

1350 Baldwin Avenue
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**COMMUNITY REDEVELOPMENT AGENCY (CRA)
REGULAR MEETING AGENDA
1350 BALDWIN AVENUE, CITY HALL
WEDNESDAY, AUGUST 27, 2025
5:00 PM**

- 1. CALL TO ORDER**
 - A. Invocation
 - B. Pledge of Allegiance
- 2. APPROVAL OF MINUTES**
 - A. July 16, 2025, Budget Workshop
- 3. FINANCIAL REPORT**
 - A. Items
- 4. GROWTH AND DEVELOPMENT ASSISTANCE GRANT TRACKING SHEET**
 - A. Item
- 5. OLD BUSINESS**
 - A. Update of Fire Department discussions
 - B. Update on 27 Crescent Drive design
 - C. Update on Alleyway Improvement design
 - D. Update on Baldwin Avenue parking striping design
 - E. Request direction on lighting fixtures for Circle Drive lighting improvements
- 6. NEW BUSINESS**
 - A. Presentation by PFM on Debt Issuance Options
 - B. Request to approve Task Order 25-04-CRA for railroad crossing improvements
 - C. Request to approve Invoice 25064_0725 for John V Lawson Amphitheater Concept Design
 - D. Request to approve Income-based Roofing Improvement Grant for 432 S 19th Street
 - E. Request to approve 694 Baldwin Avenue annual office lease
- 7. BOARD MEMBER COMMENTS**
 - A. Comm. R. Hamilton
 1. Dog park
- 8. CITIZEN COMMENTS**
- 9. ADJOURNMENT**

Florida Statute 286.0105. Notices of meetings and hearings must advise that a record is required to appeal. Each board, commission, or agency of this state or of any political subdivision thereof shall include in the notice of any meeting or hearing, if notice of the meeting or hearing is required, of such board, commission, or agency, conspicuously on such notice, the advice that, if a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The requirements of this section do not apply to the notice provided in s. 200.065(3). In accordance with Section 286.26, F.S., persons with disabilities may contact the City Clerk at cityclerk@defuniaksprings.net or 850-892-8500 ext. 1103.

**Community Redevelopment Agency
Budget Workshop
Council Chambers
July 16, 2025
4:00 PM**

1. Call To Order

Chair R. Henderson called the Community Redevelopment Agency meeting to order at 5:00 PM.

Present: Reynolds Henderson, Cathy Mosley, Bruton Campbell-Work, Rob Hamilton

Absent:

Also in attendance: City Attorney Clay Adkinson, Executive Director Josh Ervin, and Administrative Assistant Sumie Gabbard.

2. FY 26 DRAFT BUDGET AND DISCUSSION

A. Item

Mr. Ervin presented the FY26 Draft Budget and Discussion.

Mr. Ervin presented the DR-420 forms and explained what it is.

Mr. Ervin stated that it has the value of \$212,755,072 and we receive 95% of that, which is specified in the packet.

Mr. Ervin explained the funds that the CRA needs to carry over.

Mr. Ervin stated that the total FY26 budget is at \$2,717,270.

Mr. Ervin stated that those values can always be changed, but the only one that can't be changed is the funds that have already been designated.

Mr. Henderson asked how many funds are in the account for the alleyway project.

Mr. Ervin answered \$125,861.66.

Mr. Henderson asked what "Other Professional Services" is for.

Mr. Ervin explained that it is for those one-off professional services we may seek.

Mr. Hamilton asked when the lease is to expire.

Mr. Ervin answered the end of the fiscal year.

Mr. Henderson asked if all those projects are in the CRA plan.

Mr. Ervin answered that most of it is in there individually, and some of those things have been discussed with the board.

Mr. Henderson asked where funds for the Veterans Memorial and Baldwin parking are going to come from.

Mr. Ervin stated that we have a budget this year for 27 Crescent Drive: \$226,500.

Mr. Ervin stated that we do not currently have a budget for the Veterans Memorial funding.

Mr. Henderson asked if we can do the Hall of Brotherhood Auditorium.

Mr. Ervin answered yes, according to our consultant.

Mr. Adkison explained that there are a lot of different routes that we can go with financing, and we are not limited to just bonding.

Mr. Adkison made it clear that we are not pledging any of the city funds, but we are pledging CRA funding.

Mr. Adkison stated that these funds will be used to finish these projects.

Mr. Henderson stated that the problem we have is the perception problem about projects not getting started.

Mr. Henderson stated that getting these projects done can extend the life of the CRA.

Mr. Adkison stated that it can extend the sunset of the CRA.

Mr. Adkison stated that we can borrow in a way that will force the city to not sunset the CRA.

Mr. Adkison stated that we should look at the most attractive financing for the CRA and compare the 5-year financing with the 10- and 15-year options.

Mr. Henderson asked if we went to the city and said we want to do all this, could the city extend it now.

Mr. Adkison stated that there is nothing that says we can't extend right now.

Mr. Adkison stated that we can authorize a resolution that says the city can extend to the term of the loan.

Mr. Adkison also explained that the conversation about the fire department has come up and whether we are able to do it. Mr. Adkison explained that both the city and county need to sign off on that.

Mr. Adkison stated that the city can't pledge ad valorem revenue to that purpose without a referendum of the public.

Mr. Adkison stated that what's on the ballot is that the city is given public authority to exceed the \$10 million cap.

Mr. Adkison stated that the public must give permission to issue debt.

Mr. Henderson asked the board if they had any other questions.

Mr. Henderson asked if there were any comments from the public.

Mr. Ervin stated that the Veterans Memorial is being brought to the next City Council.

Mr. Hamilton stated that he will be present.

3. BOARD MEMBER COMMENTS

4. CITIZEN COMMENTS

5. ADJOURNMENT

Meeting adjourned at 4:43 PM.

Approved:

Chair Reynolds. Henderson

ATTEST:

Minutes taken by Rafael Ali
City Clerk
Proper notice having been duly given



DeFuniak Springs, FL

Detail Report Account Detail

Date Range: 10/01/2024 - 09/30/2025

Account	Name		Beginning Balance	Total Activity	Ending Balance			
Fund: 660 - Community Redevelopment Area								
<u>660-000-515-1200</u>								
		CRA - Salaries	0.00	85,476.59	85,476.59			
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/08/2024	PYPKT01085	PYPKT01085 - Payroll ...		PYPKT01085 - Payroll 10/11/2024 - Pay ...			3,702.37	3,702.37
10/11/2024	GLPKT10895	JN09244		FY 2324 Accrued Salaries and Benefits			-2,221.42	1,480.95
10/25/2024	PYPKT01095	PYPKT01095 - PAYROL...		PYPKT01095 - PAYROLL 10/25/2024 - Pa...			3,702.37	5,183.32
Activity for October, 2024:							5,183.32	
11/08/2024	PYPKT01102	PYPKT01102 - 11/08/2...		PYPKT01102 - 11/08/2024 PAYROLL - Pa...			4,033.97	9,217.29
11/22/2024	PYPKT01105	PYPKT01105 - Payroll ...		PYPKT01105 - Payroll 11/22/2024 - Pay ...			3,812.84	13,030.13
Activity for November, 2024:							7,846.81	
12/06/2024	PYPKT01113	PYPKT01113 - Payroll ...		PYPKT01113 - Payroll 12/06/2024 - Pay ...			3,813.18	16,843.31
12/20/2024	PYPKT01118	PYPKT01118 - Payroll ...		PYPKT01118 - Payroll 12/20/2024 - Pay ...			3,812.81	20,656.12
Activity for December, 2024:							7,625.99	
01/03/2025	PYPKT01125	PYPKT01125 - 01/03/2...		PYPKT01125 - 01/03/2024 payroll - Pay ...			3,813.00	24,469.12
01/17/2025	PYPKT01139	PYPKT01139 - 01/17/2...		PYPKT01139 - 01/17/2025 payroll - Pay ...			3,812.88	28,282.00
01/28/2025	PYPKT01153	PYPKT01153 - 01/31/2...		PYPKT01153 - 01/24/2025 payroll - Pay ...			3,812.97	32,094.97
Activity for January, 2025:							11,438.85	
02/14/2025	PYPKT01181	PYPKT01181 - 02/14/2...		PYPKT01181 - 02/14/2025 Payroll - Pay ...			3,813.18	35,908.15
02/28/2025	PYPKT01273	PYPKT01273 - 02/28/2...		PYPKT01273 - 02/28/2025 PAYROLL - Pa...			3,812.85	39,721.00
Activity for February, 2025:							7,626.03	
03/14/2025	PYPKT01288	PYPKT01288 - 03/14/2...		PYPKT01288 - 03/14/2025 payroll - Pay ...			3,813.18	43,534.18
03/28/2025	PYPKT01291	PYPKT01291 - 03/28/2...		PYPKT01291 - 03/28/2025 Payroll - Pay ...			3,812.98	47,347.16
Activity for March, 2025:							7,626.16	
04/11/2025	PYPKT01294	PYPKT01294 - 04/11/2...		PYPKT01294 - 04/11/2025 Payroll - Pay ...			3,813.18	51,160.34
04/25/2025	PYPKT01303	PYPKT01303 - 04/25/2...		PYPKT01303 - 04/25/2025 payroll - Pay ...			3,812.81	54,973.15
Activity for April, 2025:							7,625.99	
05/09/2025	PYPKT01319	PYPKT01319 - 05/09/2...		PYPKT01319 - 05/09/2025 PAYROLL - Pa...			3,812.81	58,785.96
05/23/2025	PYPKT01326	PYPKT01326 - 05/23/2...		PYPKT01326 - 05/23/2025 payroll - Pay ...			3,813.18	62,599.14
Activity for May, 2025:							7,625.99	
06/06/2025	PYPKT01340	PYPKT01340 - PAYROL...		PYPKT01340 - PAYROLL 06/06/2025 - Pa...			3,812.84	66,411.98
06/20/2025	PYPKT01345	PYPKT01345 - 06/20/2...		PYPKT01345 - 06/20/2025 Payroll - Pay ...			3,812.86	70,224.84
Activity for June, 2025:							7,625.70	
07/03/2025	PYPKT01349	PYPKT01349 - 07/03/2...		PYPKT01349 - 07/03/2025 payroll - Pay ...			3,813.18	74,038.02

