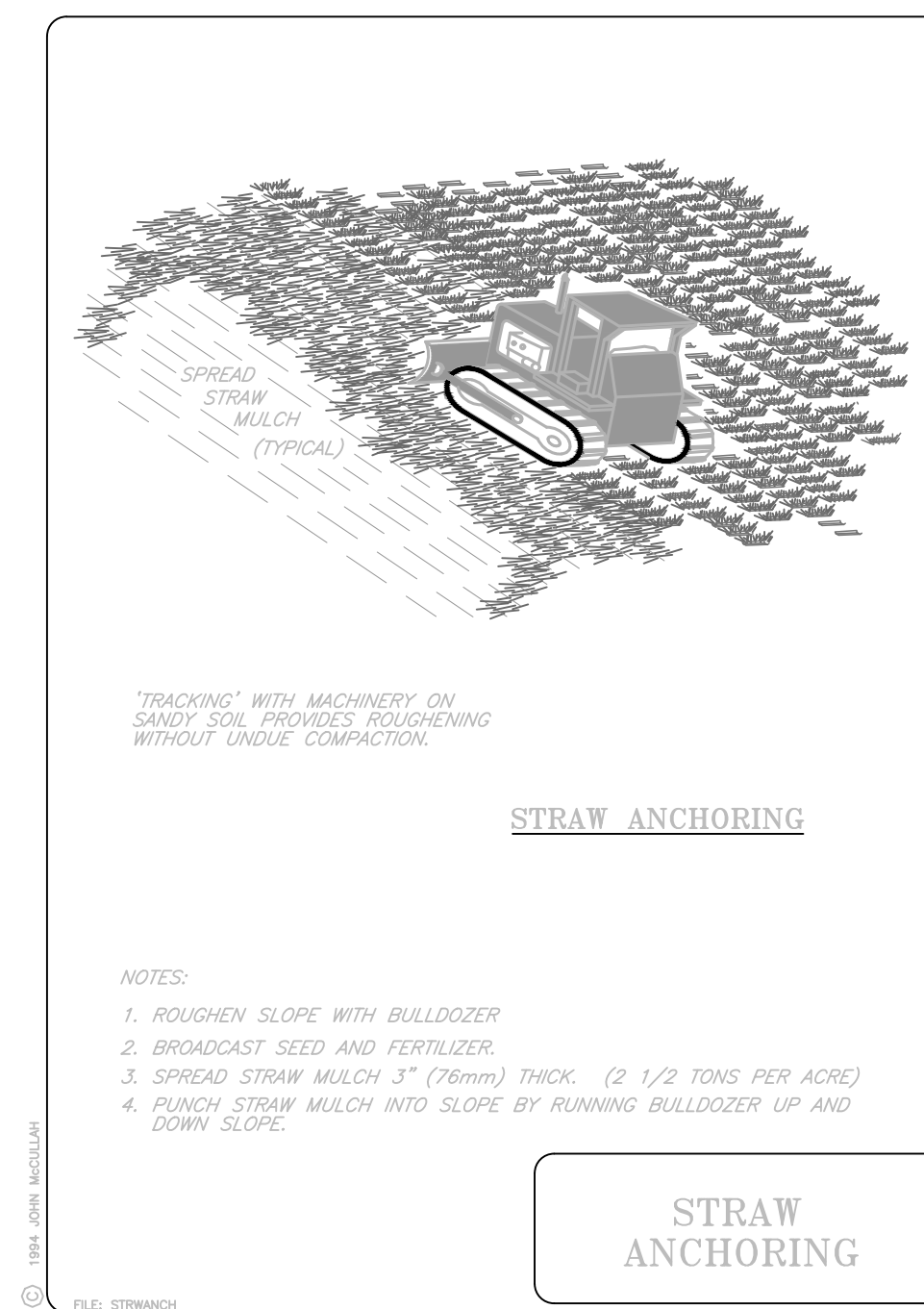
**GRASS-LINED CHANNEL
TYPICAL INSTALLATION**



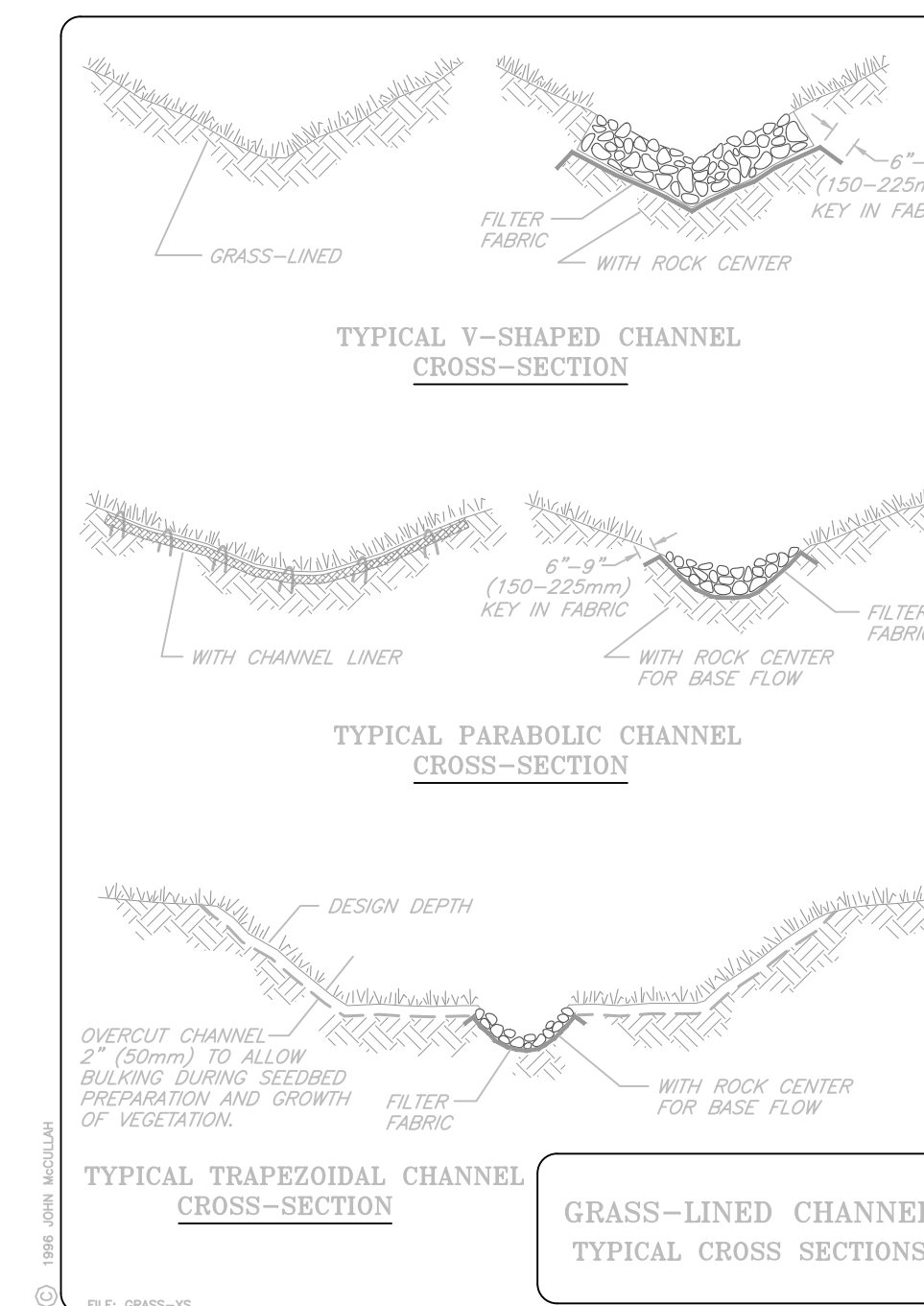
**TEMPORARY
GRAVEL
CONSTRUCTION
ENTRANCE/EXIT**



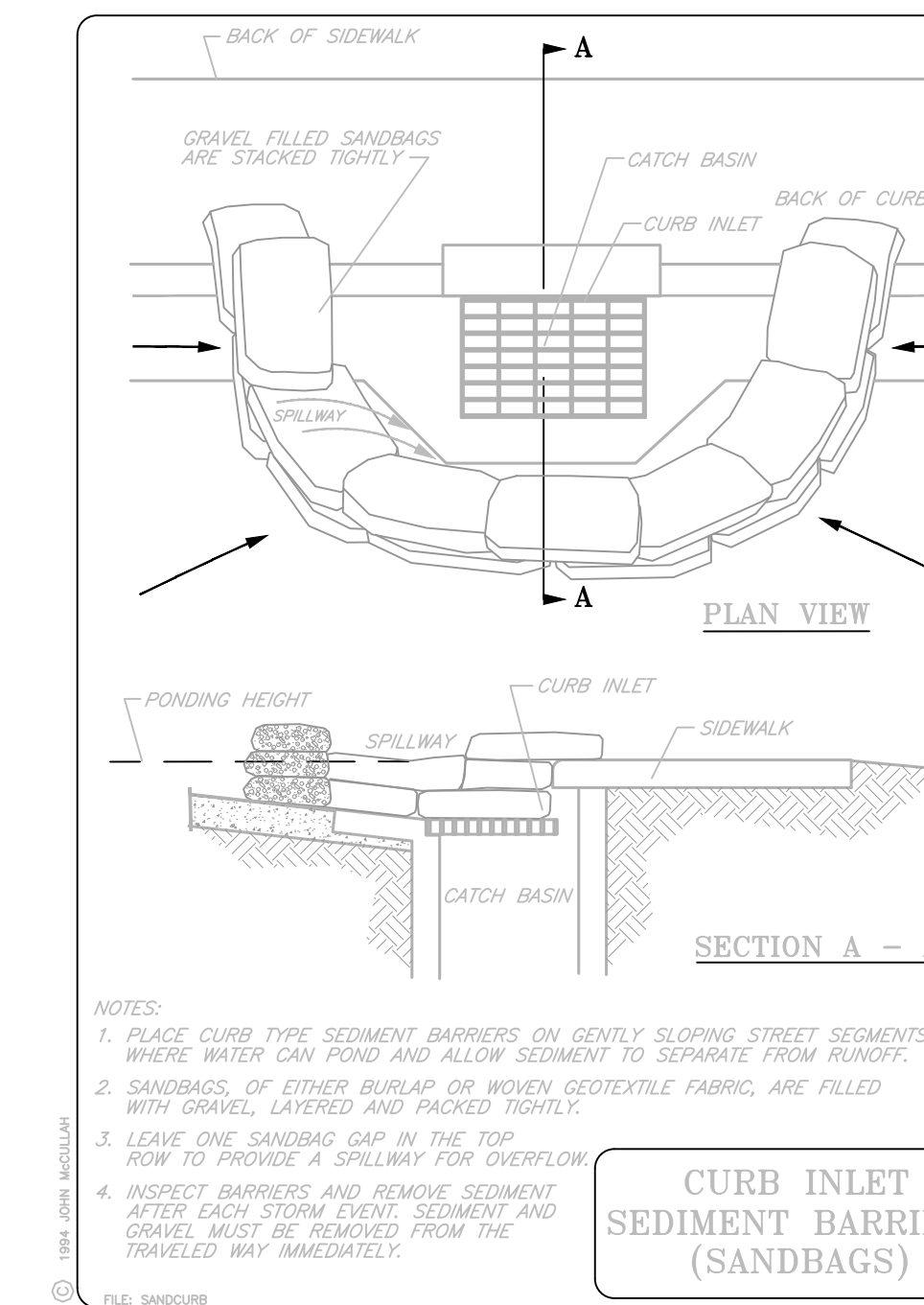
**CONTINUOUS
BERM**



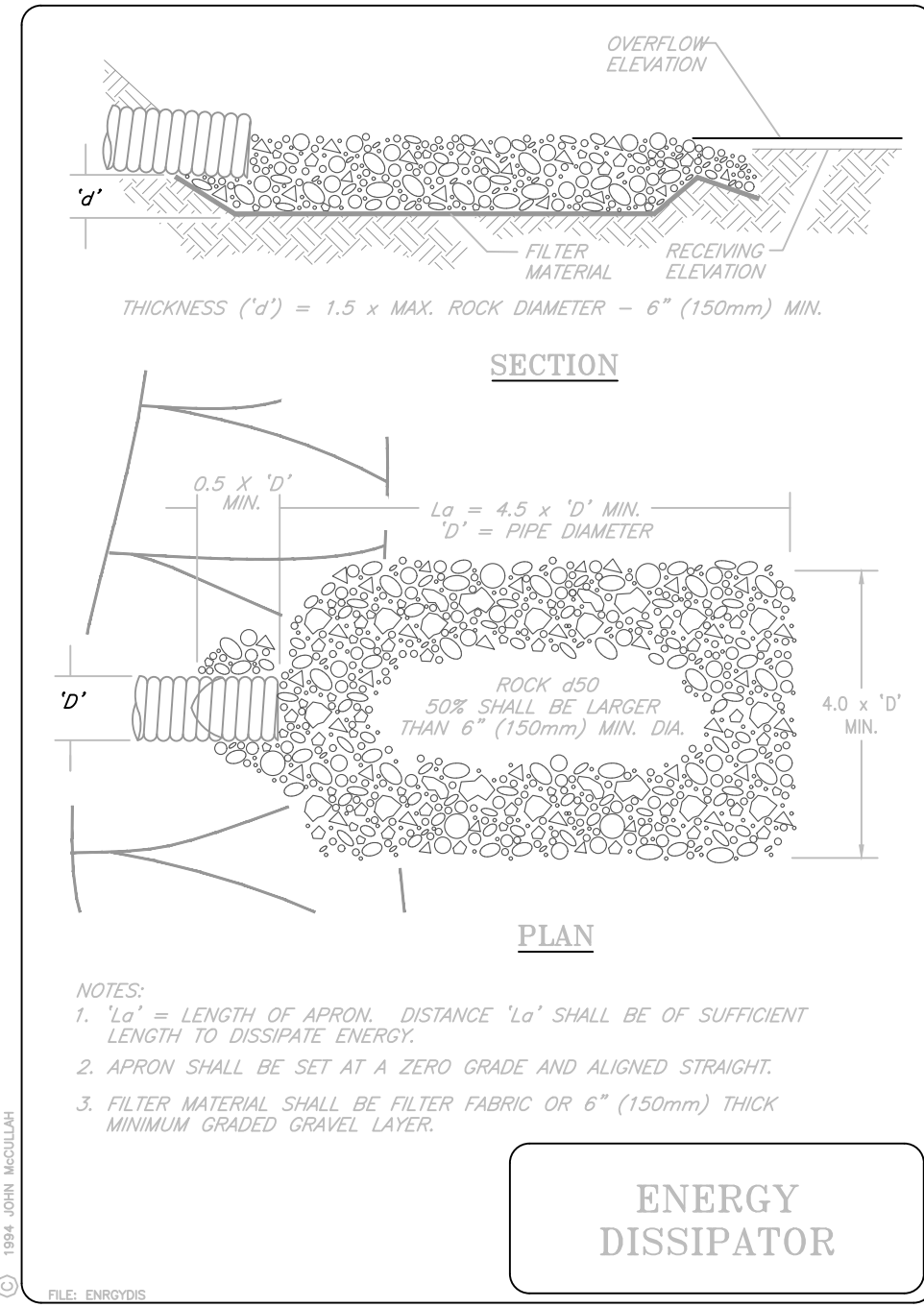
**STRAW
ANCHORING**



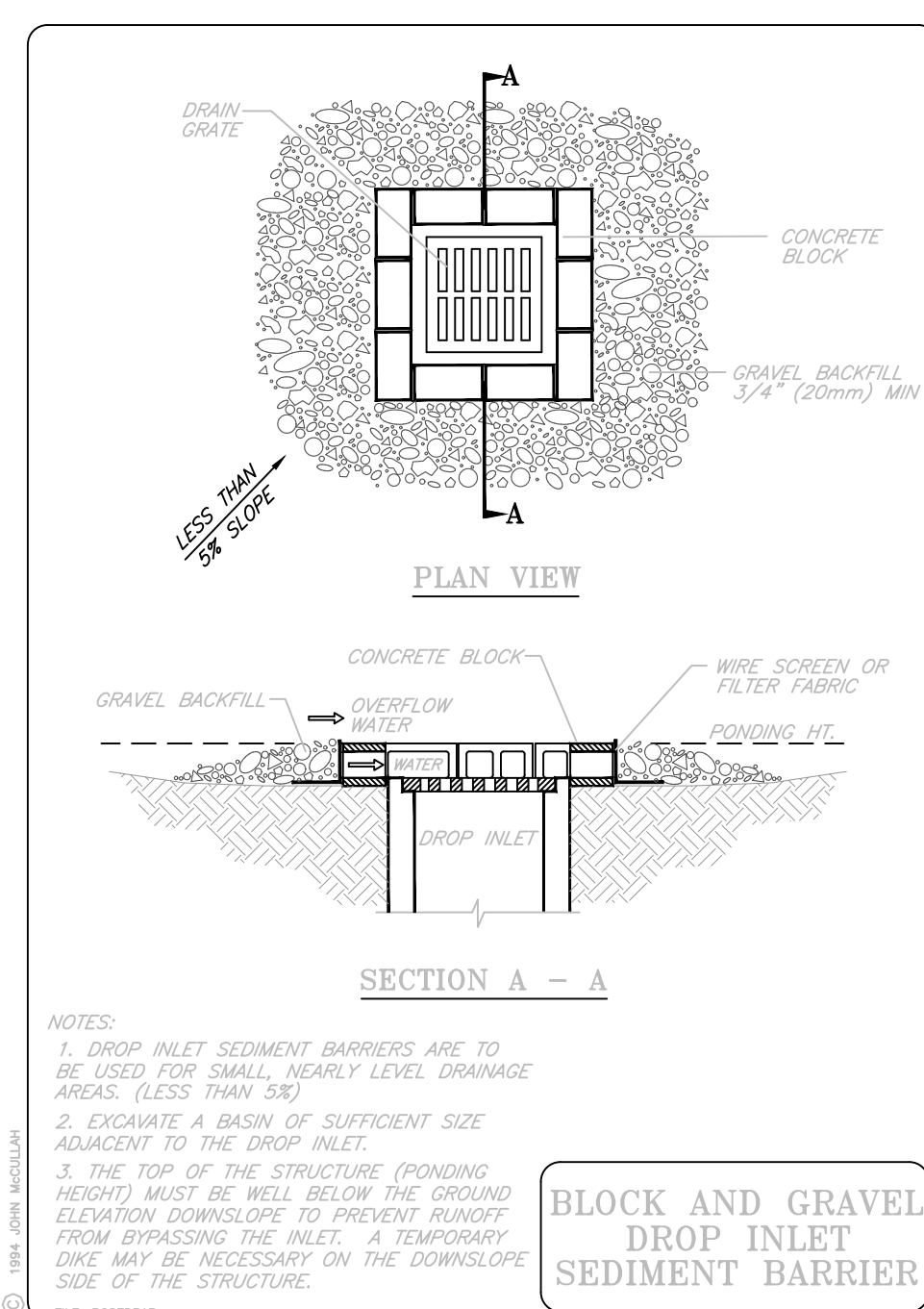
**GRASS-LINED CHANNEL
TYPICAL CROSS SECTIONS**



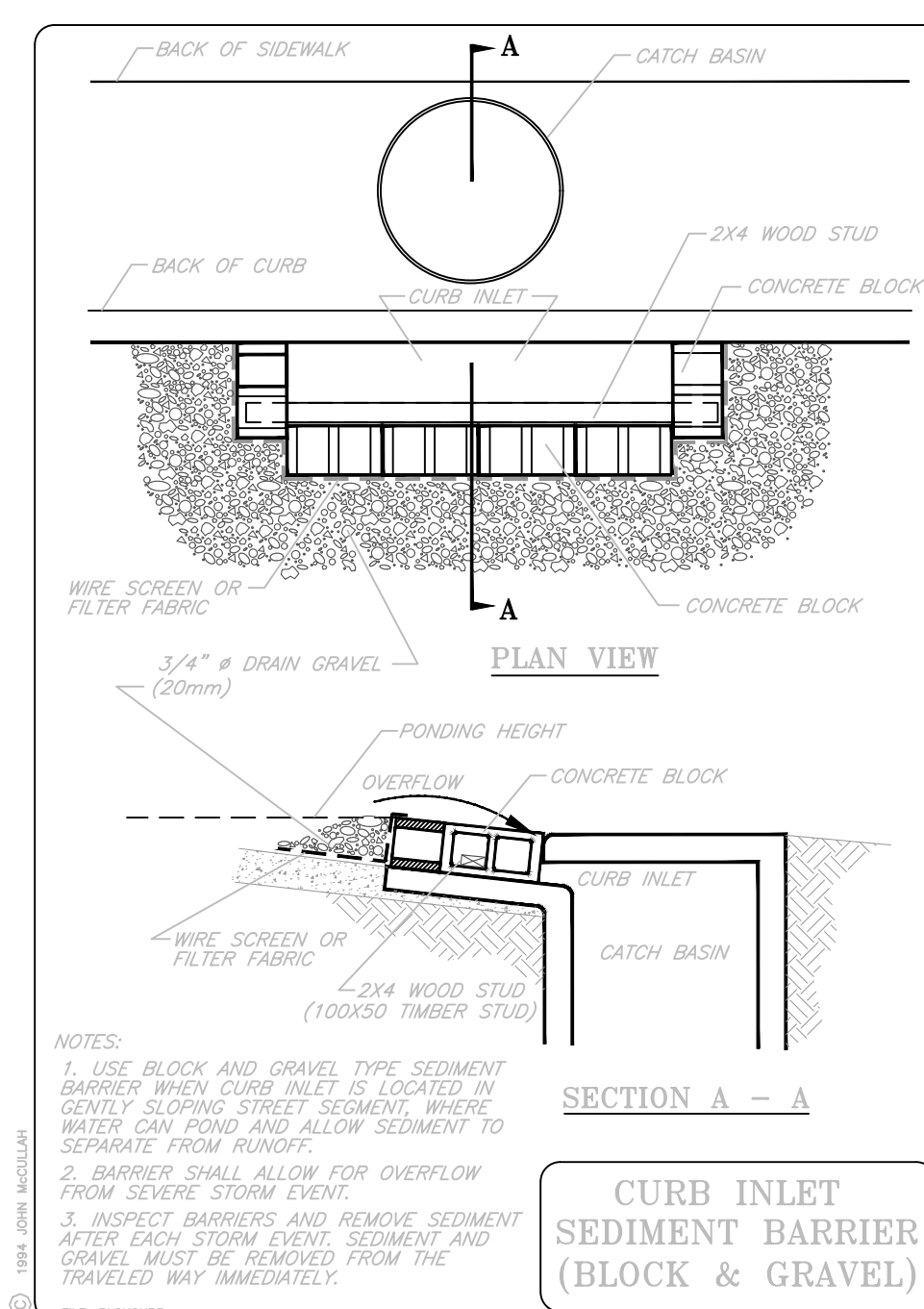
**CURB INLET
SEDIMENT BARRIER
(SANDBAGS)**



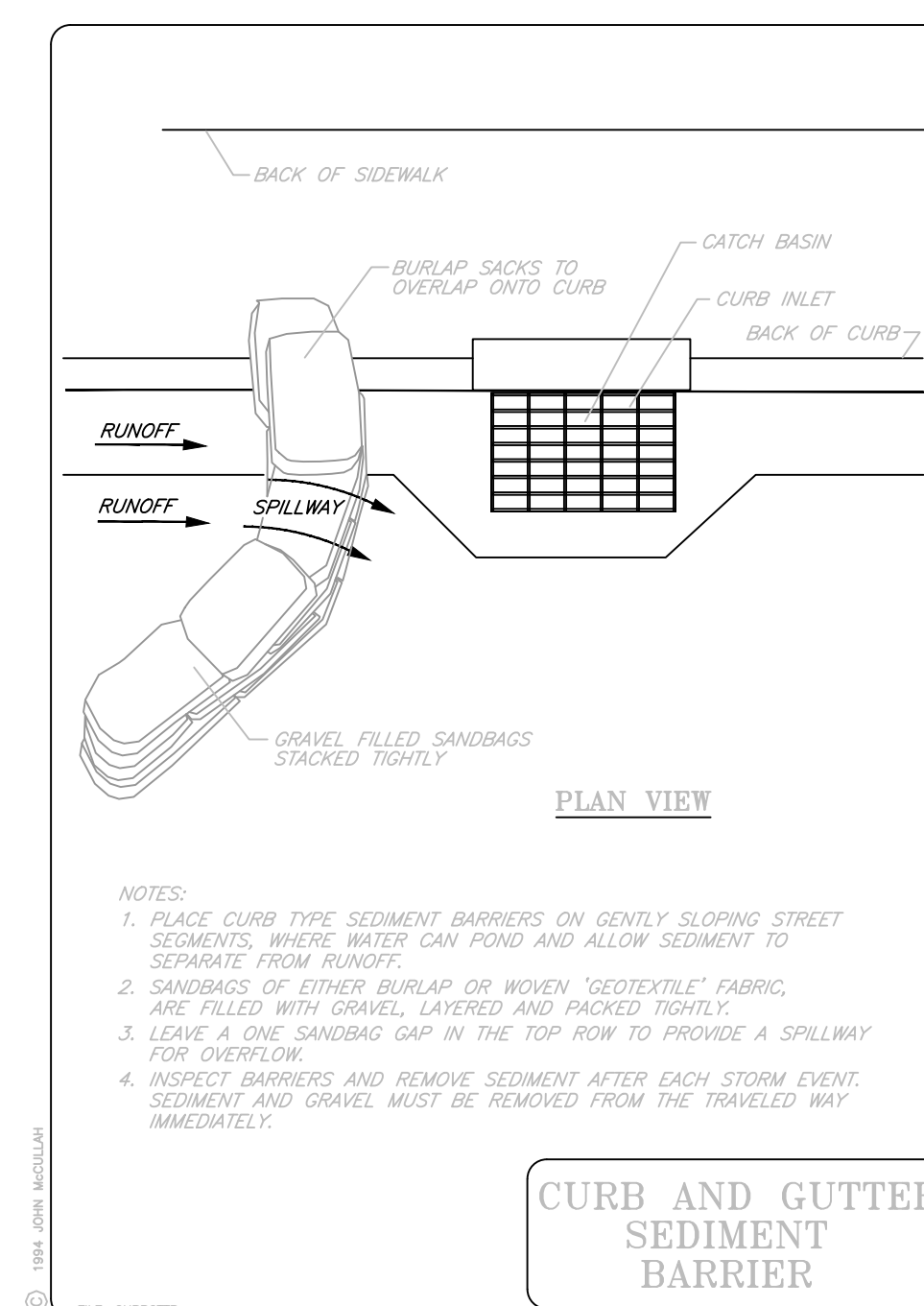
**ENERGY
DISSIPATOR**



**BLOCK AND GRAVEL
DROP INLET
SEDIMENT BARRIER**



**CURB INLET
SEDIMENT BARRIER
(BLOCK & GRAVEL)**



**CURB AND GUTTER
SEDIMENT BARRIER**

REV PER CITY OF DEFUJIAK COMMENTS	1/1/2025	DJP
1		
D. PAYNE & ASSOCIATES, LLC. 2571 PALM SHORES DRIVE, SHALIMAR, FL 32579 PHONE (850) 240-0381 FL REGISTRY NO. 37439		
SCALE AS NOTED	DESIGNED BY	DRAWN BY
	DJP	DJP
	CHECKED BY	
EROSION CONTROL DETAILS		
SOUTH 26TH STREET SUBDIVISION DEFUJIAK SPRINGS, FL WALTON COUNTY FLORIDA		
DATE	PROJECT NO.	
	N/A	
SHEET NUMBER		
C5		

SITE DESCRIPTION

SITE LOCATION & DESCRIPTION:
THIS PROJECT WILL CONSIST OF INFRASTRUCTURE IMPROVEMENTS: INCLUDING PAVING, GRADING, DRAINAGE & CLEARING.

OWNER NAME AND ADDRESS: EXISTING SOIL DATA:
FL SUNSHINE REALTY
241 LINSTEAD DRIVE NW
FORT WALTON BEACH, FL 32548

NAME	DESCRIPTION	HYDROLOGIC GROUP
FINE SAND SP-SM	WELL DRAINED	A/B

TOTAL SITE AREA: 2.92 AC.
TOTAL DISTURBED AREA: 2.92 AC.

NATURE OF CONSTRUCTION AND SOIL DISTURBING ACTIVITY:
CLEARING AND GRUBBING AS NECESSARY OF EXISTING SITE. INSTALLATION OF RETENTION AREAS, PREPARATION OF LOT PADS, LIGHT GRADING FOR RESIDENTIAL PURPOSES.

ESTIMATED FINAL SITE RUNOFF COEFFICIENT 'C': 65

- SEQUENCE OF MAJOR ACTIVITIES**
- 1) INSTALLATION OF PERIMETER SILT FENCE.
 - 2) INSTALLATION OF CONSTRUCTION ENTRANCE.
 - 3) INSTALLATION OF TEMPORARY EQUIPMENT, MATERIALS AND TOP SOIL STORAGE AREA.
 - 4) CLEARING, GRUBBING AND EXCAVATION OF AREAS SHOWN WITHIN THE CLEARING LIMITS IDENTIFIED ON THE CLEARING PLAN.
 - 5) DEMUCK OR STRIP UNSUITABLE MATERIAL, (AS DETERMINED BY THE ON-SITE GEOTECHNICAL ENGINEER).
 - 6) INSTALL UTILITIES.
 - 7) GRADING, STABILIZATION, COMPACTION AND PAVING OF ROADWAYS.
 - 8) REMOVAL OF SEDIMENT FROM BASINS AND STORM SEWER SYSTEM.
 - 9) STABILIZE SITE.
 - 10) REMOVAL OF TEMPORARY POLLUTION CONTROL DEVICES ONLY WHEN ALL CONSTRUCTION ACTIVITY HAS CEASED AND THE SITE HAS BEEN STABILIZED.

EROSION AND SEDIMENT CONTROLS

A PERIMETER SILT SCREEN SHALL BE INSTALLED ALONG THE LIMITS OF CONSTRUCTION IN ORDER TO SEPARATE SEDIMENT FROM RUNOFF WHICH MAY LEAVE DISTURBED CONSTRUCTION AREAS. ONLY THOSE PORTIONS OF THE SITE WHICH ARE ABSOLUTELY NECESSARY FOR CONSTRUCTION PURPOSES SHOULD BE CLEARED AND GRUBBED. EXISTING VEGETATION SHALL BE PRESERVED WHENEVER POSSIBLE AND DISTURBED AREAS OF THE SITE SHALL BE STABILIZED.

STABILIZATION PRACTICES SHALL BE IMPLEMENTED AS SOON AS IS REALISTICALLY POSSIBLE, HOWEVER NOT MORE THAN SEVEN (7) DAYS FROM THE LAST ACTIVITY TO DISTURB SOILS. THOSE PORTIONS OF THE SITE NOT TO BE DISTURBED FOR MORE THAN SEVEN (7) DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING OR MULCHING. CHECK PERMITS TO VERIFY STATE AND LOCAL REQUIREMENTS.

AFTER CONSTRUCTION IS COMPLETE, DISTURBED AREAS MUST BE PERMANENTLY STABILIZED BY PERMANENT SEEDING AND PLANTING, MULCHING, GEOTEXTILES, OR SOD STABILIZATION.

VEGETATIVE AND OTHER SITE STABILIZATION PRACTICES CAN BE EITHER TEMPORARY OR PERMANENT CONTROLS. TEMPORARY CONTROLS PROVIDE A COVER FOR EXPOSED OR DISTURBED AREAS FOR SHORT PERIODS OF TIME OR UNTIL PERMANENT EROSION CONTROLS ARE PUT IN PLACE. PERMANENT VEGETATIVE PRACTICES ARE USED WHEN ACTIVITIES THAT DISTURB THE SOIL ARE COMPLETE OR WHEN EROSION IS OCCURRING ON A SITE THAT IS OTHERWISE STABILIZED.

INLET PROTECTION MUST BE IN PLACE TO PROTECT THE EXISTING DRAINAGE SYSTEM AND PROPOSED DRAINAGE STRUCTURES AFTER THEY ARE INSTALLED. THESE METHODS INCLUDE SEDIMENT BASINS, SEDIMENT TRAPS, OR OTHER APPROVED METHOD OF INLET PROTECTION TO MINIMIZE THE AMOUNT OF SEDIMENT WHICH MAY ACCUMULATE WITHIN THE DRAINAGE SYSTEM.

APPROVED METHODS OF STABILIZATION:

- 1) TEMPORARY SEEDING AND PLANTING
TEMPORARY SEEDING SHOULD BE UTILIZED ON AREAS WHICH HAVE BEEN DISTURBED BY CONSTRUCTION AND WHICH ARE LIKELY TO BE REDISTURBED, BUT NOT FOR SEVERAL WEEKS OR MORE. TEMPORARY SEEDING SHOULD TAKE PLACE AS SOON AS PRACTICABLE AFTER THE LAST LAND DISTURBING ACTIVITY.
SEEDED AREAS SHOULD BE COVERED WITH MULCH TO PROVIDE PROTECTION FROM THE WEATHER. SEEDING ON SLOPES OF 2:1 OR MORE, IN ADVERSE SOIL CONDITIONS, OR EXCESSIVELY HOT OR DRY WEATHER, OR WHERE HEAVY RAIN IS EXPECTED SHOULD BE FOLLOWED BY SPREADING MULCH. FREQUENT INSPECTIONS ARE NECESSARY TO CHECK THAT CONDITIONS FOR GROWTH ARE GOOD. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT TEMPORARY SEEDING IS PROVIDING AN EFFECTIVE METHOD OF EROSION CONTROL.
- 2) MULCHING
MULCHING CONSISTS OF THE USE OF MATERIALS SUCH AS GRASS, HAY, WOODCHIPS, WOOD FIBERS, STRAW OR GRAVEL PLACED ON THE SOIL SURFACE AS A METHOD OF EROSION CONTROL. MULCHING MAY BE USED IN CONJUNCTION WITH TEMPORARY SEEDING AS A MORE EFFECTIVE MEANS. MULCHING CAN BE USED IN AREAS WHERE TEMPORARY SEEDING IS NOT PRACTICAL OR EFFECTIVE DUE TO SEASON OR CLIMATE. USE OF MULCH MAY OR MAY NOT REQUIRE METHODS OF SECURING SUCH AS ON AREAS WITH STEEP SLOPING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT MULCH IS IN PLACE CORRECTLY AND EFFECTIVELY MINIMIZING EROSION.
- 3) GEOTEXTILES
GEOTEXTILES USED ALONE CAN BE USED AS MATTING TO STABILIZE THE FLOW ON CHANNELS AND SWALES, AND FOR RECENTLY PLANTED SLOPES TO PROTECT SEEDLINGS UNTIL THEY BECOME ESTABLISHED. EFFECTIVE NETTING AND MATTING REQUIRE FIRM, CONTINUOUS CONTACT BETWEEN MATERIALS AND SOIL. REGULAR INSPECTIONS AND APPLICABLE MANUFACTURERS DESIGN REQUIREMENTS AND OTHER STATE OR LOCAL REQUIREMENTS MUST BE MET. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE RIGHT FABRIC HAS BEEN SELECTED FOR THE TYPE OF USE AND IS IN PLACE AND WORKING PROPERLY.
- 4) CHEMICAL STABILIZATION
CHEMICAL STABILIZATION PRACTICES UTILIZE MATERIALS MADE OF VINYL, ASPHALT, OR RUBBER TO HOLD SOIL IN PLACE AND PROTECT AGAINST EROSION FROM STORM WATER RUNOFF AND WIND. CHEMICAL STABILIZATION MAY BE USED WHERE TEMPORARY SEEDING PRACTICES ARE INEFFECTIVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE APPLICATION RATES AND PROCEDURES RECOMMENDED BY THE MANUFACTURER ARE ADHERED TO.

- 5) PERMANENT SEEDING AND PLANTING
PERMANENT SEEDING AND PLANTING IS APPROPRIATE FOR ANY GRADED OR CLEARED AREA WHERE LONG-LIVED PLANT COVER IS DESIRED SUCH AS FILTER STRIPS, BUFFER AREAS, VEGETATED SWALES, STEEP SLOPES, AND STREAM BANKS. PERMANENT SEEDING IS EFFECTIVE ON AREAS WHERE SOILS ARE UNSTABLE BECAUSE OF TEXTURE, STRUCTURE, HIGH WINDS, HIGH WATER TABLE, OR STEEP SLOPE. SLOPES GREATER THAN 4:1 SHOULD ALSO BE MULCHED.
- 6) BUFFER ZONES
BUFFER ZONES ARE VEGETATED STRIPS OF LAND USED FOR TEMPORARY OR PERMANENT WATER QUALITY BENEFITS, DECREASING THE VELOCITY OF STORM WATER RUNOFF AND MINIMIZING EROSION. EXISTING VEGETATED AREAS SHOULD BE UTILIZED FOR THIS PURPOSE AS OFTEN AS POSSIBLE.
- 7) PRESERVATION OF NATURAL VEGETATION
THE PRESERVATION OF EXISTING VEGETATION PROVIDES NATURAL BUFFER ZONES. MAINTENANCE OF THESE ACRES IS EXTREMELY IMPORTANT AND VARIES DEPENDING UPON VEGETATION SPECIES, SOIL TYPE, AND WEATHER.
- 8) SOD STABILIZATION
SODDING STABILIZES AN AREA BY PROVIDING FAST GROWING VEGETATION AND INCREASING THE INFILTRATION RATE OF STORM WATER. SODDING IS APPROPRIATE FOR ANY GRADED OR CLEARED AREA WHERE A PERMANENT PLANT COVER IS NEEDED IMMEDIATELY, SUCH AS BUFFER ZONES, STREAM BANKS, DIKES, SWALES, SLOPES, OUTLETS, LEVEL SPREADERS AND FILTER STRIPS.
THE SOIL SURFACE SHOULD BE FINE-GRADED BEFORE THE LAYING OF SOD. TOP SOIL MAY BE NEEDED IN AREAS WHERE SOIL TEXTURES ARE INADEQUATE, AND LIME AND FERTILIZERS SHOULD BE ADDED TO PROMOTE GOOD GROWTH CONDITIONS. SOD SHOULD NOT BE PLACED ON SLOPES THAT ARE GREATER THAN 3:1 IF THEY ARE TO BE MOWED. ON STEEP SLOPES, SOD SHOULD BE STAGGERED AND/OR PEGGED. SODDING MAY BE USED IN CONJUNCTION WITH MULCHING AND GEOTEXTILES AS NECESSARY.
- 9) STREAM BANK STABILIZATION
STREAM BANK STABILIZATION SHALL BE USED WHERE VEGETATIVE STABILIZATION IS NOT PRACTICAL AND WHERE STREAM BANKS ARE SUBJECT TO INCREASED FLOWS OR DISTURBANCE DURING CONSTRUCTION. STREAM BANK STABILIZATION STRUCTURES SHOULD BE INSPECTED REGULARLY AND AFTER EACH LARGE STORM EVENT AND MAINTAINED AS INSTALLED. STREAM BANK MEASURES SHALL BE APPROVED BY THE ENGINEER.
- 10) SOIL RETAINING MEASURES
SOIL RETAINING MEASURES ARE PRACTICES WHICH HOLD SOIL FIRMLY IN PLACE AND CONFINE AS MUCH AS POSSIBLE WITHIN THE SITE BOUNDARY. SOME METHODS OF SOIL RETAINING MEASURES INCLUDE SKELETON SHEETING, CONTINUOUS SHEETING, AND PERMANENT RETAINING WALLS. THESE DEVICES SHALL BE USED WHERE OTHER METHODS SUCH AS VEGETATION ARE NOT PRACTICAL. THE ENGINEER SHALL APPROVE ANY AND ALL METHODS OF REINFORCED SOIL RETENTION.
- 11) DUST CONTROL
WIND MAY SPREAD SEDIMENT AND DUST SUCH THAT THESE POLLUTANTS MAY BE WASHED ON OR OVER SITE, OR INTO A RECEIVING DRAINAGE SYSTEM OR WATER BODY. METHODS OF DUST CONTROL MAY BE NEEDED TO PREVENT DUST FROM BEING CARRIED AWAY FROM THE SITE. SOME OF THESE METHODS INCLUDE VEGETATIVE COVER, MULCH, SPRAY OR ADHESIVE, CALCIUM CHLORIDE, SPRINKLING, STONE, AND BARRIERS.