Detail Report

Date Range: 10/01/2024 - 09/30/2025

						Beginning Balance	Total Activity	Ending Balance	
660-000-515-1200						0.00	85,476.59	85,476.59	
CRA - Salaries - Continued									
Account	Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
	07/18/2025	PYPKT01354	PYPKT01354 - 07/18/2...		PYPKT01354 - 07/18/2025 payroll - Pay ...			3,812.95	77,850.97
	08/01/2025	PYPKT01359	PYPKT01359 - 08/01/2...		PYPKT01359 - 08/01/2025 payroll - Pay ...			3,812.81	81,663.78
	08/15/2025	PYPKT01363	PYPKT01363 - 08/15/2...		PYPKT01363 - 08/15/2025 Payroll - Pay ...			3,812.81	85,476.59
Activity for July, 2025:								7,626.13	
Activity for August, 2025:								7,625.62	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-000-515-2100		CRA - FICA Taxes				0.00	7,030.38	7,030.38
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/08/2024	PYPKT01085	PYPKT01085 - Payroll ...		PYPKT01085 - Payroll 10/11/2024 - Pay ...			283.23	283.23
10/11/2024	GLPKT10895	JN09244		FY 2324 Accrued Salaries and Benefits			-169.94	113.29
10/25/2024	PYPKT01095	PYPKT01095 - PAYROL...		PYPKT01095 - PAYROLL 10/25/2024 - Pa...			331.18	444.47
Activity for October, 2024:							444.47	
11/08/2024	PYPKT01102	PYPKT01102 - 11/08/2...		PYPKT01102 - 11/08/2024 PAYROLL - Pa...			308.60	753.07
11/22/2024	PYPKT01105	PYPKT01105 - Payroll ...		PYPKT01105 - Payroll 11/22/2024 - Pay ...			333.07	1,086.14
Activity for November, 2024:							641.67	
12/06/2024	PYPKT01113	PYPKT01113 - Payroll ...		PYPKT01113 - Payroll 12/06/2024 - Pay ...			291.71	1,377.85
12/20/2024	PYPKT01118	PYPKT01118 - Payroll ...		PYPKT01118 - Payroll 12/20/2024 - Pay ...			336.35	1,714.20
Activity for December, 2024:							628.06	
01/03/2025	PYPKT01125	PYPKT01125 - 01/03/2...		PYPKT01125 - 01/03/2024 payroll - Pay ...			291.70	2,005.90
01/17/2025	PYPKT01139	PYPKT01139 - 01/17/2...		PYPKT01139 - 01/17/2025 payroll - Pay ...			336.36	2,342.26
01/28/2025	PYPKT01153	PYPKT01153 - 01/31/2...		PYPKT01153 - 01/24/2025 payroll - Pay ...			291.69	2,633.95
Activity for January, 2025:							919.75	
02/14/2025	PYPKT01181	PYPKT01181 - 02/14/2...		PYPKT01181 - 02/14/2025 Payroll - Pay ...			291.71	2,925.66
02/28/2025	PYPKT01273	PYPKT01273 - 02/28/2...		PYPKT01273 - 02/28/2025 PAYROLL - Pa...			336.35	3,262.01
Activity for February, 2025:							628.06	
03/14/2025	PYPKT01288	PYPKT01288 - 03/14/2...		PYPKT01288 - 03/14/2025 payroll - Pay ...			291.71	3,553.72
03/28/2025	PYPKT01291	PYPKT01291 - 03/28/2...		PYPKT01291 - 03/28/2025 Payroll - Pay ...			336.37	3,890.09
Activity for March, 2025:							628.08	
04/11/2025	PYPKT01294	PYPKT01294 - 04/11/2...		PYPKT01294 - 04/11/2025 Payroll - Pay ...			291.71	4,181.80
04/25/2025	PYPKT01303	PYPKT01303 - 04/25/2...		PYPKT01303 - 04/25/2025 payroll - Pay ...			336.35	4,518.15
Activity for April, 2025:							628.06	
05/09/2025	PYPKT01319	PYPKT01319 - 05/09/2...		PYPKT01319 - 05/09/2025 PAYROLL - Pa...			291.68	4,809.83
05/23/2025	PYPKT01326	PYPKT01326 - 05/23/2...		PYPKT01326 - 05/23/2025 payroll - Pay ...			336.39	5,146.22
Activity for May, 2025:							628.07	
06/06/2025	PYPKT01340	PYPKT01340 - PAYROL...		PYPKT01340 - PAYROLL 06/06/2025 - Pa...			291.69	5,437.91
06/20/2025	PYPKT01345	PYPKT01345 - 06/20/2...		PYPKT01345 - 06/20/2025 Payroll - Pay ...			336.36	5,774.27
Activity for June, 2025:							628.05	
07/03/2025	PYPKT01349	PYPKT01349 - 07/03/2...		PYPKT01349 - 07/03/2025 payroll - Pay ...			291.71	6,065.98
07/18/2025	PYPKT01354	PYPKT01354 - 07/18/2...		PYPKT01354 - 07/18/2025 payroll - Pay ...			336.37	6,402.35
Activity for July, 2025:							628.08	
08/01/2025	PYPKT01359	PYPKT01359 - 08/01/2...		PYPKT01359 - 08/01/2025 payroll - Pay ...			291.68	6,694.03
08/15/2025	PYPKT01363	PYPKT01363 - 08/15/2...		PYPKT01363 - 08/15/2025 Payroll - Pay ...			336.35	7,030.38
Activity for August, 2025:							628.03	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-000-515-2200		CRA - Retirement				0.00	29,311.30	29,311.30
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/08/2024	PYPKT01085	PYPKT01085 - Payroll ...		PYPKT01085 - Payroll 10/11/2024 - Pay ...			1,278.06	1,278.06
10/11/2024	GLPKT10895	JN09244		FY 2324 Accrued Salaries and Benefits			-766.84	511.22
10/25/2024	PYPKT01095	PYPKT01095 - PAYROL...		PYPKT01095 - PAYROLL 10/25/2024 - Pa...			1,278.06	1,789.28
Activity for October, 2024:							1,789.28	
11/08/2024	PYPKT01102	PYPKT01102 - 11/08/2...		PYPKT01102 - 11/08/2024 PAYROLL - Pa...			1,392.53	3,181.81
11/22/2024	PYPKT01105	PYPKT01105 - Payroll ...		PYPKT01105 - Payroll 11/22/2024 - Pay ...			1,316.19	4,498.00
Activity for November, 2024:							2,708.72	
12/06/2024	PYPKT01113	PYPKT01113 - Payroll ...		PYPKT01113 - Payroll 12/06/2024 - Pay ...			1,316.31	5,814.31
12/20/2024	PYPKT01118	PYPKT01118 - Payroll ...		PYPKT01118 - Payroll 12/20/2024 - Pay ...			1,316.18	7,130.49
Activity for December, 2024:							2,632.49	
01/03/2025	PYPKT01125	PYPKT01125 - 01/03/2...		PYPKT01125 - 01/03/2024 payroll - Pay ...			1,316.25	8,446.74
01/17/2025	PYPKT01139	PYPKT01139 - 01/17/2...		PYPKT01139 - 01/17/2025 payroll - Pay ...			1,316.21	9,762.95
01/28/2025	PYPKT01153	PYPKT01153 - 01/31/2...		PYPKT01153 - 01/24/2025 payroll - Pay ...			1,316.24	11,079.19
Activity for January, 2025:							3,948.70	
02/14/2025	PYPKT01181	PYPKT01181 - 02/14/2...		PYPKT01181 - 02/14/2025 Payroll - Pay ...			1,316.31	12,395.50
02/28/2025	PYPKT01273	PYPKT01273 - 02/28/2...		PYPKT01273 - 02/28/2025 PAYROLL - Pa...			1,316.20	13,711.70
Activity for February, 2025:							2,632.51	
03/14/2025	PYPKT01288	PYPKT01288 - 03/14/2...		PYPKT01288 - 03/14/2025 payroll - Pay ...			1,316.31	15,028.01
03/28/2025	PYPKT01291	PYPKT01291 - 03/28/2...		PYPKT01291 - 03/28/2025 Payroll - Pay ...			1,316.24	16,344.25
Activity for March, 2025:							2,632.55	
04/11/2025	PYPKT01294	PYPKT01294 - 04/11/2...		PYPKT01294 - 04/11/2025 Payroll - Pay ...			1,316.31	17,660.56
04/25/2025	PYPKT01303	PYPKT01303 - 04/25/2...		PYPKT01303 - 04/25/2025 payroll - Pay ...			1,316.18	18,976.74
Activity for April, 2025:							2,632.49	
05/09/2025	PYPKT01319	PYPKT01319 - 05/09/2...		PYPKT01319 - 05/09/2025 PAYROLL - Pa...			1,316.18	20,292.92
05/23/2025	PYPKT01326	PYPKT01326 - 05/23/2...		PYPKT01326 - 05/23/2025 payroll - Pay ...			1,316.31	21,609.23
Activity for May, 2025:							2,632.49	
06/06/2025	PYPKT01340	PYPKT01340 - PAYROL...		PYPKT01340 - PAYROLL 06/06/2025 - Pa...			1,316.19	22,925.42
06/20/2025	PYPKT01345	PYPKT01345 - 06/20/2...		PYPKT01345 - 06/20/2025 Payroll - Pay ...			1,316.20	24,241.62
Activity for June, 2025:							2,632.39	
07/03/2025	PYPKT01349	PYPKT01349 - 07/03/2...		PYPKT01349 - 07/03/2025 payroll - Pay ...			1,267.50	25,509.12
07/18/2025	PYPKT01354	PYPKT01354 - 07/18/2...		PYPKT01354 - 07/18/2025 payroll - Pay ...			1,267.42	26,776.54
Activity for July, 2025:							2,534.92	
08/01/2025	PYPKT01359	PYPKT01359 - 08/01/2...		PYPKT01359 - 08/01/2025 payroll - Pay ...			1,267.38	28,043.92
08/15/2025	PYPKT01363	PYPKT01363 - 08/15/2...		PYPKT01363 - 08/15/2025 Payroll - Pay ...			1,267.38	29,311.30
Activity for August, 2025:							2,534.76	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-000-515-2300		CRA - Health Insurance				0.00	6,424.00	6,424.00
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/25/2024	PYPKT01095	PYPKT01095 - PAYROL...		PYPKT01095 - PAYROLL 10/25/2024 - Pa...			626.89	626.89
Activity for October, 2024:							626.89	
11/22/2024	PYPKT01105	PYPKT01105 - Payroll ...		PYPKT01105 - Payroll 11/22/2024 - Pay ...			541.11	1,168.00
Activity for November, 2024:							541.11	
12/20/2024	PYPKT01118	PYPKT01118 - Payroll ...		PYPKT01118 - Payroll 12/20/2024 - Pay ...			584.00	1,752.00
Activity for December, 2024:							584.00	
01/17/2025	PYPKT01139	PYPKT01139 - 01/17/2...		PYPKT01139 - 01/17/2025 payroll - Pay ...			584.00	2,336.00
Activity for January, 2025:							584.00	
02/28/2025	PYPKT01273	PYPKT01273 - 02/28/2...		PYPKT01273 - 02/28/2025 PAYROLL - Pa...			584.00	2,920.00
Activity for February, 2025:							584.00	
03/28/2025	PYPKT01291	PYPKT01291 - 03/28/2...		PYPKT01291 - 03/28/2025 Payroll - Pay ...			584.00	3,504.00
Activity for March, 2025:							584.00	
04/25/2025	PYPKT01303	PYPKT01303 - 04/25/2...		PYPKT01303 - 04/25/2025 payroll - Pay ...			584.00	4,088.00
Activity for April, 2025:							584.00	
05/23/2025	PYPKT01326	PYPKT01326 - 05/23/2...		PYPKT01326 - 05/23/2025 payroll - Pay ...			584.00	4,672.00
Activity for May, 2025:							584.00	
06/20/2025	PYPKT01345	PYPKT01345 - 06/20/2...		PYPKT01345 - 06/20/2025 Payroll - Pay ...			584.00	5,256.00
Activity for June, 2025:							584.00	
07/18/2025	PYPKT01354	PYPKT01354 - 07/18/2...		PYPKT01354 - 07/18/2025 payroll - Pay ...			584.00	5,840.00
Activity for July, 2025:							584.00	
08/15/2025	PYPKT01363	PYPKT01363 - 08/15/2...		PYPKT01363 - 08/15/2025 Payroll - Pay ...			584.00	6,424.00
Activity for August, 2025:							584.00	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

						Beginning Balance	Total Activity	Ending Balance
660-000-515-3130						0.00	114,353.99	114,353.99
CRA - Other Professional Services								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
02/05/2025	POPKT10472	446428	12275	DOWNTOWN PARKING STUDY	17723 - Fishbeck		4,637.30	4,637.30
Activity for February, 2025:							4,637.30	
03/03/2025	POPKT10771	448450	12510	DOWNTOWN PARKING STUDY	17723 - Fishbeck		9,274.60	13,911.90
03/31/2025	POPKT10956	1-253304	12683	Historic Design Standards agreement	17798 - JOHNSON, MIRMIRAN & THOMPS...		10,983.27	24,895.17
03/31/2025	POPKT10956	449846	12670	DOWNTOWN PARKING STUDY	17723 - Fishbeck		11,593.25	36,488.42
Activity for March, 2025:							31,851.12	
04/29/2025	POPKT11161	22445311	12872	VETERANS MEMORIAL PROJECT	04901 - DEWBERRY ENGINEERS, INC		5,000.00	41,488.42
04/29/2025	POPKT11161	2-256049	12886	Historic Design Standards agreement	17798 - JOHNSON, MIRMIRAN & THOMPS...		2,005.08	43,493.50
Activity for April, 2025:							7,005.08	
05/15/2025	POPKT11284	000000450473	12965	DOWNTOWN PARKING STUDY	17723 - Fishbeck		2,318.65	45,812.15
Activity for May, 2025:							2,318.65	
06/24/2025	POPKT11578	444760	13259	DOWNTOWN PARKING STUDY	17723 - Fishbeck		11,593.25	57,405.40
06/26/2025	POPKT11578	000000451986	13259	DOWNTOWN PARKING STUDY	17723 - Fishbeck		2,318.65	59,724.05
06/26/2025	POPKT11578	22451267	13252	VETERANS MEMORIAL PROJECT	04901 - DEWBERRY ENGINEERS, INC		10,500.00	70,224.05
06/26/2025	POPKT11578	3-260545	13274	Historic Design Standards agreement	17798 - JOHNSON, MIRMIRAN & THOMPS...		17,255.58	87,479.63
Activity for June, 2025:							41,667.48	
08/07/2025	POPKT11868	22455785	13553	VETERANS MEMORIAL PROJECT	04901 - DEWBERRY ENGINEERS, INC		5,250.00	92,729.63
08/07/2025	POPKT11868	24-0251	13602	design drawings -CRA	17978 - TOUCHSTONE ARCHITRCTURE & C...		5,000.00	97,729.63
08/07/2025	POPKT11868	4-264577	13576	Historic Design Standards agreement	17798 - JOHNSON, MIRMIRAN & THOMPS...		4,624.36	102,353.99
08/12/2025	POPKT11948	INV-67211	13620	RENEWAL FLOCK SAFETY CAMERA	17323 - FLOCK GROUP, INC		12,000.00	114,353.99
Activity for August, 2025:							26,874.36	
660-000-515-3200						0.00	6,750.00	6,750.00
CRA - Financial Audit								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
08/07/2025	APPKT01628	66503	13593	CRA- AUDITOR REPORT YR ENDED SEP 3...	17657 - PURVIS, GRAY & COMPANY, LLP		6,750.00	6,750.00
Activity for August, 2025:							6,750.00	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account						Beginning Balance	Total Activity	Ending Balance
660-000-515-4100 CRA - Telephone & Utilities						0.00	1,435.13	1,435.13
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
11/15/2024	APPKT01395	November 2024	11896	November 2024 light bill	00059 - FPL NORTHWEST FL		56.28	56.28
Activity for November, 2024:							56.28	
01/06/2025	APPKT01448	DECEMBER 2024 1	12158	DECEMBER 2024	00059 - FPL NORTHWEST FL		26.75	83.03
Activity for January, 2025:							26.75	
04/14/2025	APPKT01533	March 2025 24000-01...	12809	MARCH UTILITIES 24000-01661	00059 - FPL NORTHWEST FL		53.58	136.61
Activity for April, 2025:							53.58	
05/14/2025	APPKT01555	APRIL 2025	12970	APRIL 2025UTILITES	00059 - FPL NORTHWEST FL		26.71	163.32
Activity for May, 2025:							26.71	
06/11/2025	APPKT01580	MAY 2025	13184	MAY 2025	00059 - FPL NORTHWEST FL		26.79	190.11
Activity for June, 2025:							26.79	
07/09/2025	APPKT01601	287294528589X07032...	13318	287294528589X07032025	16237 - AT&T MOBILITY		1,119.16	1,309.27
07/10/2025	APPKT01601	JUNE 2025	13346	MAY 17-JUNE17	00059 - FPL NORTHWEST FL		26.79	1,336.06
Activity for July, 2025:							1,145.95	
08/04/2025	APPKT01628	287294528589X08032...	13532	287294528589x08032025	16237 - AT&T MOBILITY		72.28	1,408.34
08/05/2025	APPKT01628	AUG 2025	13563	JUNE 17 - JULY 17 2025	00059 - FPL NORTHWEST FL		26.79	1,435.13
Activity for August, 2025:							99.07	
660-000-515-4200 CRA - Fees, Memberships & Subscriptions						0.00	2,038.77	2,038.77
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
11/13/2024	POPKT10038	140659164	11933	ANNUAL SPECIAL DISTRICT FEE	16194 - TRUSTMARK NATIONAL BANK		175.00	175.00
11/13/2024	POPKT10038	CASH-20526	11933	Annual FRA Membership	16194 - TRUSTMARK NATIONAL BANK		870.00	1,045.00
Activity for November, 2024:							1,045.00	
03/06/2025	APPKT01499	154409	12548	fra board training cra	16194 - TRUSTMARK NATIONAL BANK		50.00	1,095.00
Activity for March, 2025:							50.00	
04/09/2025	APPKT01528	296474873	12732	ZOOM SUBSCRIPTION CRA	16194 - TRUSTMARK NATIONAL BANK		283.89	1,378.89
04/09/2025	APPKT01528	3038972974	12732	CRA- ADOBE SUBSCRIPTION	16194 - TRUSTMARK NATIONAL BANK		659.88	2,038.77
Activity for April, 2025:							943.77	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account						Beginning Balance	Total Activity	Ending Balance
660-000-515-4300						0.00	27,606.00	27,606.00
CRA - Insurance								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/03/2024	APPKT01370	INV-41110-G5Q5	11673	CRA FIRST INSTALLMENT BILLING 24/25	02446 - FLORIDA MUNICIPAL INSURANCE T...		5,662.50	5,662.50
							Activity for October, 2024:	5,662.50
01/13/2025	APPKT01448	INV-41447-S6V9	12154	SECOND INSTALLMENT BILLING 24/25	02446 - FLORIDA MUNICIPAL INSURANCE T...		5,662.50	11,325.00
							Activity for January, 2025:	5,662.50
03/20/2025	APPKT01508	INV-42556-H3P3	12592	THIRD INSTALLMENT BILLING 24/25	02446 - FLORIDA MUNICIPAL INSURANCE T...		5,662.50	16,987.50
							Activity for March, 2025:	5,662.50
04/01/2025	APPKT01524	POL0956637-01	12638	04/01/2025RENEWAL OF PUBLIC OFFIC...	09989 - ACENTRIA INSURANCE		4,956.00	21,943.50
							Activity for April, 2025:	4,956.00
06/25/2025	APPKT01594	INV-42950-N5F4	13260	CRA FOURTH INSTALLMENT 24/25	02446 - FLORIDA MUNICIPAL INSURANCE T...		5,662.50	27,606.00
							Activity for June, 2025:	5,662.50
660-000-515-4400						0.00	9,900.00	9,900.00
CRA - Office Lease								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/03/2024	APPKT01370	OCTOBER 2024	11659	CRA LEASE OCTOBER 2024	17263 - Baldwin Avenue, LLC		900.00	900.00
							Activity for October, 2024:	900.00
11/14/2024	APPKT01395	NOVEMBER 2024	11884	NOVEMBER 2024 CRA RENT	17263 - Baldwin Avenue, LLC		900.00	1,800.00
							Activity for November, 2024:	900.00
01/09/2025	APPKT01450	DECEMBER 2024	12088	DECEMBER CRA RENT	17263 - Baldwin Avenue, LLC		900.00	2,700.00
01/09/2025	APPKT01450	JANUARY 2025	12088	CRA RENT JANUARY	17263 - Baldwin Avenue, LLC		900.00	3,600.00
							Activity for January, 2025:	1,800.00
02/09/2025	APPKT01475	FEBRUARY 2025	12373	FEBRUARY 2025 CRA RENT PAYMENT	17263 - Baldwin Avenue, LLC		900.00	4,500.00
							Activity for February, 2025:	900.00
03/05/2025	APPKT01499	MARCH 2025	12486	CRA MARCH LEASE PAYMENT	17263 - Baldwin Avenue, LLC		900.00	5,400.00
							Activity for March, 2025:	900.00
04/01/2025	APPKT01524	APRIL 2025	12645	APRIL 2025 CRA LEASE PAYMENT	17263 - Baldwin Avenue, LLC		900.00	6,300.00
04/29/2025	APPKT01545	MAY 2025	12860	CRA MAY RENT PAYMENT	17263 - Baldwin Avenue, LLC		900.00	7,200.00
							Activity for April, 2025:	1,800.00
06/10/2025	APPKT01580	JUNE 2025	13166	CRA LEASE JUNE 2025	17263 - Baldwin Avenue, LLC		900.00	8,100.00
							Activity for June, 2025:	900.00
07/09/2025	APPKT01601	JULY 2025	13321	CRA LEASE JULY 2025	17263 - Baldwin Avenue, LLC		900.00	9,000.00
							Activity for July, 2025:	900.00
08/05/2025	APPKT01628	AUG 2025 CRA LEASE	13534	AUG 2025 CRA LEASE	17263 - Baldwin Avenue, LLC		900.00	9,900.00
							Activity for August, 2025:	900.00