- STRUCTURAL CONTROLS**
- FOR COMMON DRAINAGE LOCATIONS THAT SERVE AN AREA WITH 10 OR MORE DISTURBED ACRES AT ONE TIME, A TEMPORARY OR PERMANENT SEDIMENT BASIN PROVIDING 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED SHALL BE PROVIDED WHERE ATTAINABLE UNTIL FINAL STABILIZATION OF THE SITE. THE STORAGE AREA DOES NOT APPLY TO FLOWS FROM OFFSITE AREAS AND FLOWS FROM ONSITE AREAS THAT ARE EITHER UNDISTURBED OR HAVE BEEN STABILIZED WHERE SUCH FLOWS ARE DIVERTED AROUND THE SEDIMENT BASIN. FOR DRAINAGE LOCATIONS WHICH SERVE 10 OR MORE DISTURBED ACRES AT ONE TIME AND WHERE A TEMPORARY SEDIMENT BASIN PROVIDING 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED, SEDIMENT TRAPS SHOULD BE USED. AT A MINIMUM, SILT FENCES OR EQUIVALENT CONTROLS ARE REQUIRED FOR ALL SIDESLOPE AND DOWNSLOPE BOUNDARIES OF THE CONSTRUCTION AREA.
- FOR DRAINAGE LOCATIONS SERVING LESS THAN 10 ACRES, SEDIMENT TRAPS, SILT FENCES OR EQUIVALENT SEDIMENT CONTROLS ARE REQUIRED FOR ALL SIDESLOPE AND DOWNSLOPE BOUNDARIES OF THE CONSTRUCTION AREA UNLESS A SEDIMENT BASIN PROVIDING STORAGE FOR 3,600 CUBIC FEET OF STORAGE PER ACRE DRAINED IS PROVIDED.
- APPROVED STRUCTURAL CONTROLS:
- 1) EARTH DIKE
AN EARTH DIKE IS A RIDGE OR RIDGE AND CHANNEL COMBINATION WHICH CAN PROTECT WORK AREAS FROM UPLAND RUNOFF AND DIVERT POLLUTED STORM WATER TO APPROPRIATE TRAPS OR POLLUTANT RETARDING OUTLETS. THE DIKE MUST CONSIST OF COMPACTED SOIL AND STONE, RIPRAP, OR VEGETATION TO STABILIZE THE CHANNEL. THE DIKE MUST BE PROPERLY COMPACTED AND NO LOW POINTS OR DIPS MUST BE PRESENT TO TRAP STORM WATER OTHER THAN THE DISCHARGE POINT. INTERCEPTED RUNOFF FROM CONSTRUCTION AREAS MUST BE DIRECTED THROUGH A SEDIMENT TRAPPING DEVICE.
 - 2) DRAINAGE SWALE
A DRAINAGE SWALE IS A CHANNEL LINED WITH VEGETATION, RIPRAP, ASPHALT, CONCRETE, OR OTHER MATERIAL APPROVED BY THE ENGINEER TO CONVEY RUNOFF WITHOUT CAUSING EROSION. THERE SHALL BE NO DIPS OR LOW POINTS IN THE SWALE WHERE STORM WATER WILL COLLECT. THESE SWALES ARE USEFUL FOR DIRECTING RUNOFF TO A SUITABLE OUTLET.
 - 3) INTERCEPTOR DIKES AND SWALES
INTERCEPTOR DIKES AND SWALES ARE UTILIZED TO PREVENT UPLAND RUNOFF FROM CROSSING AREAS OF HIGH EROSION RISK. THESE DEVICES REDUCE THE AMOUNT AND SPEED OF FLOW AND DIRECT TO A SUITABLE OUTLET. THESE DEVICES MAY BE USED AROUND THE PERIMETER OF A CONSTRUCTION SITE BEFORE ANY SOIL DISTURBING TAKES PLACE. THESE DEVICES MAY ALSO BE USED TO PROTECT EXISTING BUILDINGS, STOCKPILES, OR OTHER AREAS NOT FULLY STABILIZED. TEMPORARY DIKES AND SWALES ARE USED IN AREAS OF OVERLAND FLOW, AND IF THEY REMAIN FOR LONGER THAN 15 DAYS THEY MUST BE STABILIZED. RUNOFF SHALL BE CHANNELLED TO AN APPROVED POLLUTION RETARDANT OUTLET.
 - 4) TEMPORARY STORM DRAIN DIVERSION
THIS DEVICE WILL REDIRECT AN EXISTING STORM DRAIN SYSTEM TO DISCHARGE TO AN APPROVED SEDIMENT TRAP OR BASIN. APPROPRIATE RESTORATION MEASURES SUCH AS THE FLUSHING OF THE DRAINAGE SYSTEM PRIOR TO THE REMOVAL OF THE SEDIMENT TRAP OR BASIN, STABILIZATION OF THE OUTFALL, AND RESTORATION OF GRADE AREAS SHOULD BE TAKEN.
 - 5) SILT FENCE
A SILT FENCE OR FILTER FENCE IS USED IN SMALL DRAINAGE AREAS TO DETAIN SEDIMENT AND IS MOST EFFECTIVE WHERE THERE IS OVERLAND FLOW OR IN MINOR SWALES AND CHANNELS. SILT FENCES ALSO CATCH WIND BLOWN SAND AND CREATE AN ANCHOR FOR SAND DUNE CREATION. SILT FENCES SHALL BE INSTALLED PRIOR TO MAJOR SOIL DISTURBANCE AND PLACED ACROSS THE BOTTOM OF A SLOPE ALONG UNIFORM ELEVATION. SILT FENCES SHALL NOT BE CONSTRUCTED IN STREAMS OR SWALES. SILT FENCES REQUIRE FREQUENT INSPECTION AND PROMPT MAINTENANCE, INCLUDING AFTER EACH STORM EVENT, TO MAINTAIN EFFECTIVENESS. REMOVE AND DISPOSE OF SEDIMENT BEFORE IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.

- POLLUTION SOURCE CONTROLS**
- 6) STORM DRAIN INLET PROTECTION
STORM DRAIN INLET PROTECTION DEVICES FILTER SEDIMENT FROM RUNOFF AND ARE PLACED AROUND ANY INLET OR DRAIN. THESE DEVICES PREVENT SEDIMENT FROM ENTERING THE DRAINAGE SYSTEM AND SERVE TO PREVENT THE SILTING-IN OF INLETS OR RECEIVING CHANNELS. INLET PROTECTION MAY BE GRAVEL AND STONE WITH WIRE MESH, BLOCK AND GRAVEL, FILTER FABRIC, SOD, OR OTHER APPROVED DEVICE. FILTER FABRIC MAY BE USED FOR SMALL FLOWS AND LOW VELOCITIES. BLOCK AND GRAVEL MAY BE USED FOR HIGHER VELOCITIES. GRAVEL AND MESH FILTERS MAY BE USED FOR HIGH FLOWS AND IN AREAS WHERE TRAFFIC MAY DISTURB THE SITE. SOD INLET FILTERS ARE ONLY USED WHERE SEDIMENTS ARE LOW IN CONCENTRATION. INLET PROTECTION SHOULD BE USED IN COMBINATION WITH OTHER MEASURES SUCH AS SEDIMENT TRAPS TO PROVIDE MORE EFFECTIVE SEDIMENT REMOVAL AND SHOULD BE INSPECTED REGULARLY. THESE DEVICES MAY ONLY BE REMOVED AFTER DISTURBED AREAS ARE COMPLETELY STABILIZED.
 - 7) SEDIMENT TRAP
A SEDIMENT TRAP IS FORMED BY PLACING AN EARTHEN EMBANKMENT ACROSS A LOW AREA OR DRAINAGE SWALE, OR BY EXCAVATING A POND. AN OUTLET OR SPILLWAY IS CONSTRUCTED UTILIZING LARGE STONES OR OTHER AGGREGATE MATERIAL TO ALLOW FOR THE SLOW RELEASE OF RUNOFF AND MAY BE USED IN CONJUNCTION WITH GRAVEL CONSTRUCTION ENTRANCES, VEHICLE WASH AREAS, SLOPE DRAINS, DIVERSION DIKES AND SWALES OR DIVERSION CHANNELS. SEDIMENT TRAPS ARE SUITABLE FOR DRAINAGE AREAS TEN (10) ACRES OR LESS AND SHALL BE LARGE ENOUGH TO ALLOW SEDIMENTS TO SETTLE AND HAVE THE CAPACITY TO STORE THE SEDIMENT. THE TRAP SHALL BE MAINTAINED AND READILY ACCESSIBLE FOR SEDIMENT REMOVAL. TRAPS MUST BE INSPECTED AFTER EACH RAINFALL AND CLEANED WHEN NO MORE THAN HALF THE DESIGN VOLUME HAS BEEN FILLED. THE TRAP MUST NOT BE REMOVED UNTIL THE SITE AREA IS PERMANENTLY STABILIZED.
 - 7) TEMPORARY SEDIMENT BASIN
A SEDIMENT BASIN IS A SETTILING POND WITH A CONTROLLED OUTFALL STRUCTURE USED TO COLLECT AND STORE SEDIMENT FROM CONSTRUCTION ACTIVITIES. SEDIMENT BASINS MAY MAINTAIN A PERMANENT POOL OR DRAIN COMPLETELY DRY AND INSTALLED BEFORE CLEARING AND GRUBBING HAS BEGUN. SEDIMENT BASINS USUALLY ARE IN PLACE FOR DISTURBED AREAS LARGER THAN 5 ACRES. THE POND SHOULD BE LARGE ENOUGH TO HOLD RUNOFF LONG ENOUGH FOR SEDIMENT TO SETTLE AND CONTAIN SUFFICIENT SPACE FOR THE SEDIMENT. SEDIMENT BASINS SHALL BE EASILY ACCESSIBLE FOR MAINTENANCE AND SEDIMENT REMOVAL, AND INSPECTED AFTER EACH RAINFALL AND CLEANED OUT WHEN HALF THE VOLUME HAS BEEN FILLED WITH SEDIMENT.
- EROSION CONTROL DEVICES TO BE INSTALLED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS, LATEST EDITION.

WASTE, SANITARY, AND SEPTIC TANK DISPOSAL CONTROLS
SOLID WASTE PRODUCED ON-SITE SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS. SOLID WASTE IS TO BE HAULED OFF-SITE AND DISPOSED OF AT A LICENSED LAND FILL. NO SOLID MATERIALS INCLUDING BUILDING MATERIALS SHALL BE DISCARDED INTO SURFACE WATERS. SPECIFIC LOCATIONS ONSITE SHALL BE DESIGNATED FOR WASTE RECEIPT AND A COLLECTION SCHEDULE MUST BE ESTABLISHED. SPECIAL PROVISIONS SHALL BE MADE FOR THE COLLECTION, STORAGE, AND DISPOSAL OF TOXIC AND HAZARDOUS SUBSTANCES IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL HEALTH AND SAFETY REGULATIONS.

WASTE COLLECTION AREAS ARE TO BE MAINTAINED AND ARE TO BE LOCATED IN LOCATIONS LEAST LIKELY TO BE AFFECTED BY CONCENTRATED STORM WATER RUNOFF.

CONTRACTOR SHALL ENSURE AND DEMONSTRATE COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS DURING WASTE, SANITARY, AND SEPTIC TANK DISPOSAL.

ADEQUATE SANITARY FACILITIES SHALL BE PROVIDED ON SITE FOR WORKERS IN ACCORDANCE WITH APPLICABLE HEALTH REGULATIONS.

OFF-SITE VEHICLE TRACKING OF SEDIMENTS CONTROLS
OFF-SITE VEHICLE TRACKING OF SEDIMENTS AND GENERATION OF DUST SHALL BE MINIMIZED. CALCIUM CHLORIDE, OILS OR OTHER CHEMICAL DUST CONTROL AGENTS SHOULD NOT BE USED ON CONSTRUCTION ROADS. AREAS SHALL BE PERIODICALLY WATERED TO MINIMIZE DUST.

A STONE STABILIZED PAD SHALL BE LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON THE CONSTRUCTION SITE TO AVOID TRANSPORTING SEDIMENTS TO OFF-SITE ROADS.

SPECIALLY DESIGNATED WASH AREAS FOR WASHING OF VEHICLES SHALL BE LOCATED WHERE WASH WATER WILL NOT DISCHARGE DIRECTLY TO SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. WASH AREAS SHALL BE LOCATED WHERE WASH WATER CAN SPREAD OUT AND EVAPORATE OR INFILTRATE DIRECTLY INTO THE GROUND OR WHERE RUNOFF CAN BE COLLECTED IN TEMPORARY HOLDING OR SEEPAGE BASIN. WASH AREAS SHALL HAVE GRAVEL BASES TO MINIMIZE MUD GENERATION.

DEMOLITION CONTROLS
CALCIUM CHLORIDE, OILS OR OTHER CHEMICAL DUST CONTROL AGENTS SHOULD NOT BE USED TO CONTROL DUST. AREAS SHALL BE PERIODICALLY WATERED TO MINIMIZE THE TRANSPORT OF AIRBORNE POLLUTANTS. WATER OR SLURRY USED TO CONTROL DUST MUST BE RETAINED ONSITE AND NOT ALLOWED TO RUN INTO SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS.

FERTILIZER AND PESTICIDE CONTROLS
FERTILIZERS:
A. ALL FERTILIZERS SHALL BE STORED IN A DRY STORAGE AREA PROTECTED FROM RAINFALL AND PONING.
B. NO FERTILIZER CONTAINING IN EXCESS OF 2% PHOSPHATE/PHOSPHORUS (P205) PER GUARANTEED ANALYSIS LABEL (AS DEFINED BY CHAPTER 576, FLORIDA STATUTES) SHALL BE APPLIED TO TURFGRASS, PASTURES, PADDocks, OR USED IN NURSERIES UNLESS JUSTIFIED BY A SOIL TEST.
C. FERTILIZER CONTAINING IN EXCESS OF 2% PHOSPHATE/PHOSPHORUS (P205) PER GUARANTEED ANALYSIS LABEL SHALL NOT BE APPLIED WITHIN 5 FEET OF THE EDGE OF WATER OR WITHIN 5 FEET OF A DRAINAGE FACILITY.
D. ALL FERTILIZER SHALL BE APPLIED SUCH THAT SPREADING OF FERTILIZER ON ALL IMPERVIOUS SURFACES IS MINIMIZED.
E. LIQUID FERTILIZERS CONTAINING IN EXCESS OF 2% PHOSPHATE/PHOSPHORUS (P205) PER GUARANTEED ANALYSIS LABEL SHALL NOT BE APPLIED THROUGH AN IRRIGATION SYSTEM WITHIN 10 FEET OF THE EDGE OF WATER OR WITHIN 10 FEET OF A DRAINAGE FACILITY.
F. LIQUID FERTILIZERS CONTAINING IN EXCESS OF 2% PHOSPHATE/PHOSPHORUS (P205) PER GUARANTEED ANALYSIS LABEL SHALL NOT BE APPLIED THROUGH HIGH OR MEDIUM MIST APPLICATION OR DIRECTED SPRAY APPLICATION WITHIN 10 FEET OF THE EDGE OF WATER OR WITHIN 10 FEET OF A DRAINAGE FACILITY.

PESTICIDES:
THE USE OF PESTICIDES, FUNGICIDES, OR HERBICIDES IS LIMITED TO PRODUCTS THAT MEET THE FOLLOWING CRITERIA:
A. MUST BE CONSISTENT WITH THE USDA-NRCS SOIL RATING FOR SELECTING PESTICIDES.
B. MUST HAVE THE MINIMUM POTENTIAL FOR LEACHING INTO GROUNDWATER OR LOSS FROM RUNOFF.
C. PRODUCTS MUST BE EPA APPROVED.
D. THE HALF-LIFE OF PRODUCTS USED SHALL NOT EXCEED SEVENTY (70) DAYS

CERTIFICATION

OWNER/OPERATORS CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

SIGNED: _____ DATE: _____
PRINTED NAME/TITLE: _____
(OWNER/OPERATOR OR AUTHORIZED AGENT)

CONTRACTOR/SUBCONTRACTOR CERTIFICATION

ANY AND ALL CONTRACTORS AND SUBCONTRACTORS LISTED IN THE POLLUTION PREVENTION PLAN MUST COMPLETE THE FOLLOWING CERTIFICATION TO BE KEPT WITH THE PLAN.

SITE LOCATION: _____
CONTRACTING FIRM INFORMATION: _____
NAME: _____
ADDRESS: _____
PHONE NO.: (____) _____

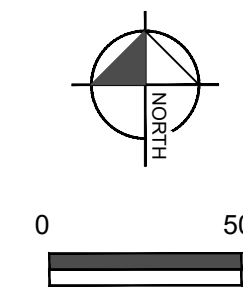
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE FINAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES, PUBLISHED IN THE FEDERAL REGISTER ON MARCH 31, 1998, THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNED: _____ DATE: _____
PRINTED NAME/TITLE: _____

CONTRACTOR/ SUB-CONTRACTOR COMPANY NAME	AUTHORIZED REPRESENTATIVE (PRINT NAME/TITLE)	SIGNATURE	DATE	PHONE NO.

1	REV PER CITY OF DEFLUNIAK COMMENTS	1/1/2025	DJP
REVISONS		DATE	BY
No.			
D. PAYNE & ASSOCIATES, LLC. 2571 PALM SHORES DRIVE, SHALIMAR, FL 32579 PHONE (850) 240-0361 FL REGISTRY NO. 37439			
DANIEL J. PAYNE, P.E. FL REGISTRATION NO. 74609			
SCALE AS NOTED	DESIGNED BY	DRAWN BY	CHECKED BY
	DJP	DJP	
SOUTH 26TH STREET SUBDIVISION DEFUNIACK SPRINGS, FL FLORIDA WALTON COUNTY			
DATE			
PROJECT NO. N/A			
SHEET NUMBER C6			

REV PER CITY OF DEFUNIAK COMMENTS	1/19/25	DJP	DATE
1			
REVISIONS			
No.			
BY			
D. PAYNE & ASSOCIATES, LLC.			
2571 PALM SHORES DRIVE, SHALIMAR, FL 32579			
PHONE (850) 240-0381			
FL REGISTRY NO. 374339			
DANIEL J. PAYNE, P.E.			
FL REGISTRATION NO. 76809			
SCALE AS NOTED	DESIGNED BY	DRAWN BY	CHECKED BY
	DJP	DJP	
UTILITY PLAN			
SOUTH 26TH STREET			
SUBDIVISION			
DEFUNIAK SPRINGS, FL			
FLORIDA			
WALTON COUNTY			
DATE			
PROJECT NO.			
SHEET NUMBER			
C7			



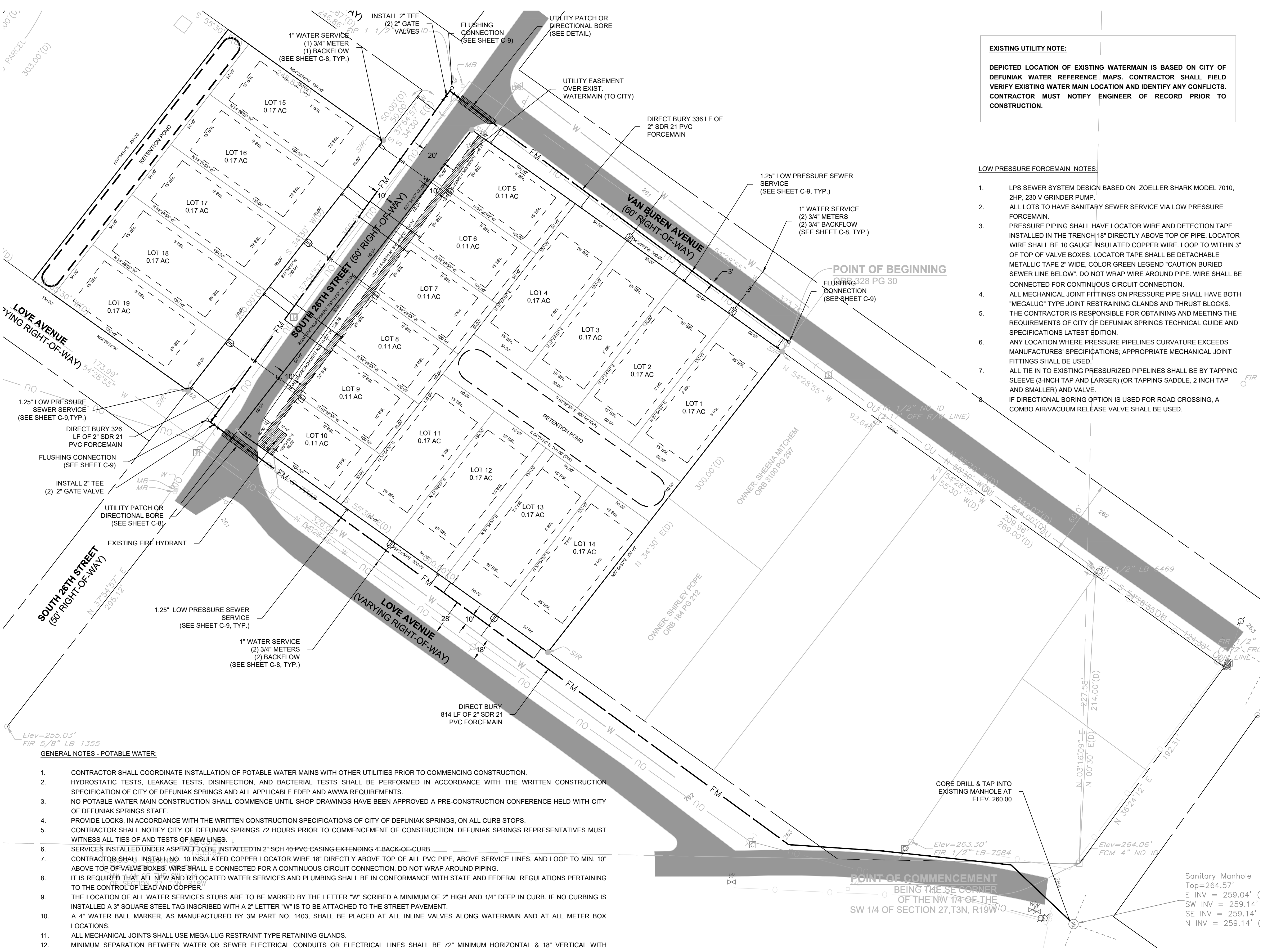
- LEGEND:**
- ASPHALT
 - CONCRETE
 - GRAVEL
 - BUILDING
 - CENTERLINE
 - PROPERTY LINE
 - FORCE MAIN
 - WATER MAIN
 - FIRE HYDRANT
 - GATE VALVE
 - REDUCER

EXISTING UTILITY NOTE:

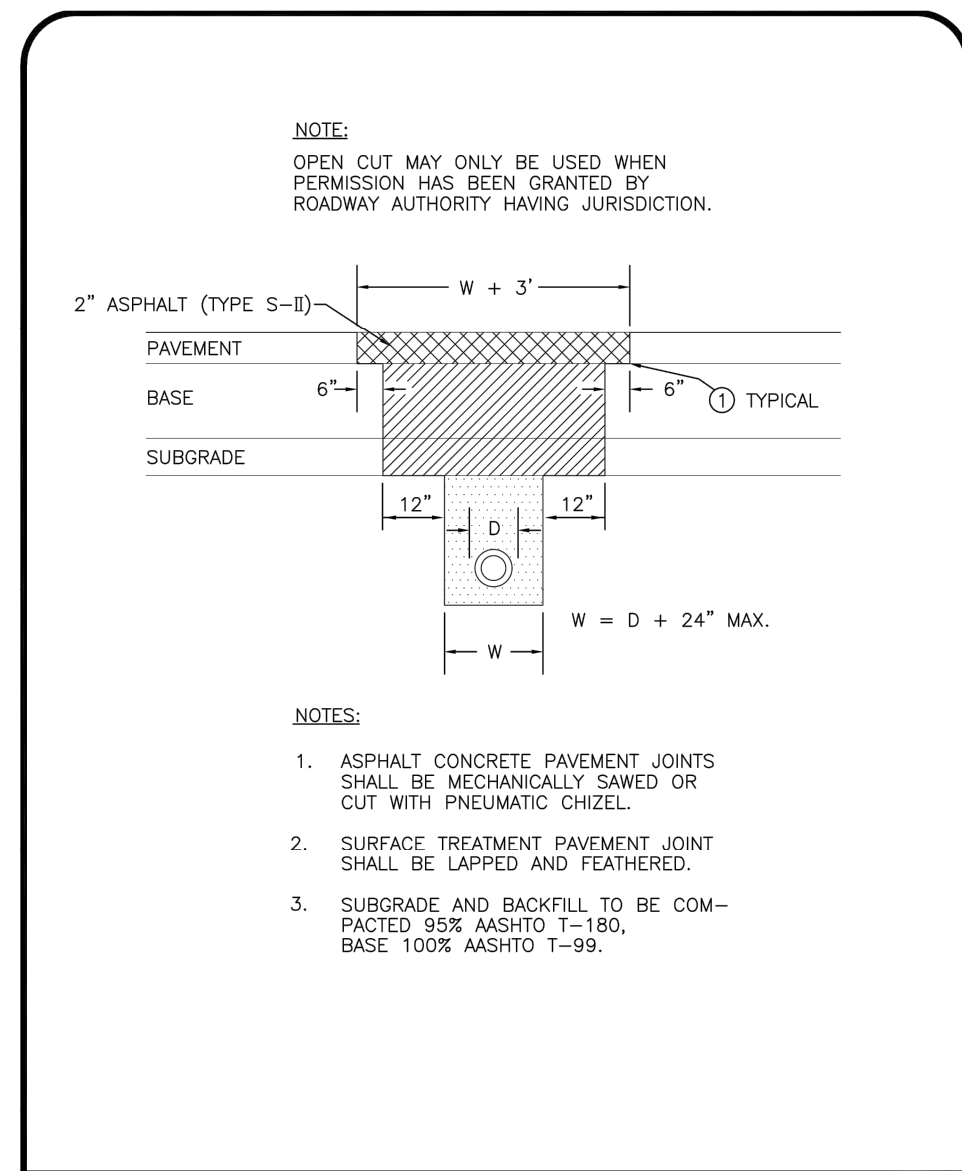
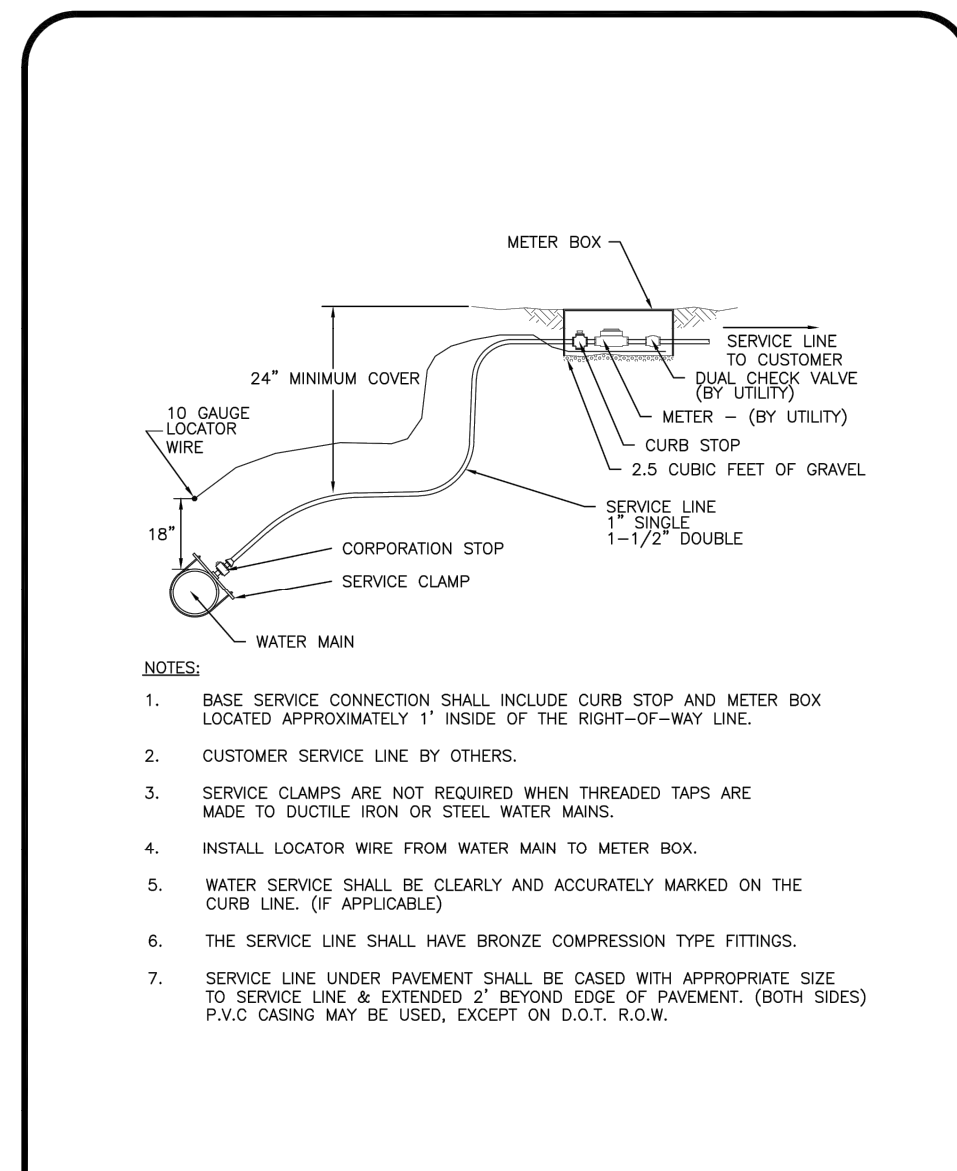
DEPICTED LOCATION OF EXISTING WATERMAIN IS BASED ON CITY OF DEFUNIAK WATER REFERENCE MAPS. CONTRACTOR SHALL FIELD VERIFY EXISTING WATER MAIN LOCATION AND IDENTIFY ANY CONFLICTS. CONTRACTOR MUST NOTIFY ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

- LOW PRESSURE FORCE MAIN NOTES:**
- LPS SEWER SYSTEM DESIGN BASED ON ZOELLER SHARK MODEL 7010, 2HP, 230 V GRINDER PUMP.
 - ALL LOTS TO HAVE SANITARY SEWER SERVICE VIA LOW PRESSURE FORCE MAIN.
 - PRESSURE PIPING SHALL HAVE LOCATOR WIRE AND DETECTION TAPE INSTALLED IN THE TRENCH 18" DIRECTLY ABOVE TOP OF PIPE. LOCATOR WIRE SHALL BE 10 GAUGE INSULATED COPPER WIRE. LOOP TO WITHIN 3" OF TOP OF VALVE BOXES. LOCATOR TAPE SHALL BE DETACHABLE METALLIC TAPE 2" WIDE, COLOR GREEN LEGEND "CAUTION BURIED SEWER LINE BELOW". DO NOT WRAP WIRE AROUND PIPE. WIRE SHALL BE CONNECTED FOR CONTINUOUS CIRCUIT CONNECTION.
 - ALL MECHANICAL JOINT FITTINGS ON PRESSURE PIPE SHALL HAVE BOTH "MEGALUG" TYPE JOINT RESTRAINING GLANDS AND THRUST BLOCKS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND MEETING THE REQUIREMENTS OF CITY OF DEFUNIAK SPRINGS TECHNICAL GUIDE AND SPECIFICATIONS LATEST EDITION.
 - ANY LOCATION WHERE PRESSURE PIPELINES CURVATURE EXCEEDS MANUFACTURERS' SPECIFICATIONS; APPROPRIATE MECHANICAL JOINT FITTINGS SHALL BE USED.
 - ALL TIE IN TO EXISTING PRESSURIZED PIPELINES SHALL BE BY TAPPING SLEEVE (3-INCH TAP AND LARGER) (OR TAPPING SADDLE, 2 INCH TAP AND SMALLER) AND VALVE.
 - IF DIRECTIONAL BORING OPTION IS USED FOR ROAD CROSSING, A COMBO AIR/VACUUM RELEASE VALVE SHALL BE USED.

- SANITARY SEWER GENERAL NOTES:**
- CONTRACTOR SHALL COORDINATE INSTALLATION OF SANITARY SEWERS WITH ALL OTHER UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - TELEVISION INSPECTION IS REQUIRED FOR ALL GRAVITY SEWERS. A FULL REPORT SHALL BE GIVEN TO THE CITY OF DEFUNIAK SPRINGS UPON COMPLETION. COST OF TELEVISION INSPECTION SHALL BE DONE BY THE CONTRACTOR.
 - NO SANITARY SEWER CONSTRUCTION SHALL COMMENCE UNTIL SHOP DRAWING SUBMITTALS HAVE BEEN APPROVED.
 - A PRE-CONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY DEFUNIAK SPRINGS 72 HRS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DEFUNIAK SPRINGS REPRESENTATIVES MUST WITNESS ALL TIES TO EXISTING LINES AND TESTS OF NEW LINES.
 - CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS IN ACCORDANCE WITH CITY OF DEFUNIAK SPRINGS TECHNICAL GUIDE.
 - ALL GRAVITY SEWERS SHALL BE VISUALLY INSPECTED (I.E. LAMPED) BY DEFUNIAK SPRINGS REPRESENTATIVES PRIOR TO FINAL ACCEPTANCE.
 - ALL MECHANICAL JOINT CONNECTIONS SHALL BE RESTRAINED USING MEGA-LUG TYPE RESTRAINTS OR APPROVED EQUAL.
 - MIN. SERVICE SLOPE: 4" = 1/4" PER FOOT, 6" = 1/8" PER FOOT.
 - USE 4" SERVICES FOR ALL SINGLE FAMILY HOME CONNECTIONS. USE 6" SERVICES FOR MULTI-FAMILY AD COMMERCIAL CONNECTIONS.
 - LOCATIONS OF SERVICE STUBS TO BE MARKED BY THE LETTER "S" SCRIBED A MINIMUM OF 2" HIGH & 1/4" DEEP IN CURB.
 - IF NO CURBING IS INSTALLED A "3" SQUARE STEEL TAG INSCRIBED WITH A 2" LETTER "S" IS TO BE ATTACHED TO STREET PAVEMENT.
 - EXTEND SERVICE CONNECTION A SUFFICIENT DISTANCE BEYOND CLEAN-OUT TO ALLOW FOR FUTURE CONNECTION TO THE STUB OUT WITHOUT UNDERMINING THE CLEAN-OUT ASSEMBLY.
 - USE HYDRAULIC CEMENT GROUT TO SEAL INTERIOR AND EXTERIOR OF ALL PRECAST MANHOLE JOINTS.
 - ALL GRAVITY SEWER AND SEWER SERVICES SHALL HAVE CONCRETE ENCASUREMENT WHERE COVER IS LESS THAN 30 INCHES UNDER PAVEMENT OR LESS THAN 18 INCHES IN GREEN AREAS.
 - AT ALL HIGH POINTS CRESTED DURING FORCE MAIN CONSTRUCTION, COMBINATIONS AIR RELEASE VALVES SHALL BE INSTALLED.
 - EXTERNAL DROP TYPE MANHOLES ARE REQUIRED WHERE MANHOLE INVERT ELEVATIONS VARY BY OVER TWO FEET.
 - MANHOLE TOPS IN GREEN AREAS SHALL BE ELEVATED TO PROHIBIT STORMWATER ENTRY.
 - SEWER SERVICES SHALL BE CONSTRUCTED AT THE LOWER SIDE OF LOTS.
 - ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF DEFUNIAK SPRINGS TECHNICAL GUIDE AND SPECIFICATIONS, LATEST EDITION.



- GENERAL NOTES - POTABLE WATER:**
- CONTRACTOR SHALL COORDINATE INSTALLATION OF POTABLE WATER MAINS WITH OTHER UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - HYDROSTATIC TESTS, LEAKAGE TESTS, DISINFECTION, AND BACTERIAL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH THE WRITTEN CONSTRUCTION SPECIFICATION OF CITY OF DEFUNIAK SPRINGS AND ALL APPLICABLE FDEP AND AWWA REQUIREMENTS.
 - NO POTABLE WATER MAIN CONSTRUCTION SHALL COMMENCE UNTIL SHOP DRAWINGS HAVE BEEN APPROVED A PRE-CONSTRUCTION CONFERENCE HELD WITH CITY OF DEFUNIAK SPRINGS STAFF.
 - PROVIDE LOCKS, IN ACCORDANCE WITH THE WRITTEN CONSTRUCTION SPECIFICATIONS OF CITY OF DEFUNIAK SPRINGS, ON ALL CURB STOPS.
 - CONTRACTOR SHALL NOTIFY CITY OF DEFUNIAK SPRINGS 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DEFUNIAK SPRINGS REPRESENTATIVES MUST WITNESS ALL TIES OF AND TESTS OF NEW LINES.
 - SERVICES INSTALLED UNDER ASPHALT TO BE INSTALLED IN 2" SCH 40 PVC CASING EXTENDING 4' BACK-OF-CURB.
 - CONTRACTOR SHALL INSTALL NO. 10 INSULATED COPPER LOCATOR WIRE 18" DIRECTLY ABOVE TOP OF ALL PVC PIPE, ABOVE SERVICE LINES, AND LOOP TO MIN. 10' ABOVE TOP OF VALVE BOXES. WIRE SHALL BE CONNECTED FOR A CONTINUOUS CIRCUIT CONNECTION. DO NOT WRAP AROUND PIPING.
 - IT IS REQUIRED THAT ALL NEW AND RELOCATED WATER SERVICES AND PLUMBING SHALL BE IN CONFORMANCE WITH STATE AND FEDERAL REGULATIONS PERTAINING TO THE CONTROL OF LEAD AND COPPER.
 - THE LOCATION OF ALL WATER SERVICES STUBS ARE TO BE MARKED BY THE LETTER "W" SCRIBED A MINIMUM OF 2" HIGH AND 1/4" DEEP IN CURB. IF NO CURBING IS INSTALLED A 3" SQUARE STEEL TAG INSCRIBED WITH A 2" LETTER "W" IS TO BE ATTACHED TO THE STREET PAVEMENT.
 - A 4" WATER BALL MARKER, AS MANUFACTURED BY 3M PART NO. 1403, SHALL BE PLACED AT ALL INLINE VALVES ALONG WATERMAIN AND AT ALL METER BOX LOCATIONS.
 - ALL MECHANICAL JOINTS SHALL USE MEGA-LUG RESTRAINT TYPE RETAINING GLANDS.
 - MINIMUM SEPARATION BETWEEN WATER OR SEWER ELECTRICAL CONDUITS OR ELECTRICAL LINES SHALL BE 72" MINIMUM HORIZONTAL & 18" VERTICAL WITH ELECTRICAL BEING BELOW THE WATER AND SEWER LINES. IN CASES WHERE 18" VERTICAL SEPARATION CAN NOT BE MET, 96" OF HORIZONTAL SEPARATION SHALL BE REQUIRED.
 - ALL MECHANICAL JOINT FITTINGS ON PRESSURE PIPE SHALL HAVE BOTH "MEGALUG" TYPE JOINT RESTRAINING GLANDS AND THRUST BLOCKS.
 - THE CONTRACTOR RESPONSIBLE FOR OBTAINING AND MEETING THE REQUIREMENTS OF CITY OF DEFUNIAK SPRINGS TECHNICAL GUIDE AND SPECIFICATIONS LATEST EDITION.
 - ANY LOCATION WHERE PRESSURE PIPELINES CURVATURE EXCEEDS MANUFACTURERS' SPECIFICATIONS, APPROPRIATE MECHANICAL JOINT FITTINGS SHALL BE USED.
 - ALL 2-INCH VALVES SHALL BE BALL TYPE - 2-INCH GATE VALVES SHALL NOT BE USED.
 - ALL TIE-IN TO EXISTING PRESSURIZED PIPELINES SHALL BE BY TAPPING SLEEVE (3-INCH TAP AND LARGER) (OR TAPPING SADDLE, 2-INCH TAP AND SMALLER) AND VALVE.



BACKFLOW PREVENTORS

1) ALL WATER SERVICE LINES SHALL BE REQUIRED TO HAVE A BACKFLOW DEVICE PURSUANT TO CITY OF DEFUNIAK SPRINGS SPECIFICATIONS.

2) ALL FIRE LINES SHALL HAVE A DOUBLE DETECTOR CHECK VALVE ASSEMBLY WITH A 3/4" BYPASS METER.

3) RPZ TYPE BACKFLOW PREVENTORS ARE REQUIRED FOR ALL HIGH HAZARD WATER USES.