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Date Range: 10/01/2024 - 09/30/2025

						Beginning Balance	Total Activity	Ending Balance
660-000-515-4900 CRA - Travel Expense						0.00	1,487.44	1,487.44
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/31/2024	APPKT01387	T&PD 10222024-1025...	11837	FRA 2024 ANNUAL CONFERENCE	17206 - JOSH ERVIN		627.94	627.94
Activity for October, 2024:							627.94	
12/13/2024	APPKT01424	21295	12079	CRA HOTEL STAY 2024 FRA CONFERENCE	16194 - TRUSTMARK NATIONAL BANK		859.50	1,487.44
Activity for December, 2024:							859.50	
660-000-515-4902 CRA - Marketing						0.00	3,299.50	3,299.50
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
11/13/2024	POPKT10038	00000577	11893	INVOICE DIFFERENCE	00040 - DEFUNIAK HERALD BREEZE		-130.50	-130.50
11/13/2024	POPKT10038	00000577	11893	PUBLIC WORKSHOPS-CRA FLYERS	00040 - DEFUNIAK HERALD BREEZE		283.50	153.00
Activity for November, 2024:							153.00	
02/09/2025	POPKT10607	8068Z	12388	RFQ legal advertisement CRA	00040 - DEFUNIAK HERALD BREEZE		114.75	267.75
Activity for February, 2025:							114.75	
03/13/2025	POPKT10861	00000879	12582	design standards kickoff public workshop	00040 - DEFUNIAK HERALD BREEZE		306.00	573.75
Activity for March, 2025:							306.00	
05/01/2025	POPKT11161	01445	12908	flyers for the Veterans Memorial works...	02491 - SMITH'S SIGNS & PRINTING		28.00	601.75
05/01/2025	POPKT11161	8241Z	12871	RFP 25-01-CRA LEGAL ADVERTISEMENT	00040 - DEFUNIAK HERALD BREEZE		110.25	712.00
05/14/2025	POPKT11284	00000945	12954	Public workshop advertising	00040 - DEFUNIAK HERALD BREEZE		306.00	1,018.00
05/14/2025	POPKT11284	00000945-1	12954	roofing improvement grant advertising	00040 - DEFUNIAK HERALD BREEZE		234.00	1,252.00
05/15/2025	APPKT01555	00001087-3	12954	APRIL 2 ESTATE PLANNING	00040 - DEFUNIAK HERALD BREEZE		199.00	1,451.00
05/15/2025	POPKT11284	01484	13002	8 double-sided 18"x24" corrugated signs..	02491 - SMITH'S SIGNS & PRINTING		120.00	1,571.00
Activity for May, 2025:							997.25	
06/10/2025	POPKT11485	00001183-1	13173	Veterans Memorial Public Workshop	00040 - DEFUNIAK HERALD BREEZE		583.50	2,154.50
06/10/2025	POPKT11485	00001183-2	13173	Insuring and Protecting Assets Public W...	00040 - DEFUNIAK HERALD BREEZE		389.00	2,543.50
06/10/2025	POPKT11485	00001183-3	13173	workshop advertisement -CRA	00040 - DEFUNIAK HERALD BREEZE		324.00	2,867.50
Activity for June, 2025:							1,296.50	
07/02/2025	POPKT11650	00001235	13332	HISTORIC DISTRICTS PUBLIC WORKGSH...	00040 - DEFUNIAK HERALD BREEZE		432.00	3,299.50
Activity for July, 2025:							432.00	
660-000-515-5100 CRA - Office Supplies						0.00	74.11	74.11
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
04/29/2025	POPKT11161	1M36-LD1F-1VLK	12851	2 BLACK INK CARTRIDGES	09249 - AMAZON.COM		74.11	74.11
Activity for April, 2025:							74.11	