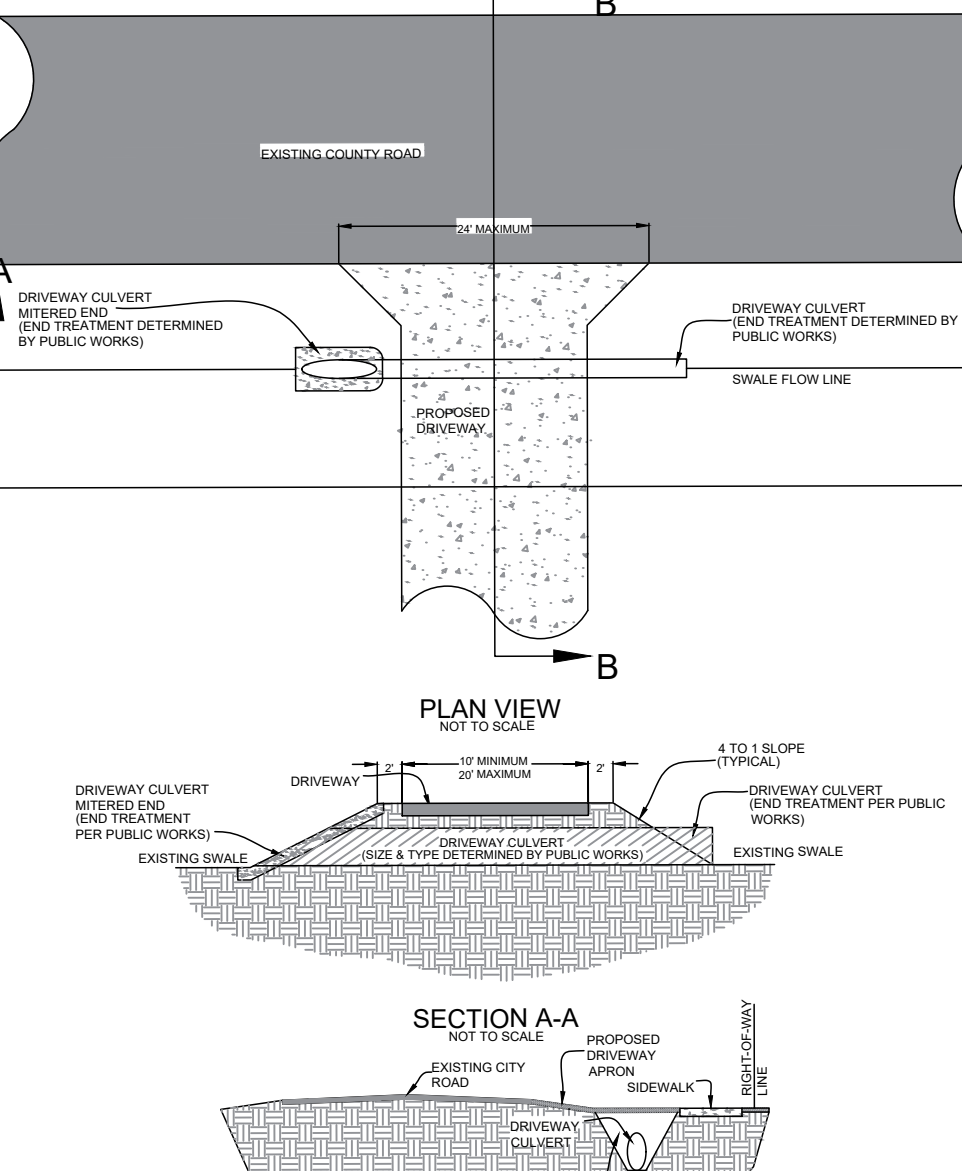
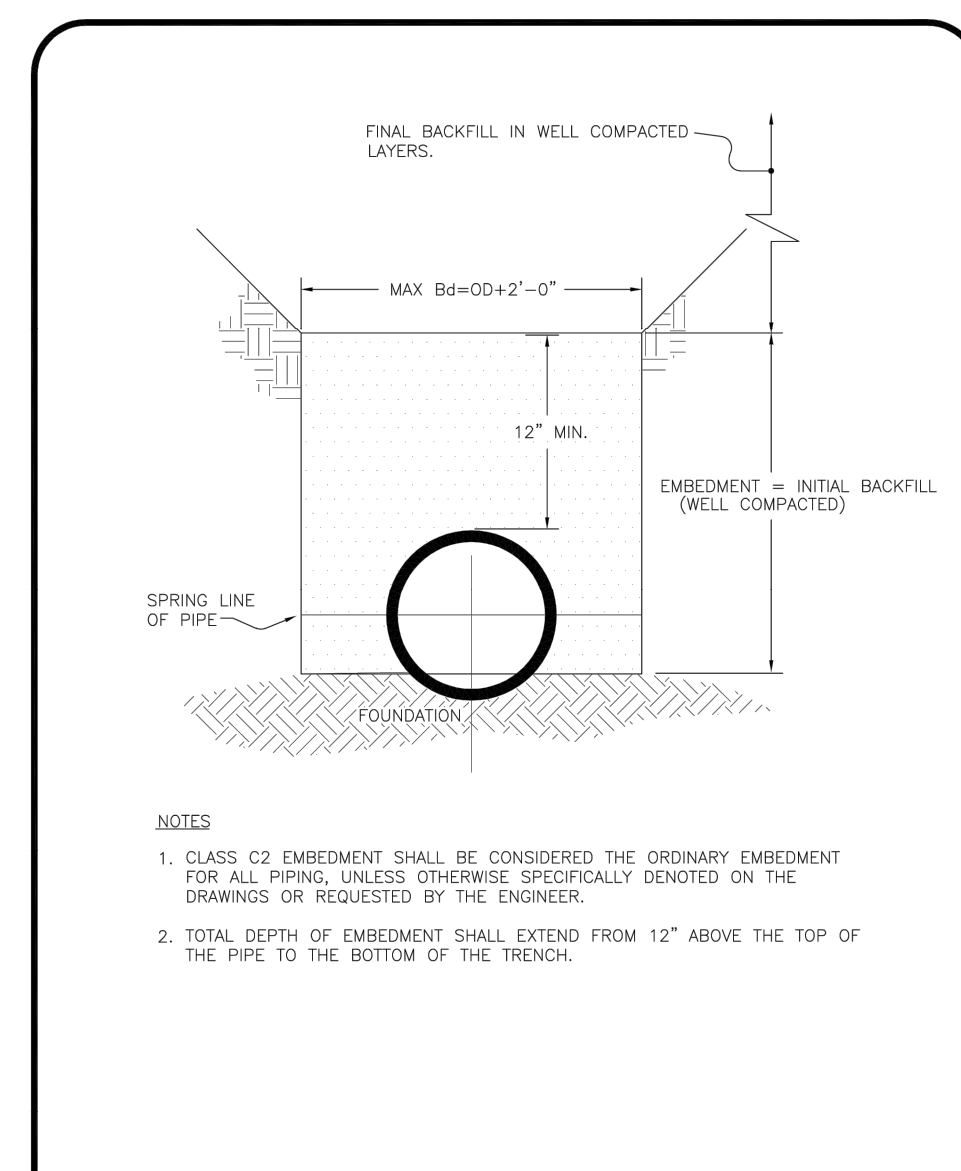
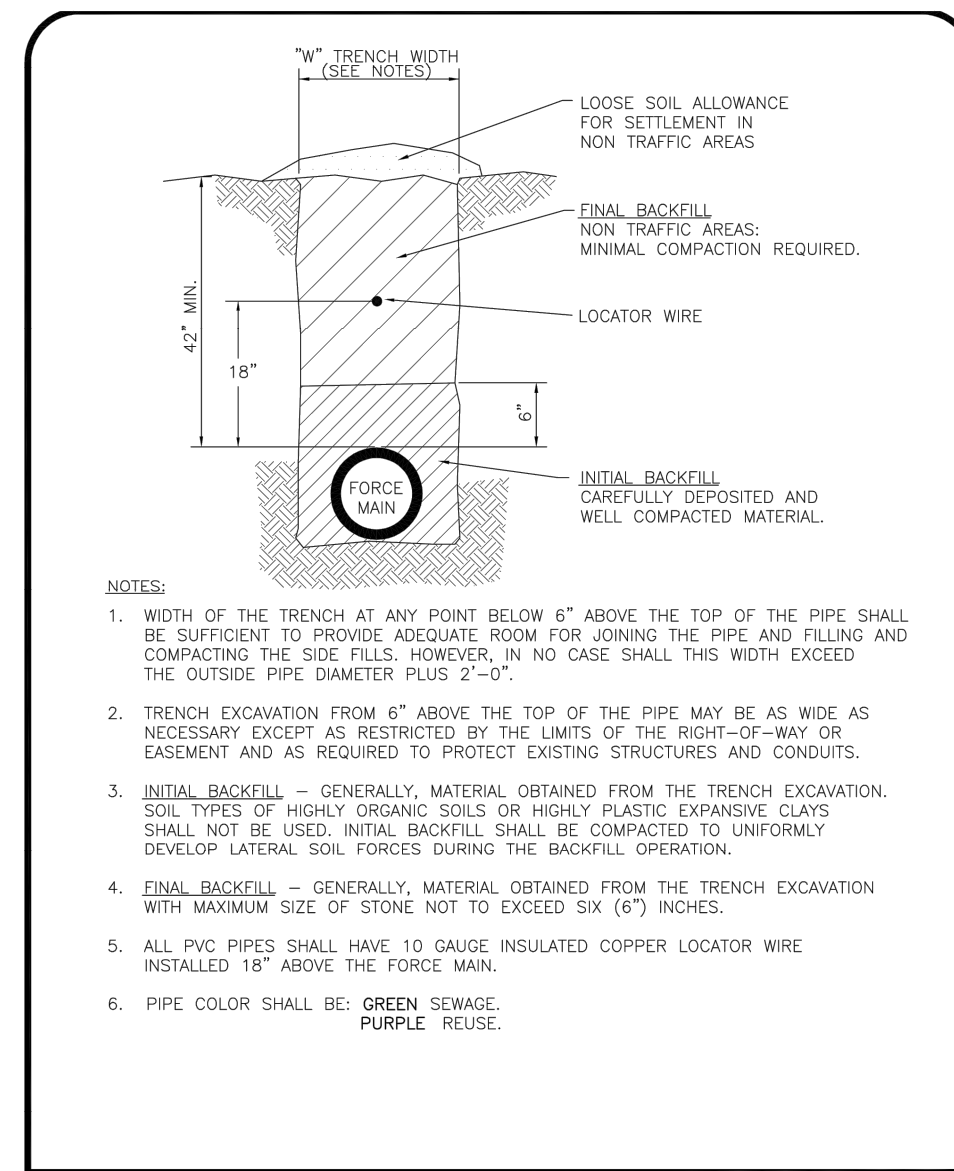
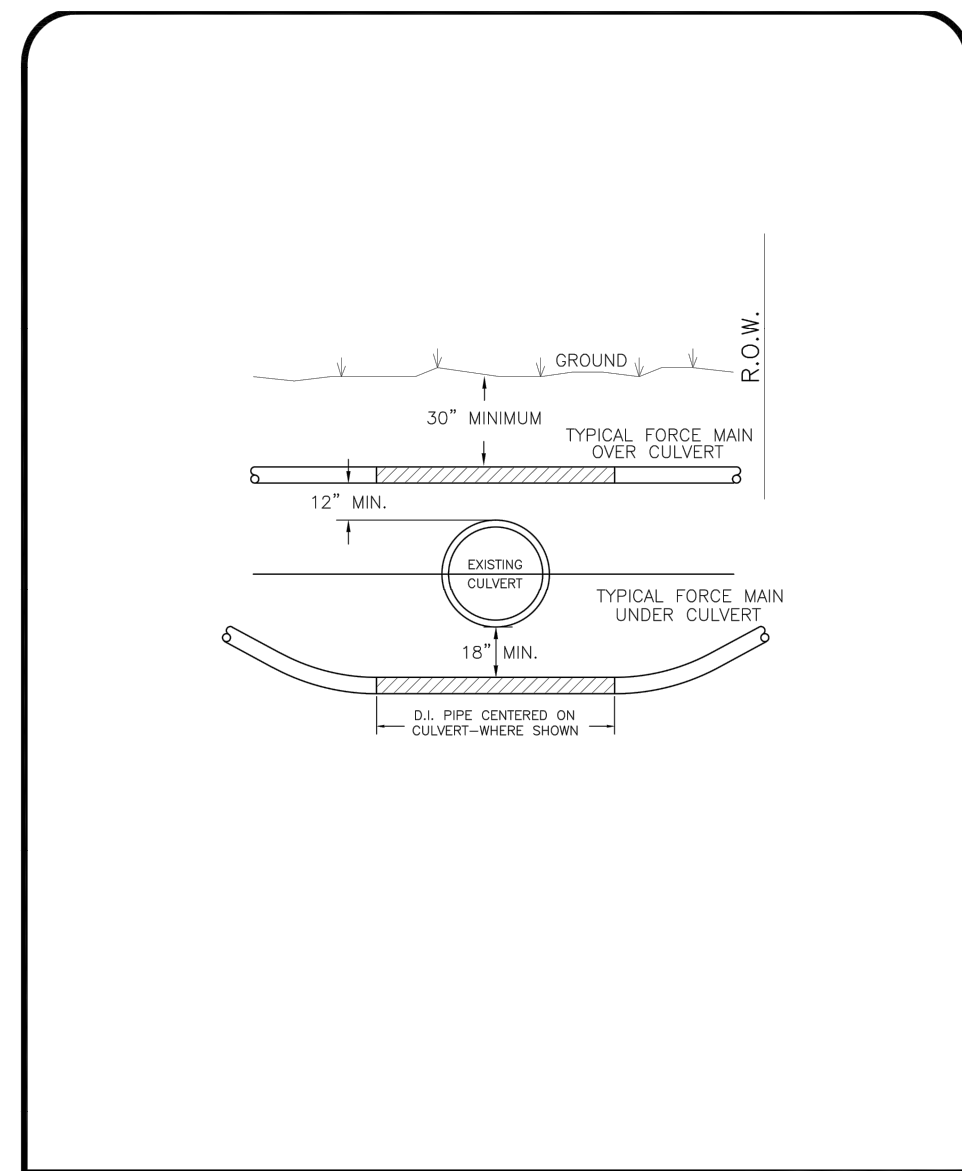
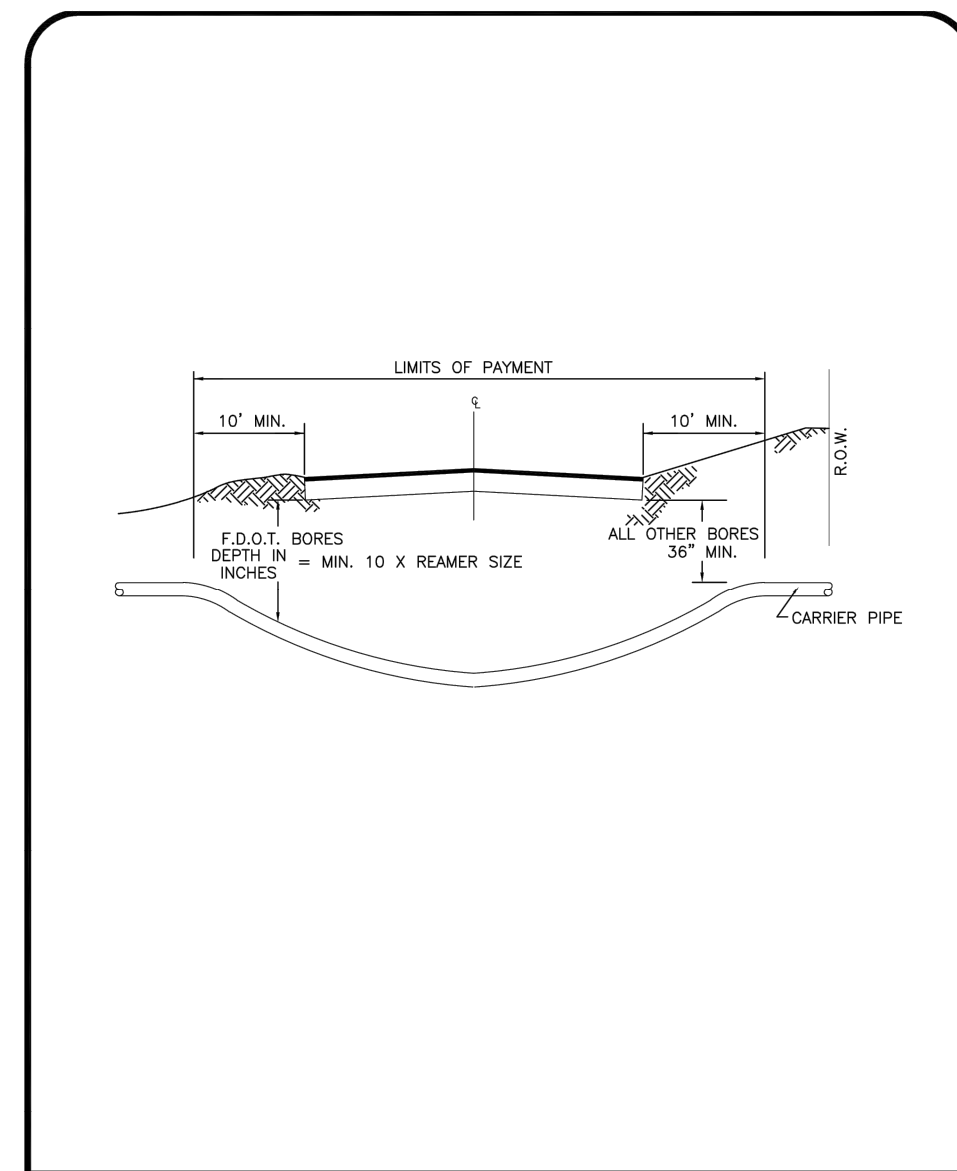
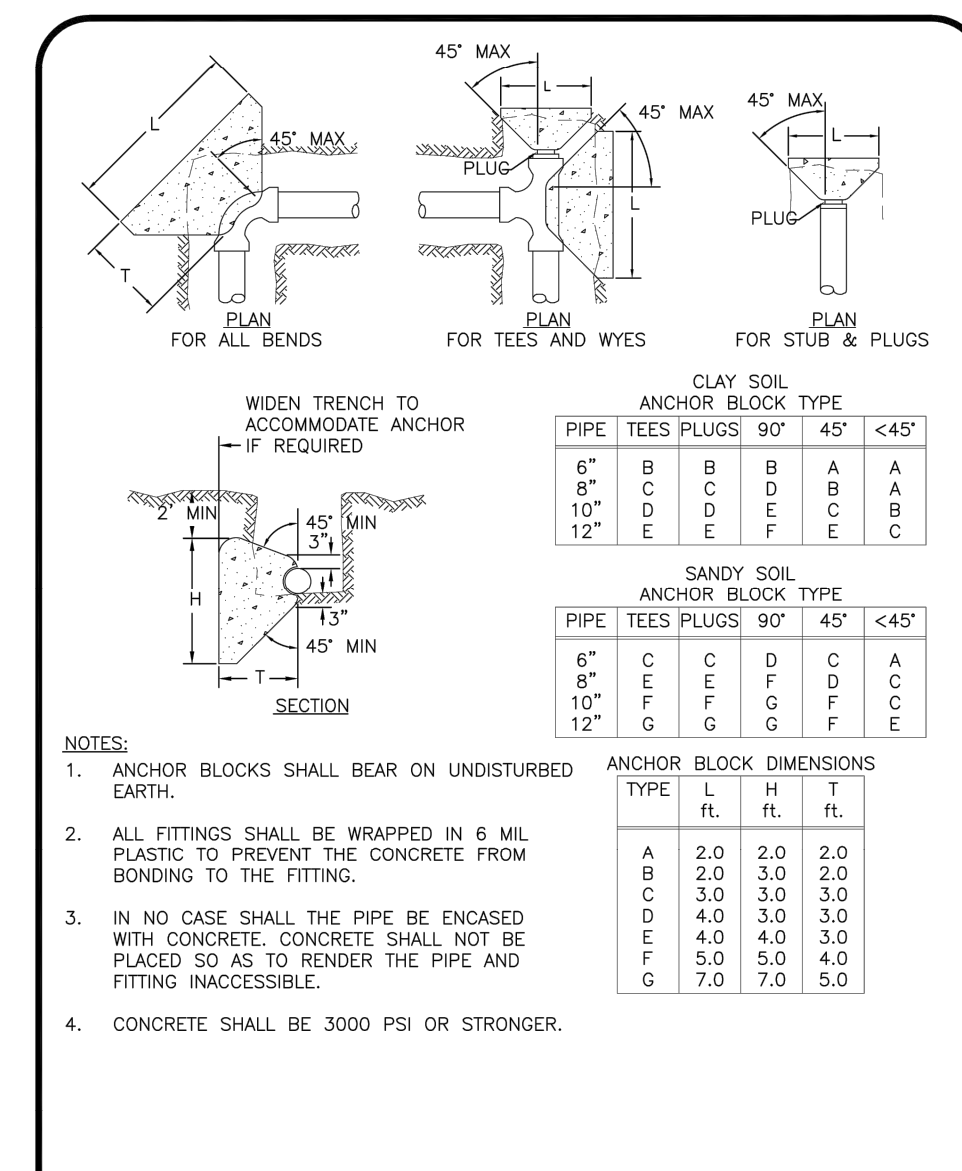
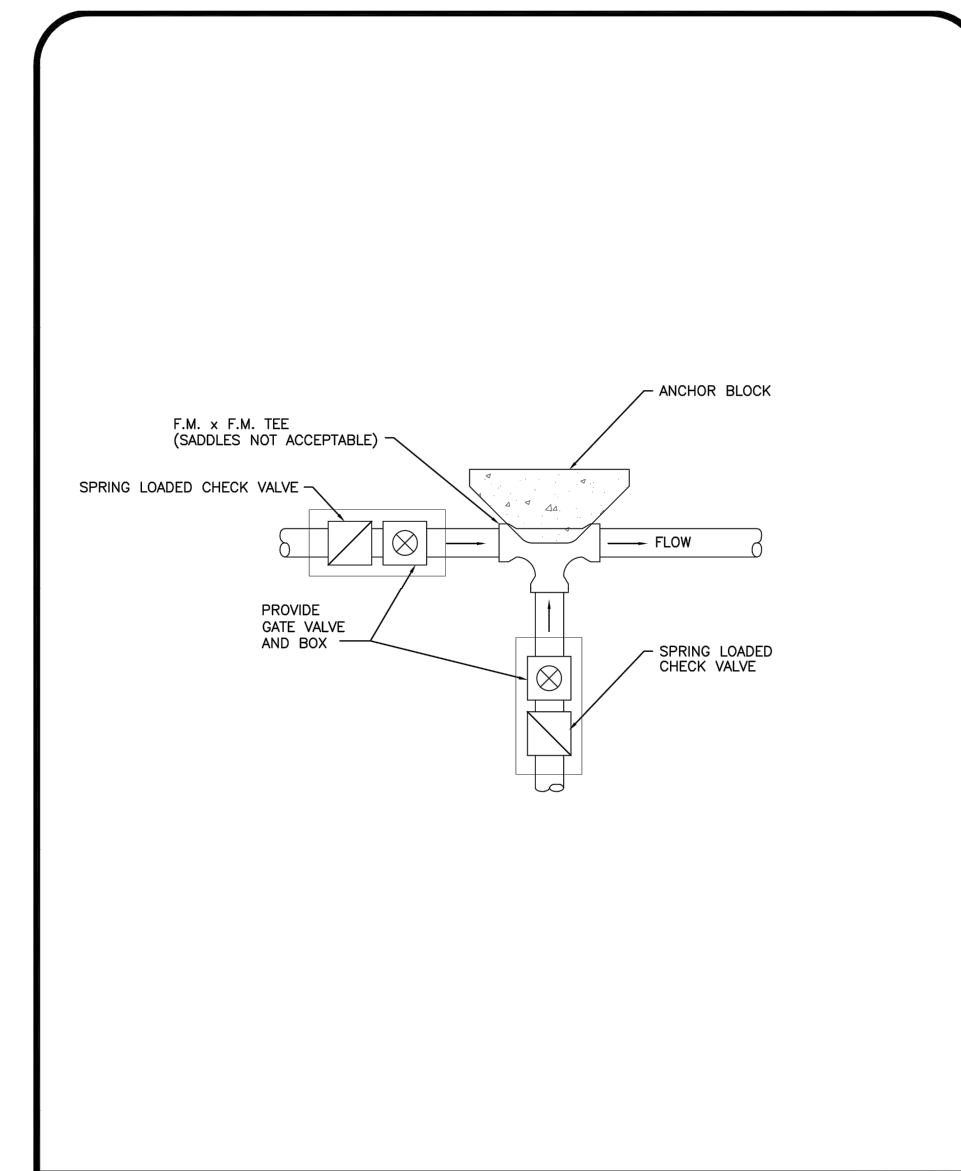
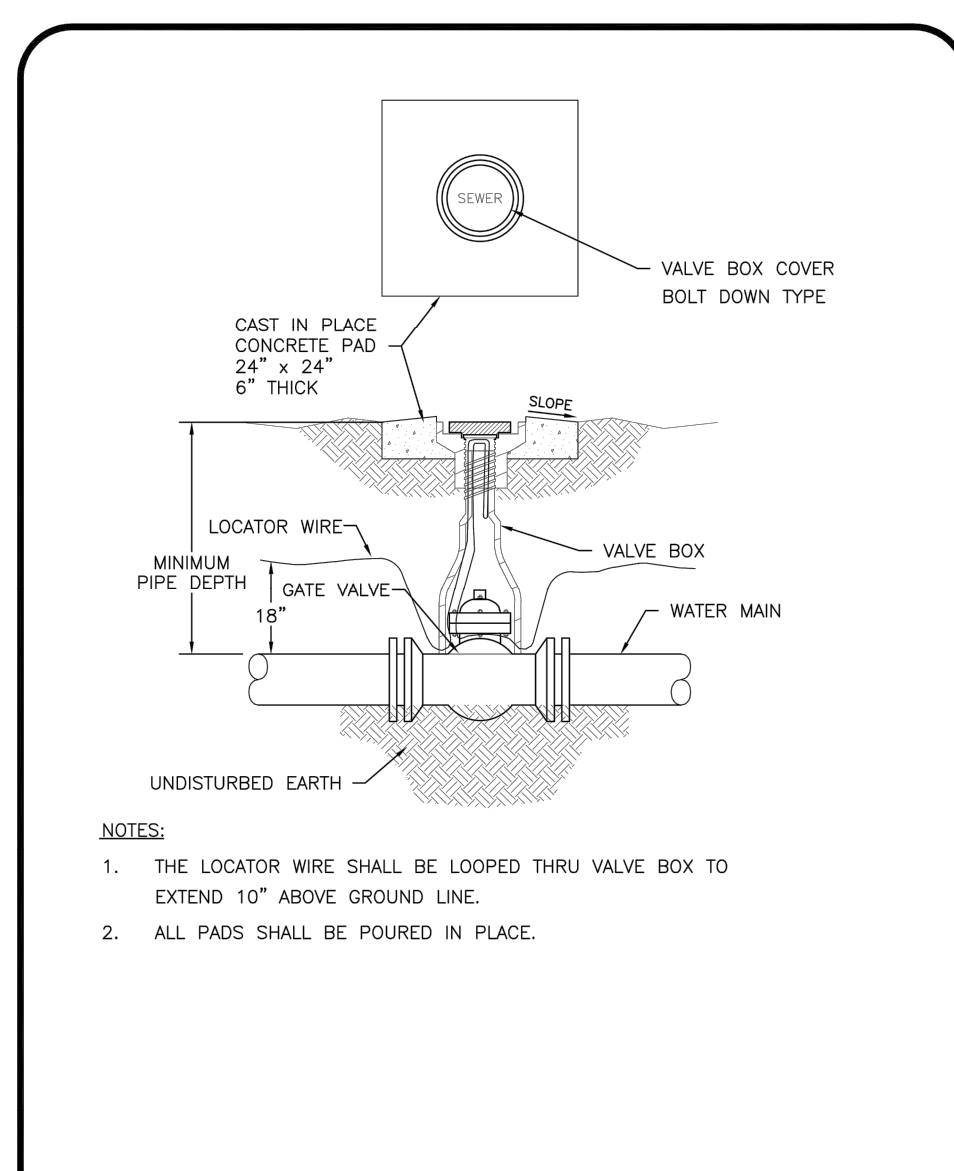
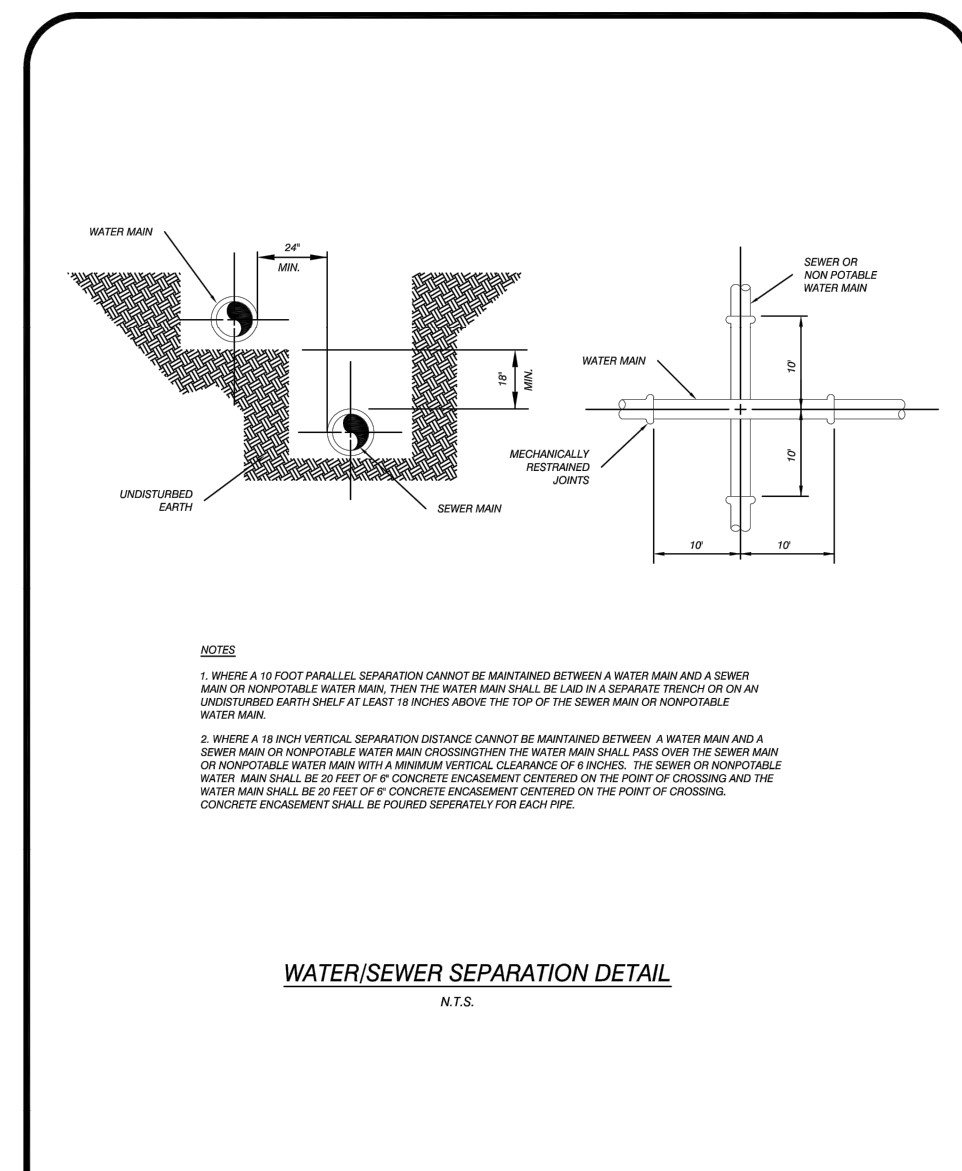
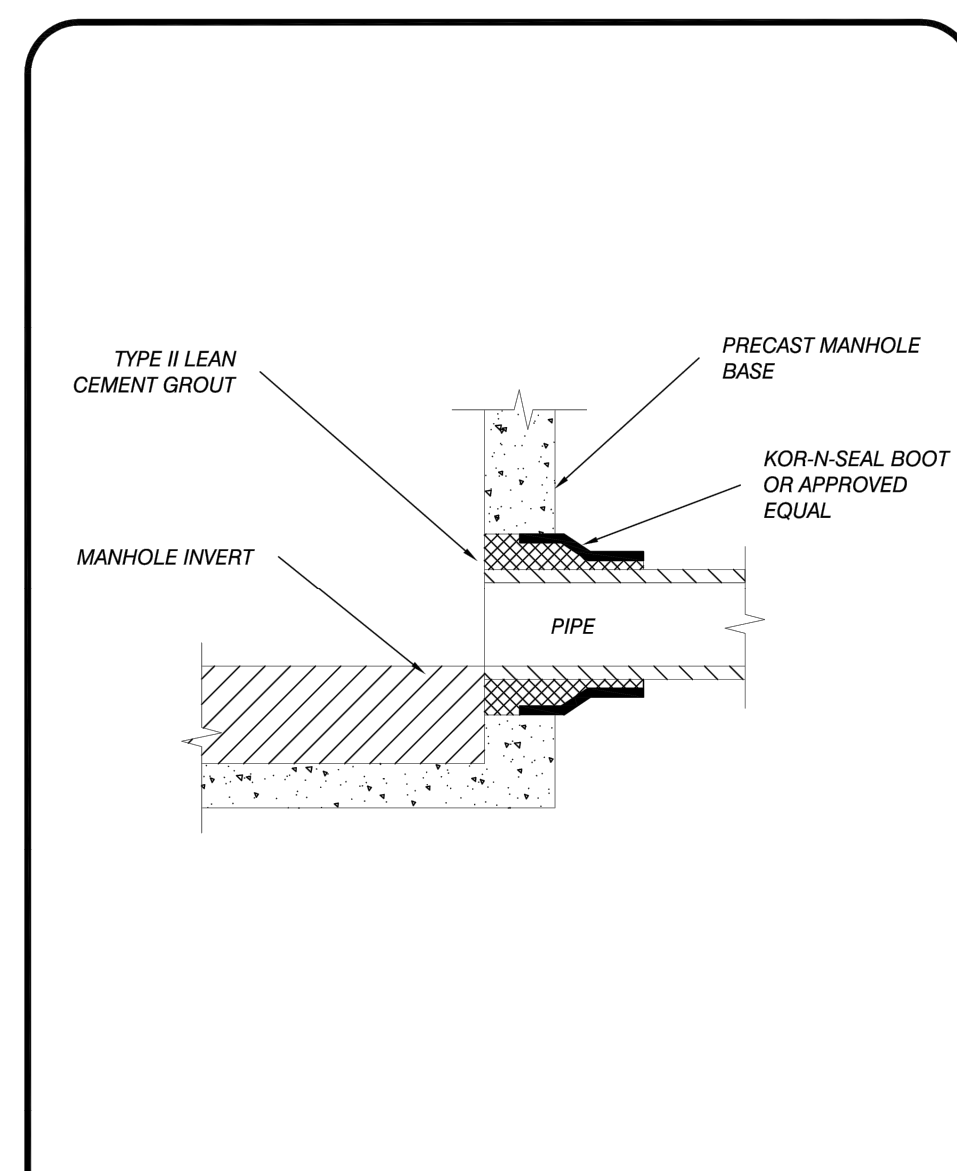
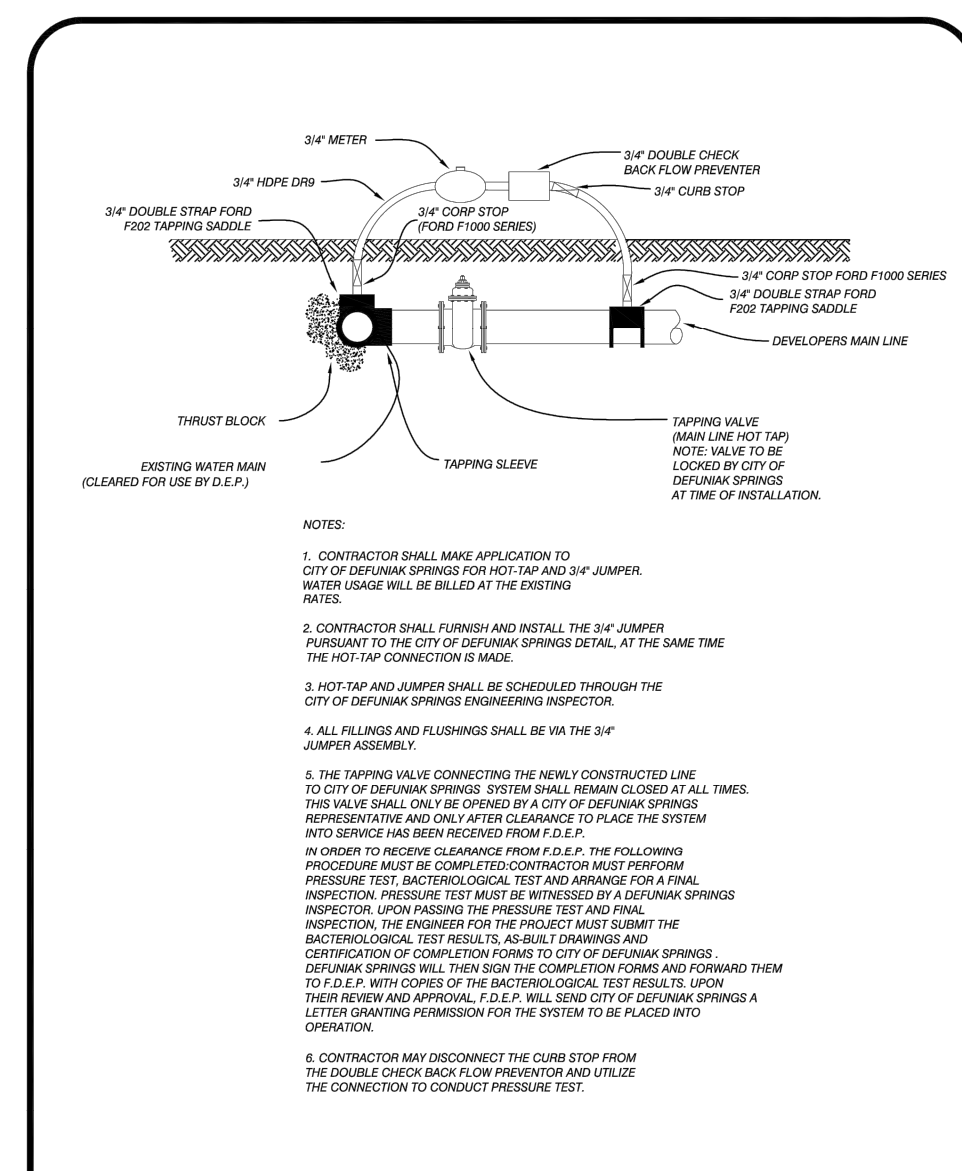
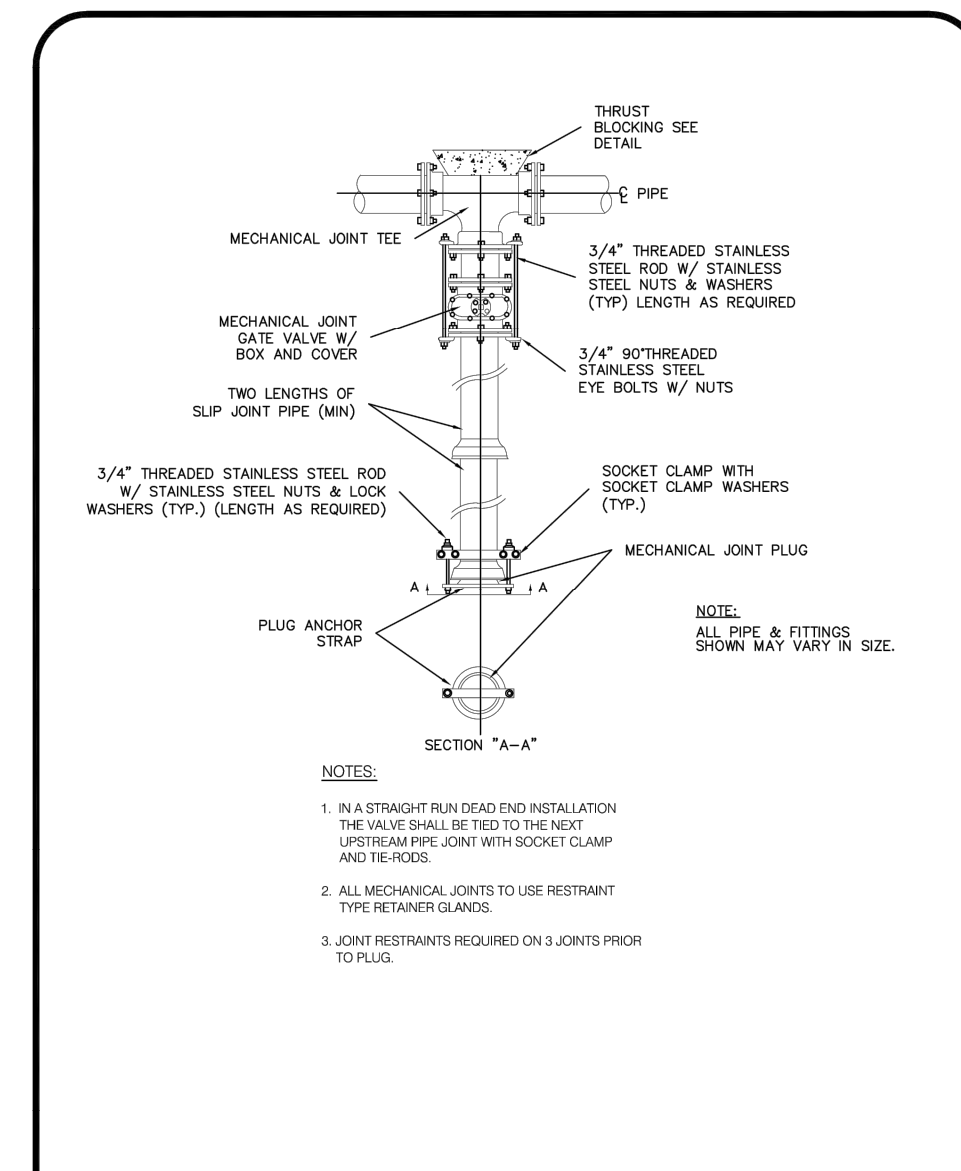
4) ALL BACKFLOW PREVENTORS SHALL BE OF THE TYPE REQUIRED BY FDEP, AWWA AND NFPA CODES AND MUST BE PER CITY OF DEFUNIAK SPRINGS BACKFLOW PREVENTION PROGRAM.