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Date Range: 10/01/2024 - 09/30/2025

						Beginning Balance	Total Activity	Ending Balance
660-000-515-5200 CRA - Operating Supplies						0.00	1,334.44	1,334.44
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
06/12/2025	POPKT11485	44212540	13214	easels for our public workshop	03195 - STAPLES INC		58.14	58.14
Activity for June, 2025:							58.14	
07/14/2025	APPKT01603	604431	13397	EASEL-CRA	16194 - TRUSTMARK NATIONAL BANK		117.01	175.15
07/21/2025	POPKT11738	1JKX-CMFX-7GNX	13430	disk drive for my laptop- CRA	09249 - AMAZON.COM		119.98	295.13
07/21/2025	POPKT11738	1JKX-CMFX-7GNX	13430	INVOICE DIFFERENCE	09249 - AMAZON.COM		5.99	301.12
07/21/2025	POPKT11738	1NV4-VTRP-MLDL	13430	2-Pack Screen Protectors	09249 - AMAZON.COM		44.94	346.06
07/21/2025	POPKT11738	1NV4-VTRP-MLDL	13430	INVOICE DIFFERENCE	09249 - AMAZON.COM		-6.62	339.44
Activity for July, 2025:							281.30	
08/07/2025	POPKT11868	143W-QWXN-NXQJ	13527	apple ipad keyboards- cra	09249 - AMAZON.COM		1,245.00	1,584.44
08/07/2025	POPKT11868	143W-QWXN-NXQJ	13527	INVOICE DIFFERENCE	09249 - AMAZON.COM		-250.00	1,334.44
Activity for August, 2025:							995.00	
660-000-515-5310 CRA - Streetscape/Alleyway						0.00	4,438.34	4,438.34
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
01/28/2025	POPKT10472	0033338	12314	string Lighting CRA	17291 - NU TSAI CAPITAL, LLC		1,662.94	1,662.94
01/28/2025	POPKT10472	0033338	12314	Invoice Difference	17291 - NU TSAI CAPITAL, LLC		56.89	1,719.83
Activity for January, 2025:							1,719.83	
02/18/2025	POPKT10607	1484	12422	additional lighting components CRA	17630 - Northwest Florida Fence		1,880.00	3,599.83
Activity for February, 2025:							1,880.00	
03/20/2025	APPKT01508	0046566-in	12614	CRA TRANSFORMER	17291 - NU TSAI CAPITAL, LLC		68.66	3,668.49
Activity for March, 2025:							68.66	
05/15/2025	POPKT11284	0051718-IN	12989	4) strands of string lights	17291 - NU TSAI CAPITAL, LLC		731.44	4,399.93
05/15/2025	POPKT11284	0051718-IN	12989	INVOICE DIFFERNCE	17291 - NU TSAI CAPITAL, LLC		38.41	4,438.34
Activity for May, 2025:							769.85	
660-000-515-5599 CRA - Fines and Abatements						0.00	2,500.00	2,500.00
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
04/10/2025	GLPKT11827	JN09479		CRA Payment of Case 2022-0000053			2,500.00	2,500.00
Activity for April, 2025:							2,500.00	

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Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-000-515-8200		CRA - Incentive Grants				0.00	96,429.54	96,429.54
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/10/2024	POPKT09823	240010	11714	Residential Site and Building Improvem...	17603 - CREIGHTON ZODROW		5,000.00	5,000.00
10/28/2024	POPKT09946	240018	11789	invoice difference	17661 - Patricia Douglass		-975.00	4,025.00
10/28/2024	POPKT09946	240018	11789	Residential Site and Building Improvem...	17661 - Patricia Douglass		5,000.00	9,025.00
10/30/2024	POPKT09948	240025	11853	Residential Site and Building Improvem...	17696 - ROBERT MITCHEM		5,000.00	14,025.00
10/31/2024	POPKT09948	240022	11864	Residential Site and Building Improvem...	17686 - TOM GRAY		5,000.00	19,025.00
Activity for October, 2024:							19,025.00	
11/07/2024	POPKT10029	250002	11871	Residential Site and Building Improvem...	17747 - JOY ELIZABETH MOONEY		3,850.00	22,875.00
11/07/2024	POPKT10029	250002	11871	invoice difference	17747 - JOY ELIZABETH MOONEY		-1,000.00	21,875.00
11/14/2024	POPKT10081	250003	11873	approved Residential Site and Building ...	17754 - Laura Roeser		5,000.00	26,875.00
11/14/2024	POPKT10081	250003	11873	invoice difference	17754 - Laura Roeser		-1,150.00	25,725.00
Activity for November, 2024:							6,700.00	
12/10/2024	POPKT10269	240023	12037	Residential Site and Building Improvem...	17687 - CONNIE STRICKLAND		1,700.00	27,425.00
Activity for December, 2024:							1,700.00	
02/21/2025	POPKT10724	240028	12363	approved Commercial Site and Building ...	17722 - CAFE NOLA/ VISIONARY DESTIN		5,000.00	32,425.00
02/21/2025	POPKT10724	250008	12364	RESIDENTAL GRANT	17823 - DARIN KIMBERL		5,000.00	37,425.00
Activity for February, 2025:							10,000.00	
03/04/2025	POPKT10771	250007	12520	Residential Site and Building Improvem...	17840 - JON D MILLER		3,500.00	40,925.00
03/04/2025	POPKT10771	250007	12520	invoice difference	17840 - JON D MILLER		-750.00	40,175.00
03/06/2025	POPKT10771	240029	12517	Residential Development Incentive Grant	16560 - JACOB LOCKE CONSTRUCTION INC		2,500.00	42,675.00
03/26/2025	POPKT10940	250011	12636	Residential Site and Building Improvem...	17846 - RALPH EDWARDS		5,000.00	47,675.00
Activity for March, 2025:							10,250.00	
04/09/2025	POPKT11049	250010	12730) Commercial Site and Building Improve...	17842 - BIG LOVE RESTAURANT		15,000.00	62,675.00
04/29/2025	POPKT11161	250016	12934	Residential Site and Building Improvem...	17899 - BRIAN TOOLE		2,250.00	64,925.00
04/29/2025	POPKT11161	250016	12934	invoice difference	17899 - BRIAN TOOLE		-650.00	64,275.00
Activity for April, 2025:							16,600.00	
05/01/2025	POPKT11200	250005	12848	Residential Site and Building Improvem...	17838 - TRAVIS BLANTON		2,873.00	67,148.00
05/01/2025	POPKT11200	250005	12848	invoice difference	17838 - TRAVIS BLANTON		-126.46	67,021.54
05/15/2025	APPKT01572	250016-R	12934	BRIAN TOOLE Reversal	17899 - BRIAN TOOLE		650.00	67,671.54
05/15/2025	APPKT01572	250016-R	12934	BRIAN TOOLE Reversal	17899 - BRIAN TOOLE		-2,250.00	65,421.54
05/22/2025	POPKT11350	00894	13035	Commercial Site and Building Improvem...	17839 - ZIIC PROPERTIES, LLC		5,000.00	70,421.54
05/29/2025	POPKT11370	240016	13072	Residential Site and Building Improvem...	17638 - KIM JONES		5,000.00	75,421.54
05/29/2025	POPKT11370	240027	13100	approved Residential Site and Building ...	17712 - Wendy- Anne Harmer		5,000.00	80,421.54
05/29/2025	POPKT11370	250019	13088	Residential Site and Building Improvem...	17914 - SCOTT THOMLEY		5,000.00	85,421.54
Activity for May, 2025:							21,146.54	
06/09/2025	POPKT11489	250023	13156	Residential Site and Building Improvem...	17931 - SANDRA MILLER		5,000.00	90,421.54
06/09/2025	POPKT11489	250023	13156	invoice difference	17931 - SANDRA MILLER		-126.00	90,295.54
06/24/2025	POPKT11578	250009	13279	Residential Site and Building Improvem...	17841 - LYNDIA MCNEW		5,000.00	95,295.54
Activity for June, 2025:							9,874.00	
08/07/2025	POPKT11918	250028	13518	Residential Site and Building Improvem...	17982 - JOHN TODD		1,146.00	96,441.54