5) ALL WATER TAPS SHALL BE LOCATED OUT FROM UNDER PROPOSED FUTURE PAVEMENT.

6) ALL SWIMMING POOLS SHALL HAVE RPZ BACKFLOW PREVENTORS.

SCALE: NTS
DATE: FEB. 09, 2009
PROJECT:
REVISION:

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SCALE: NTS
DATE: FEB. 10, 2009
PROJECT:
REVISION:

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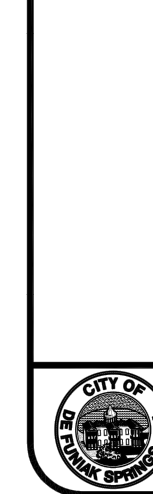
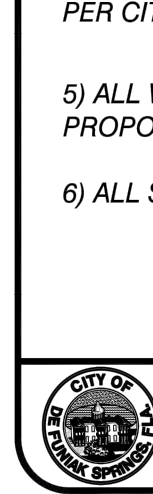
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D. PAYNE & ASSOCIATES, L.L.C.
2571 PALM SHORES DRIVE, SHALIMAR, FL 32579
PHONE (850) 240-0981
FL REGISTRY NO. 37439

SCALE AS NOTED
DESIGNED BY
DRAWN BY
CHECKED BY

SOUTH 26TH STREET SUBDIVISION DEFUNIAK SPRINGS, FL
WALTON COUNTY FLORIDA

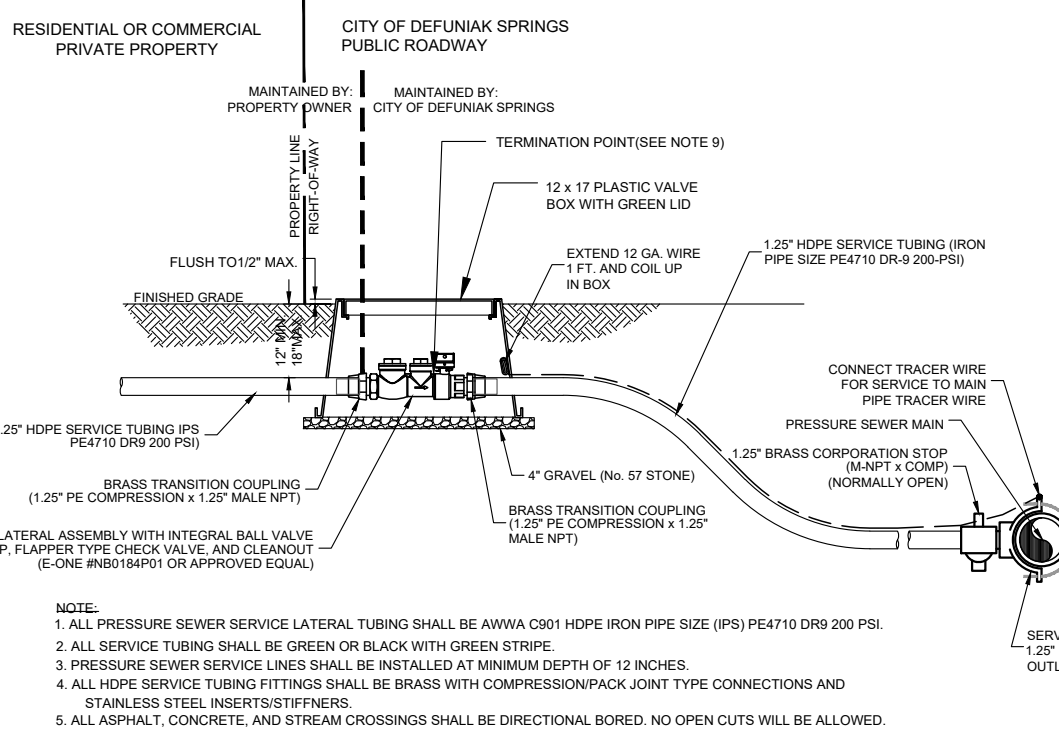
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1.25" LOW PRESSURE SEWER SERVICE CONNECTION
N.T.S.

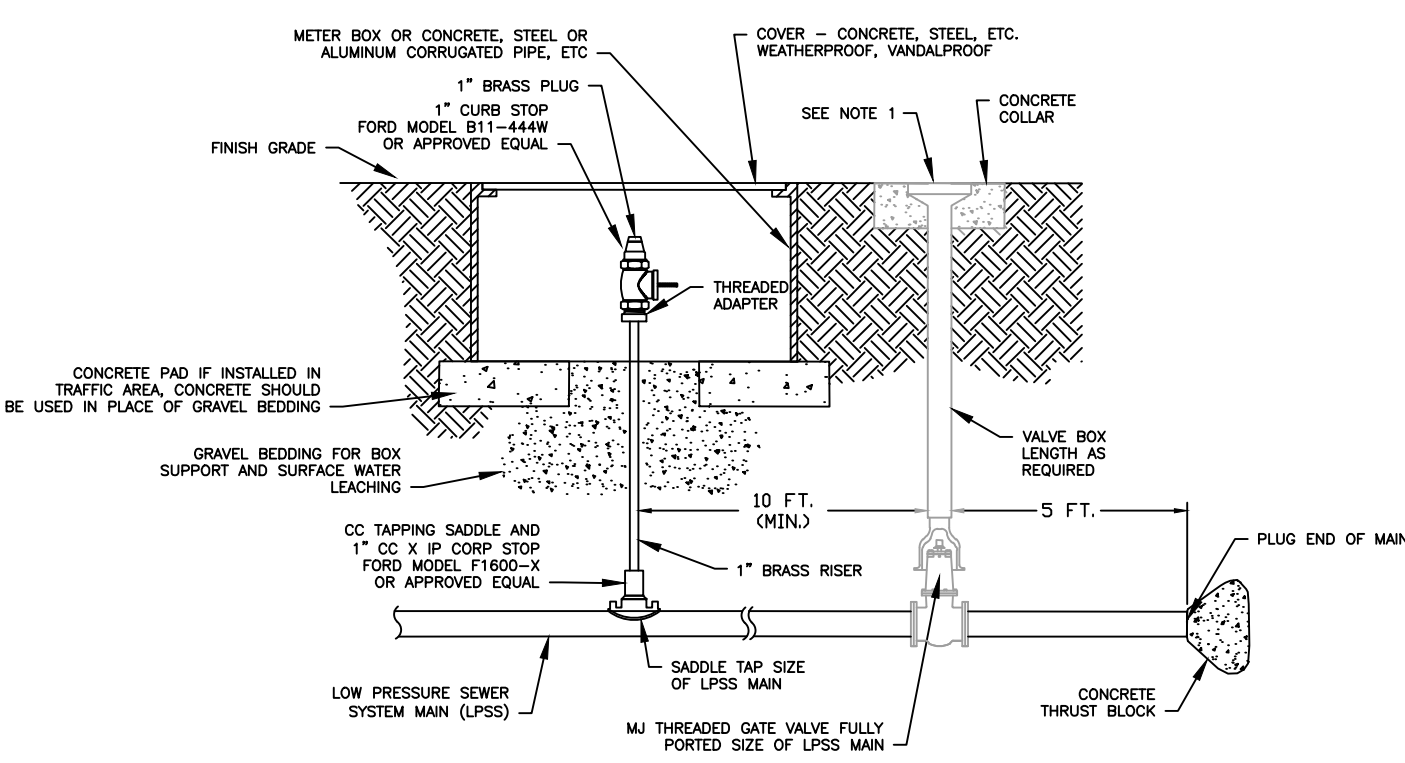
PRESSURE SEWER COLLECTION SYSTEM - CENTRAL MANAGEMENT ENTITY

1. THE ON-LOT PRESSURE SEWER FACILITIES INCLUDING BUT NOT LIMITED TO THE SIMPLEX GRINDER PUMP, FIBERGLASS WET WELL BASIN, INTERNAL CHECK VALVE AND PUMP OFF VALVE, FLOUT SWITCHES, PUMP CONTROL PANEL, AND ON-LOT SEWER SERVICE LINE SHALL BE INSTALLED AND MAINTAINED BY THE PROPERTY OWNER.
2. THE OFF-LOT PRESSURE SEWER COLLECTION SYSTEM AND SERVICE LATERALS UP TO THE PRIVATE PROPERTY LINE SHALL BE INSTALLED AND MAINTAINED BY THE CITY OF DEFUNIAK SPRINGS. A PRESSURE SEWER SERVICE LATERAL ASSEMBLY WITH AN INTEGRAL BALL VALVE, CHECK VALVE, AND CLEANOUT SHALL BE INSTALLED AT THE PRIVATE PROPERTY LINE TO FACILITATE THE PUBLIC TO PRIVATE MAINTENANCE RESPONSIBILITY TRANSITION FOR THE SEWER SERVICE LINES.
3. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL REQUIRED WORK AND COST RELATED TO THE INSTALLATION OF THE SIMPLEX GRINDER PUMP STATION.
4. MAINTENANCE OF GRINDER STATION WILL BE PROPERTY OWNER'S RESPONSIBILITY. NO MAINTENANCE CONTRACTS OR GRINDER STATION PACKAGES WILL BE PROVIDED BY THE PRESSURE SEWER COLLECTION SYSTEM OWNER.
5. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL REQUIRED ELECTRICAL WORK AND COST RELATED TO THE INSTALLATION OF THE RESIDENTIAL GRINDER PUMP STATION.
6. EXISTING BUILDING SEWERS SHALL BE INSPECTED AS DESCRIBED IN THE UNIFORM PLUMBING CODE AND REPLACED IF NOT WATERTIGHT.
7. EXISTING SEPTIC TANK ABANDONMENT MUST BE IN ACCORDANCE WITH HAWAII COUNTY'S DEPARTMENT OF PUBLIC WORKS REQUIREMENTS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS, FEES, AND ALL OTHER ABANDONMENT COSTS.
8. FOR PUBLICLY BID PROJECTS, METER BOX SHALL BE INCLUDED IN PRICE FOR SERVICE LINE AND INSTALLED BY CONTRACTOR.
9. FOR PUBLICLY BID PROJECTS, THE TERMINATION POINT OF THE LOW PRESSURE SEWER CONNECTION SHALL BE AT THE BALL VALVE CURB STOP CONNECTION (FOR FUTURE CONNECTIONS ONLY).



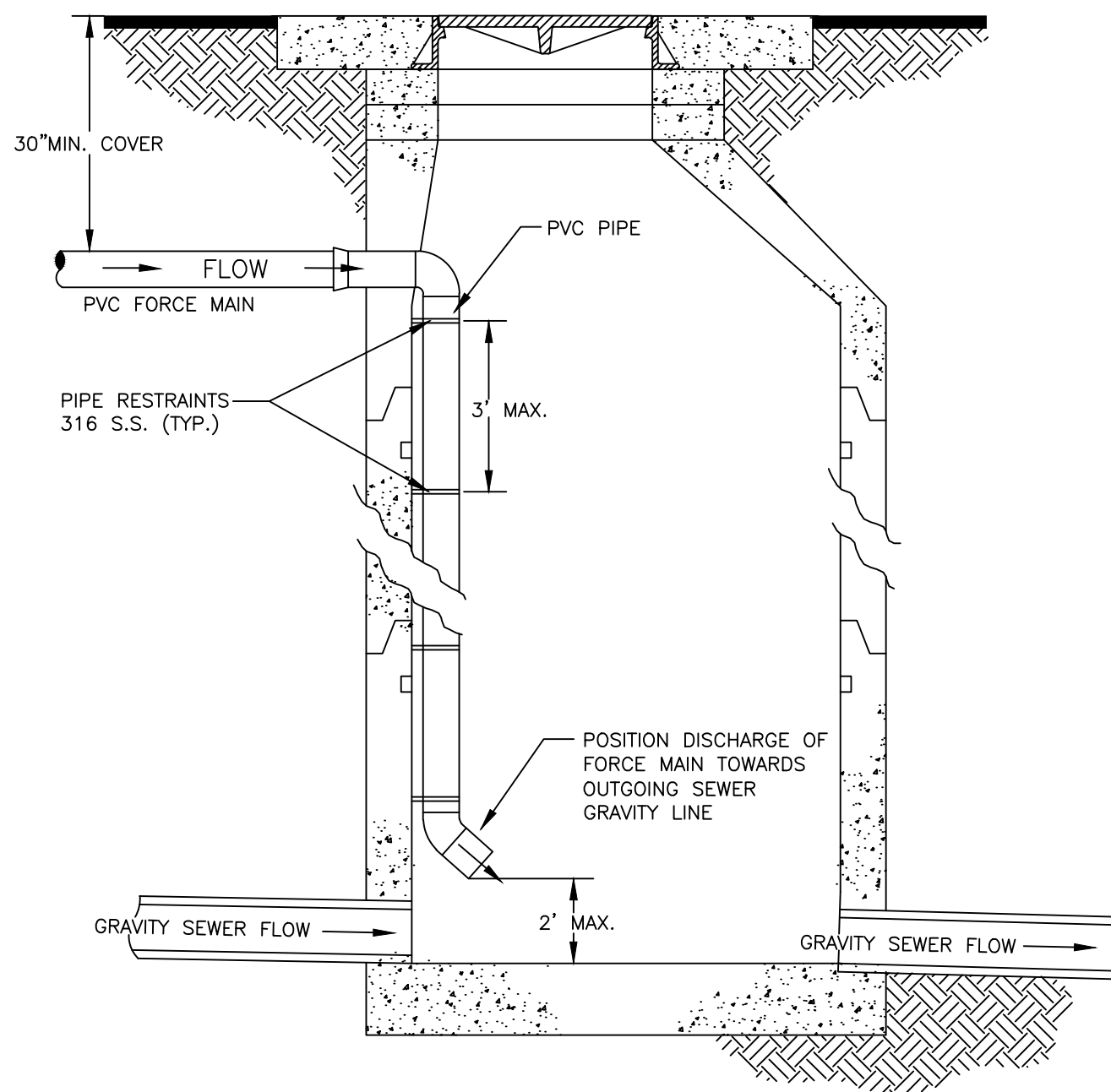
NOTES:
1. ALL PRESSURE SEWER SERVICE LATERAL TUBING SHALL BE AWWA C901 HDPE IRON PIPE SIZE (IPS) PE4710 DR9 200 PSI.
2. ALL SERVICE TUBING SHALL BE GREEN OR BLACK WITH GREEN STRIPE.
3. PRESSURE SEWER SERVICE LINES SHALL BE INSTALLED AT MINIMUM DEPTH OF 12 INCHES.
4. ALL HDPE SERVICE TUBING FITTINGS SHALL BE BRASS WITH COMPRESSION/BACK JOINT TYPE CONNECTIONS AND STAINLESS STEEL INSERTS/STIFFENERS.
5. ALL ASPHALT, CONCRETE, AND STREAM CROSSINGS SHALL BE DIRECTIONAL BORING. NO OPEN CUTS WILL BE ALLOWED.

TERMINAL FLUSHING CONNECTION
N.T.S.

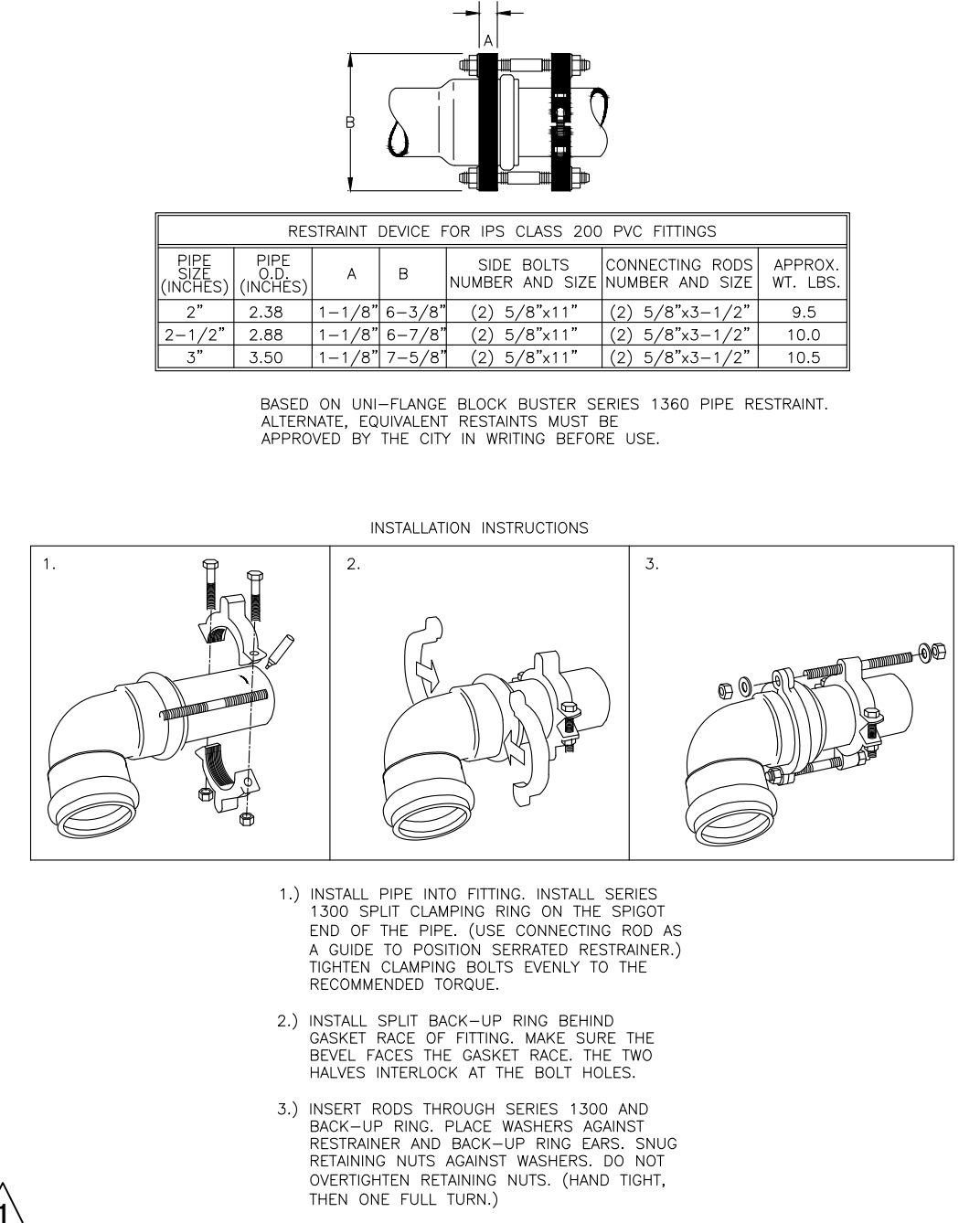


NOTES:
1. TERMINAL FLUSHING CONNECTIONS OF 2" WILL NOT REQUIRE THE VALVE AND PIPING FOR FUTURE EXPANSION.

FORCEMAIN CONNECTION TO MANHOLE DETAIL (4" & SMALLER)
N.T.S.



2"-3" PVC FITTING RESTRAINT DEVICE INSTALLATION DETAIL
N.T.S.