Detail Report

Date Range: 10/01/2024 - 09/30/2025

						Beginning Balance	Total Activity	Ending Balance
660-000-515-8200						0.00	96,429.54	96,429.54
CRA - Incentive Grants - Continued								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
08/07/2025	POPKT11918	250028	13518	INVOICE DIFFERENCE	17982 - JOHN TODD		-12.00	96,429.54
						Activity for August, 2025:	1,134.00	
660-000-515-8210						0.00	6,728.50	6,728.50
CRA - Income Based Incentive Grants								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
03/31/2025	APPKT01524	516095	12655	CRA RECORDING FEE	00037 - CLERK OF CIRCUIT COURT		10.00	10.00
						Activity for March, 2025:	10.00	
04/09/2025	POPKT11049	250014	12731	invoice difference	17863 - BROADWAY HOME SERVICES, LLC		-200.00	-190.00
04/09/2025	POPKT11049	250014	12731	approved Income-Based Roof Improve...	17863 - BROADWAY HOME SERVICES, LLC		6,900.00	6,710.00
04/29/2025	APPKT01545	519022	12868	CRA RECORDING FEE	00037 - CLERK OF CIRCUIT COURT		18.50	6,728.50
						Activity for April, 2025:	6,718.50	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-101-200-0000		Cash				828,235.46	1,188,496.01	2,016,731.47
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/03/2024	GLPKT10037	JN08949		AP Clearing Input 10/3/24			-7,250.00	820,985.46
10/09/2024	GLPKT10062	JN08954		Payroll Clearing Input 10/9/24			-5,263.66	815,721.80
10/10/2024	GLPKT10069	JN08957		AP Clearing Input 10/10/2024			-5,000.00	810,721.80
10/17/2024	GLPKT10117	JN08968		AP Clearing Input 10/17/24 Payables			-6,568.65	804,153.15
10/23/2024	GLPKT10152	JN08974		Payroll Clearing Input 10/25/24 Payroll			-5,938.50	798,214.65
10/28/2024	GLPKT10154	JN08976		AP Clearing Input 10/28/24 Payables			-4,025.00	794,189.65
Activity for October, 2024:							-34,045.81	
11/04/2024	GLPKT10207	JN08993		AP Clearing Input 11/04/24 Payables			-15,265.24	778,924.41
11/06/2024	GLPKT10217	JN08996		Payroll Clearing Input 11/8/24 payroll			-5,735.10	773,189.31
11/14/2024	GLPKT10339	JN09051		Adkinson Law Firm Trust Reimb			1,000.00	774,189.31
11/15/2024	GLPKT10279	JN09023		AP Clearing Input 11/15/24			-3,850.00	770,339.31
11/21/2024	GLPKT10327	JN09043		Payroll Clearing Entries 11/22/24 Payroll			-6,003.71	764,335.60
11/21/2024	GLPKT10328	JN09044		AP Clearing Input 11/21/24 Payables			-2,154.28	762,181.32
Activity for November, 2024:							-32,008.33	
12/04/2024	GLPKT10389	JN09056		Payroll Clearing Input 12/06/2024 payroll			-5,421.20	756,760.12
12/13/2024	GLPKT10463	JN09080		AP Clearing Input 12/13/24 Payables			-859.50	755,900.62
12/13/2024	GLPKT10485	JN09087		AP Clearing Input 12/13/24 Payroll			-1,700.00	754,200.62
12/19/2024	GLPKT10495	JN09089		CRA FY 2425 Tax Increment Deposit			913,812.52	1,668,013.14
12/19/2024	GLPKT10604	JN09138		Payroll Clearing Input 12/20/24 Payroll			-6,049.34	1,661,963.80
12/31/2024	GLPKT10702	JN09170		CRA Interest 12/2024			2,797.78	1,664,761.58
Activity for December, 2024:							902,580.26	
01/02/2025	GLPKT10528	JN09095		Payroll Clearing Input 01/03/2025 Payroll			-5,420.95	1,659,340.63
01/09/2025	GLPKT10597	JN09131		AP Clearing Input 01/09/2025 Payables			-1,800.00	1,657,540.63
01/16/2025	GLPKT10636	JN09144		AP Clearing Input 01/15/2025 payables			-5,689.25	1,651,851.38
01/16/2025	GLPKT10643	JN09149		Payroll Clearing Input 01/17/2024 Payroll			-6,049.45	1,645,801.93
01/30/2025	GLPKT10737	JN09174		Payroll Clearing Input 01/31/2025 Payroll			-5,420.90	1,640,381.03
01/31/2025	GLPKT10734	JN09171		Walton County CRA Payment			598,132.00	2,238,513.03
01/31/2025	BRPKT02145	INT0000056		Interest 01/25			4,399.22	2,242,912.25
Activity for January, 2025:							578,150.67	
02/07/2025	GLPKT10774	JN09189		AP Clearing Input 02/07/2025 Payables			-6,357.13	2,236,555.12
02/13/2025	GLPKT10798	JN09196		Payroll Clearing Input 02/14/2025 Payroll			-5,421.20	2,231,133.92
02/21/2025	GLPKT10916	JN09247		AP Clearing Input 02/21/25 Payables			-2,894.75	2,228,239.17
02/21/2025	GLPKT10971	JN09277		AP Clearing Input 02/21/25 Payables			-10,000.00	2,218,239.17
02/26/2025	GLPKT10958	JN09272		Payroll Clearing Input 02/28/25 Payroll			-6,049.40	2,212,189.77
02/27/2025	CLPKT02035	DEP0011101		CLPKT02035 BG:Cash & Checks			59,580.00	2,271,769.77
02/28/2025	BRPKT02217	INT0000122		Interest 02/25			5,309.35	2,277,079.12
Activity for February, 2025:							34,166.87	
03/11/2025	GLPKT11075	JN09301		AP Clearing Input 03/10/2025 Payables			-15,474.60	2,261,604.52
03/12/2025	GLPKT11112	JN09314		Payroll Clearing Input 03/14/2025			-5,421.20	2,256,183.32
03/18/2025	CLPKT02059	DEP0011264		CLPKT02059 BG:Cash & Checks			97.00	2,256,280.32