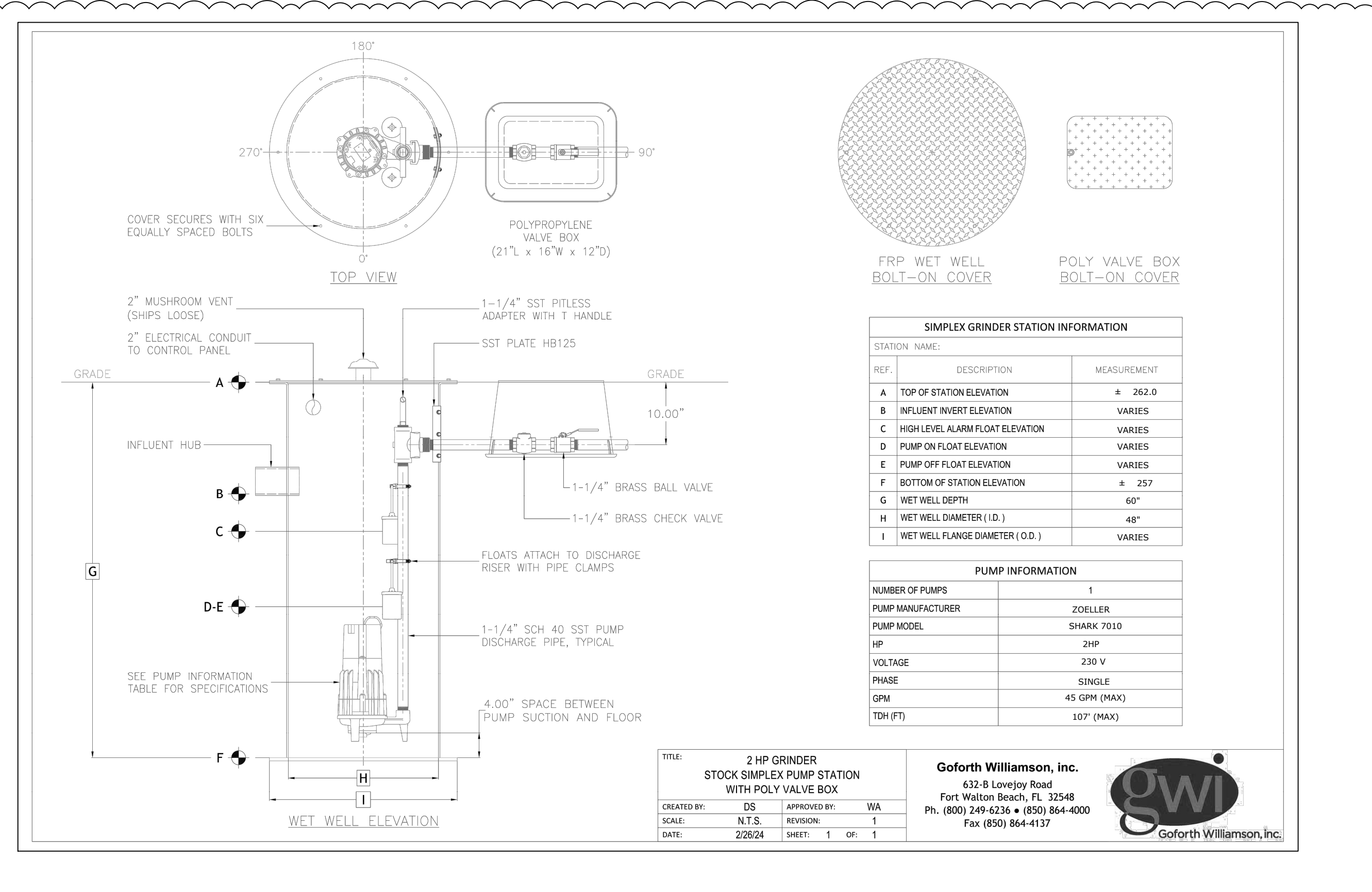
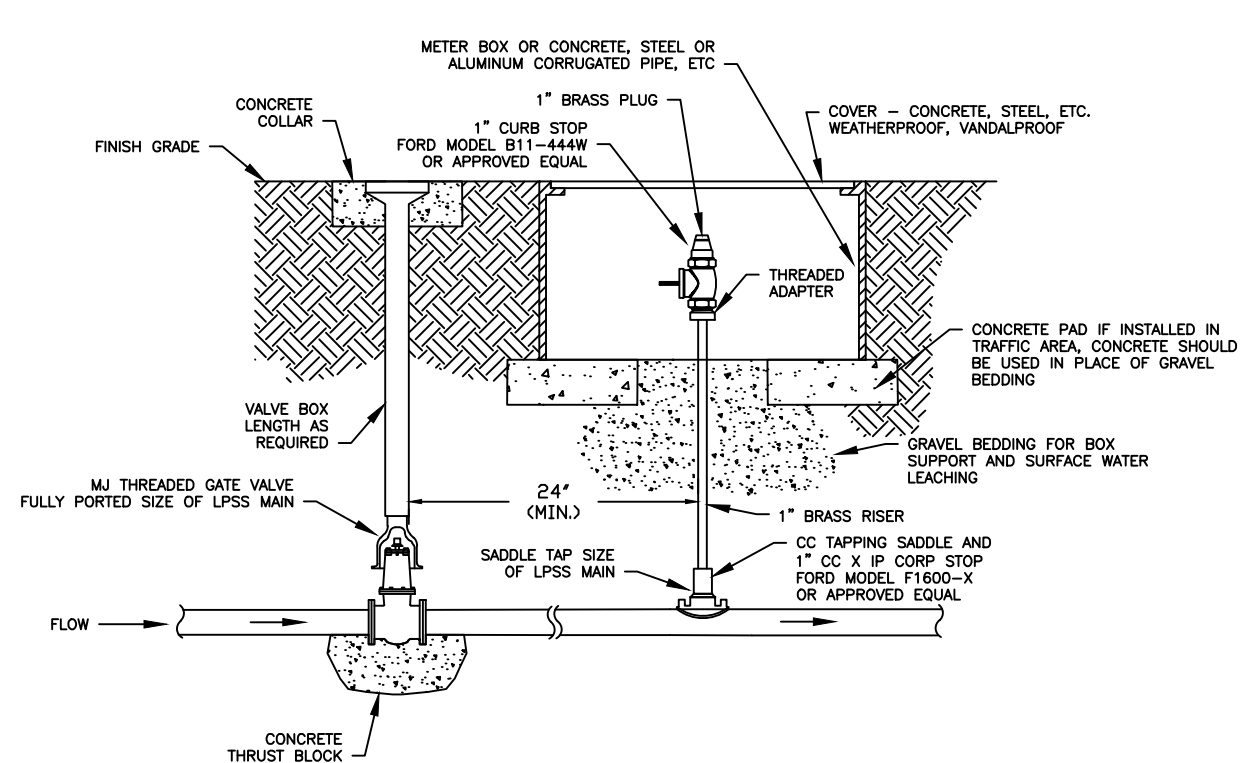


WATER/SEWER SEPARATION
N.T.S.

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING • CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN	3 FT. MINIMUM	12 INCHES IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 3 FT. MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN	10 FT. PREFERRED 6 FT. MINIMUM (2)	12 INCHES IS THE MINIMUM, EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 6 FT. MINIMUM

NOTES:
A. INFORMATION PROVIDED FROM FDEP RULE 62-555. IF OTHER FDEP RULES CONFLICT, THEN USE THE MOST STRINGENT RULE.
B. IF THERE ARE CONFLICTS IN THE SEPARATION REQUIREMENTS BETWEEN COLLECTION SYSTEMS AND DRINKING WATER FACILITIES ESTABLISHED IN FOOTNOTES (1) AND (2) ABOVE AND THOSE ESTABLISHED IN CHAPTER 62-532 OR 62-555, F.A.C., THEN THE REQUIREMENTS IN CHAPTER 62-532 OR 62-555, F.A.C., SHALL APPLY.

INLINE FLUSHING CONNECTION
N.T.S.



17/15/25

REV. PER CITY OF DEFUNIAK COMMENTS

DATE

BY

REVISIONS

NO

D. PAYNE & ASSOCIATES, LLC.
2571 PALM SHORES DRIVE, SHALIMAR, FL 32579
PHONE (850) 240-0861
FL REGISTRY NO. 37439

DANIEL J. PAYNE, P.E.
FL REGISTRATION NO. 74809

SCALE: AS NOTED

DESIGNED BY: DJP

DRAWN BY: DJP

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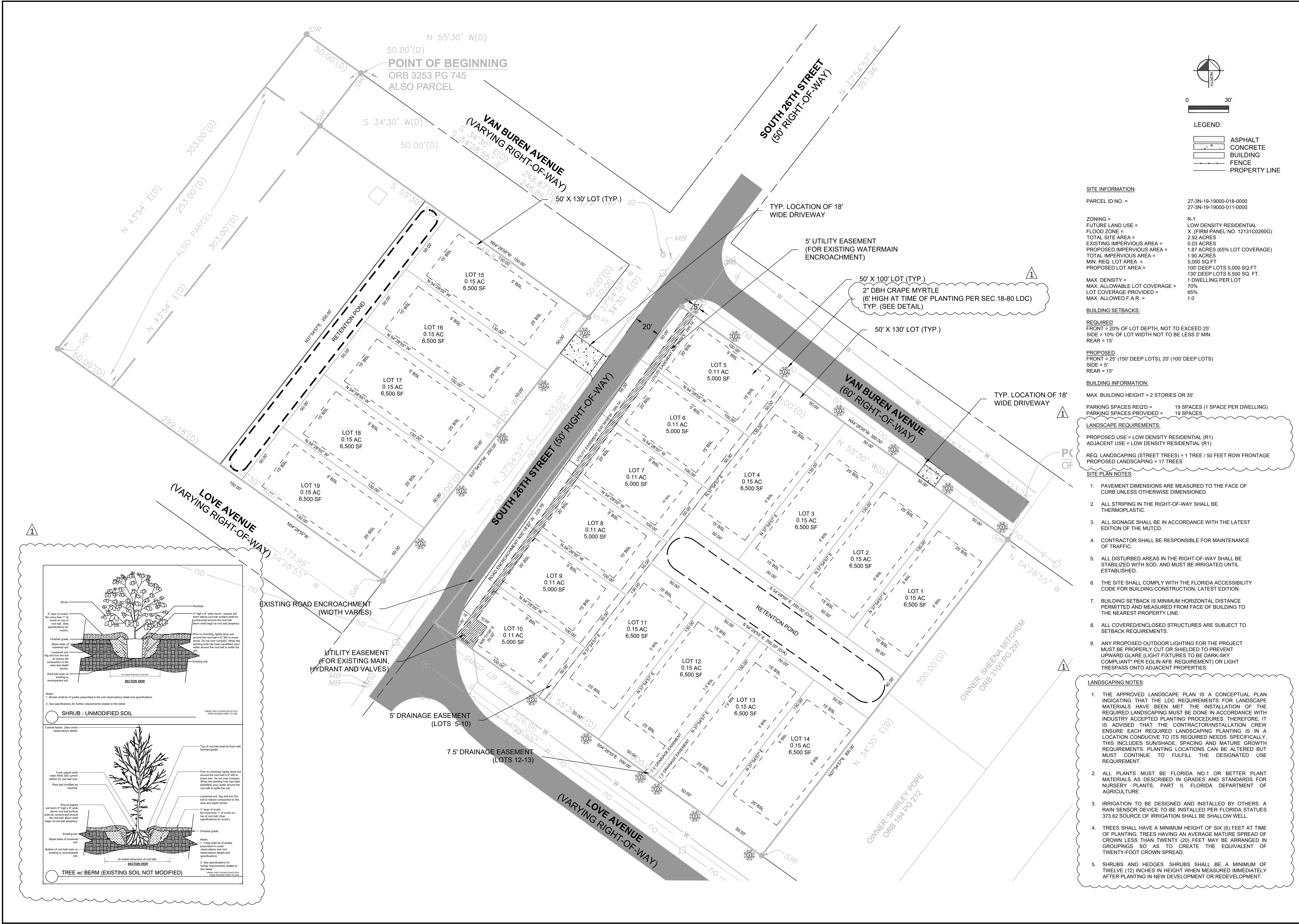
LOW PRESSURE SEWER DETAILS

SOUTH 26TH STREET SUBDIVISION DEFUNIAK SPRINGS, FL FLORIDA

DATE

PROJECT NO. N/A

SHEET NUMBER C9



SITE INFORMATION:
 PARCEL ID NO. = 27-3N-19-19000-018-0000
 27-3N-19-19000-011-0000
 ZONING = R-1
 FUTURE LAND USE = LOW DENSITY RESIDENTIAL
 FLOOD ZONE = X (FIRM PANEL NO. 12131C0260G)
 TOTAL SITE AREA = 2.92 ACRES
 EXISTING IMPERVIOUS AREA = 0.03 ACRES
 PROPOSED IMPERVIOUS AREA = 1.87 ACRES (65% LOT COVERAGE)
 TOTAL IMPERVIOUS AREA = 1.90 ACRES
 MIN. REQ. LOT AREA = 5,000 SQ. FT.
 PROPOSED LOT AREA = 130' DEEP LOTS 6,500 SQ. FT.
 1 DWELLING PER LOT
 MAX. DENSITY = 1 DWELLING PER LOT
 MAX. ALLOWABLE LOT COVERAGE = 70%
 LOT COVERAGE PROVIDED = 65%
 MAX. ALLOWED F.A.R. = 1.0

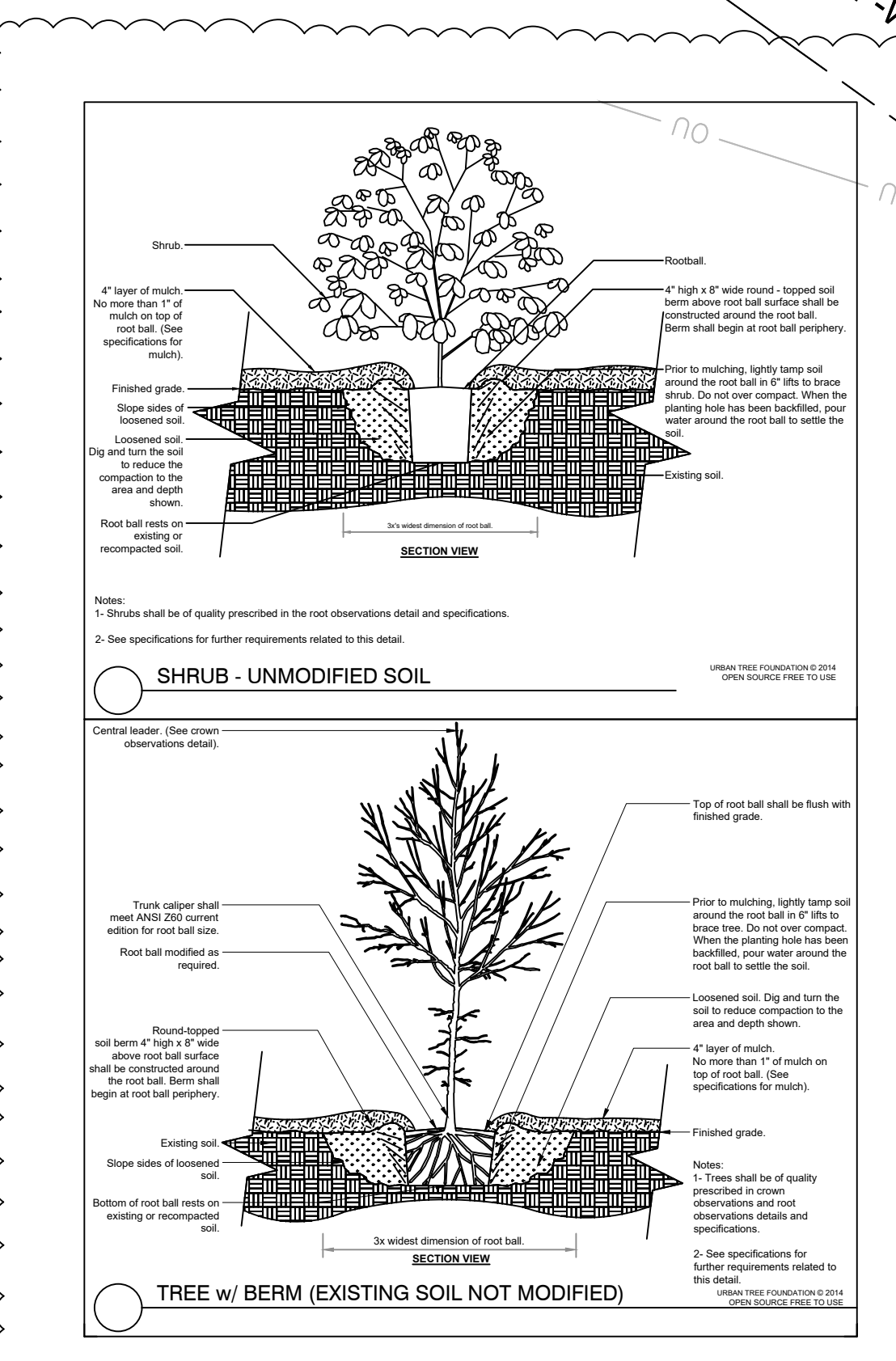
BUILDING SETBACKS:
 REQUIRED FRONT = 20% OF LOT DEPTH, NOT TO EXCEED 25'
 SIDE = 10% OF LOT WIDTH NOT TO BE LESS 5' MIN
 REAR = 15'
 PROPOSED FRONT = 25' (150' DEEP LOTS), 20' (100' DEEP LOTS)
 SIDE = 5'
 REAR = 15'

BUILDING INFORMATION:
 MAX. BUILDING HEIGHT = 2 STORIES OR 35'
 PARKING SPACES REQ'D = 19 SPACES (1 SPACE PER DWELLING)
 PARKING SPACES PROVIDED = 19 SPACES

LANDSCAPE REQUIREMENTS:
 PROPOSED USE = LOW DENSITY RESIDENTIAL (R1)
 ADJACENT USE = LOW DENSITY RESIDENTIAL (R1)
 REQ. LANDSCAPING (STREET TREES) = 1 TREE / 50 FEET ROW FRONTAGE
 PROPOSED LANDSCAPING = 17 TREES

SITE PLAN NOTES:
 1. PAVEMENT DIMENSIONS ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE DIMENSIONED.
 2. ALL STRIPING IN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
 3. ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF TRAFFIC.
 5. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE STABILIZED WITH SOD, AND MUST BE IRRIGATED UNTIL ESTABLISHED.
 6. THE SITE SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, LATEST EDITION.
 7. BUILDING SETBACK IS MINIMUM HORIZONTAL DISTANCE PERMITTED AND MEASURED FROM FACE OF BUILDING TO THE NEAREST PROPERTY LINE.
 8. ALL COVERED/ENCLOSED STRUCTURES ARE SUBJECT TO SETBACK REQUIREMENTS.
 9. ANY PROPOSED OUTDOOR LIGHTING FOR THE PROJECT MUST BE PROPERLY CUT OR SHIELDED TO PREVENT UPWARD GLARE (LIGHT FIXTURES TO BE DARK-SKY COMPLIANT* PER EGLIN AFB REQUIREMENT) OR LIGHT TRESPASS ONTO ADJACENT PROPERTIES.

LANDSCAPING NOTES:
 1. THE APPROVED LANDSCAPE PLAN IS A CONCEPTUAL PLAN INDICATING THAT THE LDC REQUIREMENTS FOR LANDSCAPE MATERIALS HAVE BEEN MET. THE INSTALLATION OF THE REQUIRED LANDSCAPING MUST BE DONE IN ACCORDANCE WITH INDUSTRY ACCEPTED PLANTING PROCEDURES. THEREFORE, IT IS ADVISED THAT THE CONTRACTOR/INSTALLATION CREW ENSURE EACH REQUIRED LANDSCAPING PLANTING IS IN A LOCATION CONDUCTIVE TO ITS REQUIRED NEEDS. SPECIFICALLY, THIS INCLUDES SUNSHADE, SPACING AND MATURE GROWTH REQUIREMENTS. PLANTING LOCATIONS CAN BE ALTERED BUT MUST CONTINUE TO FULFILL THE DESIGNATED USE REQUIREMENT.
 2. ALL PLANTS MUST BE FLORIDA NO.1 OR BETTER PLANT MATERIALS AS DESCRIBED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PART II, FLORIDA DEPARTMENT OF AGRICULTURE.
 3. IRRIGATION TO BE DESIGNED AND INSTALLED BY OTHERS. A RAIN SENSOR DEVICE TO BE INSTALLED PER FLORIDA STATUTES 373.62 SOURCE OF IRRIGATION SHALL BE SHALLOW WELL.
 4. TREES SHALL HAVE A MINIMUM HEIGHT OF SIX (6) FEET AT TIME OF PLANTING. TREES HAVING AN AVERAGE MATURE SPREAD OF CROWN LESS THAN TWENTY (20) FEET MAY BE ARRANGED IN GROUPINGS SO AS TO CREATE THE EQUIVALENT OF TWENTY-FOOT CROWN SPREAD.
 5. SHRUBS AND HEDGES. SHRUBS SHALL BE A MINIMUM OF TWELVE (12) INCHES IN HEIGHT WHEN MEASURED IMMEDIATELY AFTER PLANTING IN NEW DEVELOPMENT OR REDEVELOPMENT.



REV.	PER CITY OF DEFLUNIAK COMMENTS	DATE	BY
1		1/15/25	
D. PAYNE & ASSOCIATES, LLC.			
2571 PALM SHORES DRIVE, SHALIMAR, FL 32579 PHONE (850) 240-0361 FL REGISTRY NO. 37439			
SITE & LANDSCAPE PLAN			
SOUTH 26TH STREET SUBDIVISION DEFUNIAK SPRINGS, FL			
WALTON, COUNTY FLORIDA			
DATE			
PROJECT NO. N/A			
SHEET NUMBER			
C3			