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-101-200-0000		Cash - Continued				828,235.46	1,188,496.01	2,016,731.47
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
03/21/2025	GLPKT11184	JN09334		AP Clearing Input 03/21/2025			-6,037.16	2,250,243.16
03/26/2025	GLPKT11225	JN09337		Payroll Clearing Input 03/28/25 Payroll			-6,049.59	2,244,193.57
03/27/2025	GLPKT11226	JN09338		AP Clearing Input 03/27/25 Payable			-5,000.00	2,239,193.57
03/31/2025	BRPKT02259	INT0000163		Interest 03/25			5,947.72	2,245,141.29
Activity for March, 2025:							-31,937.83	
04/07/2025	GLPKT11825	JN09477		AP Clearing Input 04/06/2025 Payables			-28,442.52	2,216,698.77
04/09/2025	GLPKT11342	JN09360		AP Clearing Input 04/09/2025			-22,643.77	2,194,055.00
04/10/2025	GLPKT11356	JN09365		Payroll Clearing Input 04/11/25 Payroll			-5,421.20	2,188,633.80
04/10/2025	GLPKT11827	JN09479		CRA Payment of Case 2022-0000053			-2,500.00	2,186,133.80
04/17/2025	GLPKT11427	JN09381		AP Clearing Input 04/17/25 Payables			-53.58	2,186,080.22
04/24/2025	GLPKT11464	JN09390		Payroll Clearing Input 04/25/25 Payroll			-6,049.34	2,180,030.88
04/30/2025	BRPKT02267	INT0000171		Interest 04/2025			5,602.42	2,185,633.30
Activity for April, 2025:							-59,507.99	
05/01/2025	GLPKT11542	JN09402		AP Clearing Input 05/01/2025			-2,746.54	2,182,886.76
05/05/2025	GLPKT11544	JN09404		AP Clearing Input 05/02/2025 Payables			-9,735.94	2,173,150.82
05/07/2025	GLPKT11562	JN09412		Payroll Clearing Input 05/7/2025 payroll			-5,420.67	2,167,730.15
05/19/2025	GLPKT11652	JN09436		AP Clearing Input 05/16/2025 Payables			-3,974.21	2,163,755.94
05/21/2025	GLPKT11651	JN09434		Payroll Clearing Input 05/23/2025 payroll			-6,049.88	2,157,706.06
05/22/2025	GLPKT11656	JN09439		AP Clearing Input 05/22/2025 Payables			-5,000.00	2,152,706.06
05/29/2025	GLPKT11709	JN09445		AP Clearing Input 05/29/25			-15,000.00	2,137,706.06
05/31/2025	BRPKT02268	INT0000172		Interest 05/2025			5,695.33	2,143,401.39
Activity for May, 2025:							-42,231.91	
06/05/2025	GLPKT11783	JN09461		Payroll Clearing Input 06/06/2025 Payroll			-5,420.72	2,137,980.67
06/12/2025	GLPKT11803	JN09471		AP Clearing Input 06/09/2025 payable			-4,874.00	2,133,106.67
06/12/2025	GLPKT11816	JN09475		AP Clearing Input 06/12/2025			-2,281.43	2,130,825.24
06/18/2025	GLPKT11886	JN09486		Payroll Clearing Input for 06/20/2025 Pa...			-6,049.42	2,124,775.82
06/26/2025	GLPKT11941	JN09496		AP Clearing Input 06/26/2025 Payables			-52,329.98	2,072,445.84
06/30/2025	BRPKT02346	INT0000245		Interest 06/2025			5,408.85	2,077,854.69
Activity for June, 2025:							-65,546.70	
07/02/2025	GLPKT11975	JN09510		Payroll Clearing Input 07/03/2025 Payroll			-5,372.39	2,072,482.30
07/11/2025	GLPKT12117	JN09542		AP Clearing Input 07/11/2025			-2,477.95	2,070,004.35
07/14/2025	GLPKT12127	JN09548		AP Clearing Input 07/14/2025			-117.01	2,069,887.34
07/16/2025	GLPKT12144	JN09553		Payroll Clearing Input 7/18/2025			-6,000.74	2,063,886.60
07/25/2025	GLPKT12206	JN09571		AP Clearing Input 07/25/25 payables			-164.29	2,063,722.31
07/31/2025	GLPKT12248	JN09577		Payroll Clearing Input 08/01/2025			-5,371.87	2,058,350.44
Activity for July, 2025:							-19,504.25	
08/08/2025	GLPKT12300	JN09583		AP Clearing Input 08/08/2025 Payables			-23,618.43	2,034,732.01
08/13/2025	GLPKT12337	JN09592		AP Clearing 08/13/25 Payables			-12,000.00	2,022,732.01

Detail Report

Date Range: 10/01/2024 - 09/30/2025

					Beginning Balance	Total Activity	Ending Balance	
660-101-200-0000					828,235.46	1,188,496.01	2,016,731.47	
Cash - Continued								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
08/14/2025	GLPKT12355	JN09595		Payroll Clearing Input 08/15/25 Payroll			-6,000.54	2,016,731.47
						Activity for August, 2025:	-41,618.97	
660-115-200-0000					1,000.00	-1,000.00	0.00	
CRA Revenue Receivable								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
11/14/2024	GLPKT10339	JN09051		Adkinson Law Firm Trust Reimb			-1,000.00	0.00
						Activity for November, 2024:	-1,000.00	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-207-810-0000		Transfer to AP Clearing				-11,893.45	9,509.45	-2,384.00
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/03/2024	APPKT01370	INV-41110-G5Q5	11673	CRA FIRST INSTALLMENT BILLING 24/25 ...	02446 - FLORIDA MUNICIPAL INSURANCE T...		-5,662.50	-17,555.95
10/03/2024	APPKT01370	OCTOBER 2024	11659	CRA LEASE OCTOBER 2024 SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-18,455.95
10/03/2024	GLPKT10037	JN08949		AP Clearing Input 10/3/24			7,250.00	-11,205.95
10/10/2024	POPKT09823	240010	11714	Residential Site and Building Improvem...	17603 - CREIGHTON ZODROW		-5,000.00	-16,205.95
10/10/2024	GLPKT10069	JN08957		AP Clearing Input 10/10/2024			5,000.00	-11,205.95
10/17/2024	GLPKT10117	JN08968		AP Clearing Input 10/17/24 Payables			6,568.65	-4,637.30
10/28/2024	POPKT09946	240018	11789	invoice difference SEC PBL	17661 - Patricia Douglass		975.00	-3,662.30
10/28/2024	POPKT09946	240018	11789	Residential Site and Building Improvem...	17661 - Patricia Douglass		-5,000.00	-8,662.30
10/28/2024	GLPKT10154	JN08976		AP Clearing Input 10/28/24 Payables			4,025.00	-4,637.30
10/30/2024	POPKT09948	240025	11853	Residential Site and Building Improvem...	17696 - ROBERT MITCHEM		-5,000.00	-9,637.30
10/31/2024	APPKT01387	T&PD 10222024-1025...	11837	FRA 2024 ANNUAL CONFERENCE SEC PBL	17206 - JOSH ERVIN		-627.94	-10,265.24
10/31/2024	POPKT09948	240022	11864	Residential Site and Building Improvem...	17686 - TOM GRAY		-5,000.00	-15,265.24
Activity for October, 2024:							-3,371.79	
11/04/2024	GLPKT10207	JN08993		AP Clearing Input 11/04/24 Payables			15,265.24	0.00
11/07/2024	POPKT10029	250002	11871	invoice difference SEC PBL	17747 - JOY ELIZABETH MOONEY		1,000.00	1,000.00
11/07/2024	POPKT10029	250002	11871	Residential Site and Building Improvem...	17747 - JOY ELIZABETH MOONEY		-3,850.00	-2,850.00
11/13/2024	POPKT10038	00000577	11893	INVOICE DIFFERENCE SEC PBL	00040 - DEFUNIAK HERALD BREEZE		130.50	-2,719.50
11/13/2024	POPKT10038	00000577	11893	PUBLIC WORKSHOPS-CRA FLYERS SEC P...	00040 - DEFUNIAK HERALD BREEZE		-283.50	-3,003.00
11/13/2024	POPKT10038	140659164	11933	ANNUAL SPECIAL DISTRICT FEE SEC PBL	16194 - TRUSTMARK NATIONAL BANK		-175.00	-3,178.00
11/13/2024	POPKT10038	CASH-20526	11933	Annual FRA Membership SEC PBL	16194 - TRUSTMARK NATIONAL BANK		-870.00	-4,048.00
11/14/2024	POPKT10081	250003	11873	approved Residential Site and Building ...	17754 - Laura Roeser		-5,000.00	-9,048.00
11/14/2024	POPKT10081	250003	11873	invoice difference SEC PBL	17754 - Laura Roeser		1,150.00	-7,898.00
11/14/2024	APPKT01395	NOVEMBER 2024	11884	NOVEMBER 2024 CRA RENT SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-8,798.00
11/15/2024	GLPKT10279	JN09023		AP Clearing Input 11/15/24			3,850.00	-4,948.00
11/15/2024	APPKT01395	November 2024	11896	November 2024 light bill SEC PBL	00059 - FPL NORTHWEST FL		-56.28	-5,004.28
11/21/2024	GLPKT10328	JN09044		AP Clearing Input 11/21/24 Payables			2,154.28	-2,850.00
Activity for November, 2024:							12,415.24	
12/10/2024	POPKT10269	240023	12037	Residential Site and Building Improvem...	17687 - CONNIE STRICKLAND		-1,700.00	-4,550.00
12/13/2024	APPKT01424	21295	12079	CRA HOTEL STAY 2024 FRA CONFERENCE..	16194 - TRUSTMARK NATIONAL BANK		-859.50	-5,409.50
12/13/2024	GLPKT10463	JN09080		AP Clearing Input 12/13/24 Payables			859.50	-4,550.00
12/13/2024	GLPKT10485	JN09087		AP Clearing Input 12/13/24 Payroll			1,700.00	-2,850.00
Activity for December, 2024:							0.00	
01/06/2025	APPKT01448	DECEMBER 2024 1	12158	DECEMBER 2024 SEC PBL	00059 - FPL NORTHWEST FL		-26.75	-2,876.75
01/09/2025	APPKT01450	DECEMBER 2024	12088	DECEMBER CRA RENT SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-3,776.75
01/09/2025	APPKT01450	JANUARY 2025	12088	CRA RENT JANUARY SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-4,676.75
01/09/2025	GLPKT10597	JN09131		AP Clearing Input 01/09/2025 Payables			1,800.00	-2,876.75
01/13/2025	APPKT01448	INV-41447-S6V9	12154	SECOND INSTALLMENT BILLING 24/25 S...	02446 - FLORIDA MUNICIPAL INSURANCE T...		-5,662.50	-8,539.25
01/16/2025	GLPKT10636	JN09144		AP Clearing Input 01/15/2025 payables			5,689.25	-2,850.00
01/28/2025	POPKT10472	0033338	12314	string Lighting CRA SEC PBL	17291 - NU TSAI CAPITAL, LLC		-1,662.94	-4,512.94

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-207-810-0000						-11,893.45	9,509.45	-2,384.00
Transfer to AP Clearing - Continued								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
01/28/2025	POPKT10472	0033338	12314	Invoice Difference SEC PBL	17291 - NU TSAI CAPITAL, LLC		-56.89	-4,569.83
Activity for January, 2025:							-1,719.83	
02/05/2025	POPKT10472	446428	12275	DOWNTOWN PARKING STUDY SEC PBL	17723 - Fishbeck		-4,637.30	-9,207.13
02/07/2025	GLPKT10774	JN09189		AP Clearing Input 02/07/2025 Payables			6,357.13	-2,850.00
02/09/2025	POPKT10607	8068Z	12388	RFQ legal advertisement CRA SEC PBL	00040 - DEFUNIAK HERALD BREEZE		-114.75	-2,964.75
02/09/2025	APPKT01475	FEBRUARY 2025	12373	FEBRUARY 2025 CRA RENT PAYMENT SE...	17263 - Baldwin Avenue, LLC		-900.00	-3,864.75
02/18/2025	POPKT10607	1484	12422	additional lighting components CRA SEC...	17630 - Northwest Florida Fence		-1,880.00	-5,744.75
02/21/2025	POPKT10724	240028	12363	approved Commercial Site and Building ...	17722 - CAFE NOLA/ VISIONARY DESTIN		-5,000.00	-10,744.75
02/21/2025	POPKT10724	250008	12364	RESIDENTAL GRANT SEC PBL	17823 - DARIN KIMBERL		-5,000.00	-15,744.75
02/21/2025	GLPKT10916	JN09247		AP Clearing Input 02/21/25 Payables			2,894.75	-12,850.00
02/21/2025	GLPKT10971	JN09277		AP Clearing Input 02/21/25 Payables			10,000.00	-2,850.00
Activity for February, 2025:							1,719.83	
03/03/2025	POPKT10771	448450	12510	DOWNTOWN PARKING STUDY SEC PBL	17723 - Fishbeck		-9,274.60	-12,124.60
03/04/2025	POPKT10771	250007	12520	invoice difference SEC PBL	17840 - JON D MILLER		750.00	-11,374.60
03/04/2025	POPKT10771	250007	12520	Residential Site and Building Improvem...	17840 - JON D MILLER		-3,500.00	-14,874.60
03/05/2025	APPKT01499	MARCH 2025	12486	CRA MARCH LEASE PAYMENT SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-15,774.60
03/06/2025	POPKT10771	240029	12517	Residential Development Incentive Gran...	16560 - JACOB LOCKE CONSTRUCTION INC		-2,500.00	-18,274.60
03/06/2025	APPKT01499	154409	12548	fra board training cra SEC PBL	16194 - TRUSTMARK NATIONAL BANK		-50.00	-18,324.60
03/11/2025	GLPKT11075	JN09301		AP Clearing Input 03/10/2025 Payables			15,474.60	-2,850.00
03/13/2025	POPKT10861	00000879	12582	design standards kickoff public worksho...	00040 - DEFUNIAK HERALD BREEZE		-306.00	-3,156.00
03/20/2025	APPKT01508	0046566-in	12614	CRA TRANSFORMER SEC PBL	17291 - NU TSAI CAPITAL, LLC		-68.66	-3,224.66
03/20/2025	APPKT01508	INV-42556-H3P3	12592	THIRD INSTALLMENT BILLING 24/25 SEC...	02446 - FLORIDA MUNICIPAL INSURANCE T...		-5,662.50	-8,887.16
03/21/2025	GLPKT11184	JN09334		AP Clearing Input 03/21/2025			6,037.16	-2,850.00
03/26/2025	POPKT10940	250011	12636	Residential Site and Building Improvem...	17846 - RALPH EDWARDS		-5,000.00	-7,850.00
03/27/2025	GLPKT11226	JN09338		AP Clearing Input 03/27/25 Payable			5,000.00	-2,850.00
03/31/2025	APPKT01524	516095	12655	CRA RECORDING FEE SEC PBL	00037 - CLERK OF CIRCUIT COURT		-10.00	-2,860.00
03/31/2025	POPKT10956	1-253304	12683	Historic Design Standards agreement S...	17798 - JOHNSON, MIRMIRAN & THOMPS...		-10,983.27	-13,843.27
03/31/2025	POPKT10956	449846	12670	DOWNTOWN PARKING STUDY SEC PBL	17723 - Fishbeck		-11,593.25	-25,436.52
Activity for March, 2025:							-22,586.52	
04/01/2025	APPKT01524	APRIL 2025	12645	APRIL 2025 CRA LEASE PAYMENT SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-26,336.52
04/01/2025	APPKT01524	POL0956637-01	12638	04/01/2025RENEWAL OF PUBLIC OFFIC...	09989 - ACENTRIA INSURANCE		-4,956.00	-31,292.52
04/07/2025	GLPKT11825	JN09477		AP Clearing Input 04/06/2025 Payables			28,442.52	-2,850.00
04/09/2025	APPKT01528	296474873	12732	ZOOM SUBSCRIPTION CRA SEC PBL	16194 - TRUSTMARK NATIONAL BANK		-283.89	-3,133.89
04/09/2025	APPKT01528	3038972974	12732	CRA- ADOBE SUBSCRIPTION SEC PBL	16194 - TRUSTMARK NATIONAL BANK		-659.88	-3,793.77
04/09/2025	POPKT11049	250010	12730) Commercial Site and Building Improve...	17842 - BIG LOVE RESTAURANT		-15,000.00	-18,793.77
04/09/2025	POPKT11049	250014	12731	invoice difference SEC PBL	17863 - BROADWAY HOME SERVICES, LLC		200.00	-18,593.77
04/09/2025	POPKT11049	250014	12731	approved Income-Based Roof Improve...	17863 - BROADWAY HOME SERVICES, LLC		-6,900.00	-25,493.77
04/09/2025	GLPKT11342	JN09360		AP Clearing Input 04/09/2025			22,643.77	-2,850.00
04/14/2025	APPKT01533	March 2025 24000-01...	12809	MARCH UTILITIES 24000-01661 SEC PBL	00059 - FPL NORTHWEST FL		-53.58	-2,903.58
04/17/2025	GLPKT11427	JN09381		AP Clearing Input 04/17/25 Payables			53.58	-2,850.00
04/29/2025	POPKT11161	1M36-LD1F-1VLK	12851	2 BLACK INK CARTRIDGES SEC PBL	09249 - AMAZON.COM		-74.11	-2,924.11

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-207-810-0000						-11,893.45	9,509.45	-2,384.00
Transfer to AP Clearing - Continued								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
04/29/2025	POPKT11161	22445311	12872	VETERANS MEMORIAL PROJECT SEC PBL	04901 - DEWBERRY ENGINEERS, INC		-5,000.00	-7,924.11
04/29/2025	POPKT11161	2-256049	12886	Historic Design Standards agreement S...	17798 - JOHNSON, MIRMIRAN & THOMPS...		-2,005.08	-9,929.19
04/29/2025	POPKT11161	250016	12934	invoice difference SEC PBL	17899 - BRIAN TOOLE		650.00	-9,279.19
04/29/2025	POPKT11161	250016	12934	Residential Site and Building Improvem...	17899 - BRIAN TOOLE		-2,250.00	-11,529.19
04/29/2025	APPKT01545	519022	12868	CRA RECORDING FEE SEC PBL	00037 - CLERK OF CIRCUIT COURT		-18.50	-11,547.69
04/29/2025	APPKT01545	MAY 2025	12860	CRA MAY RENT PAYMENT SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-12,447.69
Activity for April, 2025:							12,988.83	
05/01/2025	POPKT11200	250005	12848	Residential Site and Building Improvem...	17838 - TRAVIS BLANTON		-2,873.00	-15,320.69
05/01/2025	POPKT11200	250005	12848	invoice difference SEC PBL	17838 - TRAVIS BLANTON		126.46	-15,194.23
05/01/2025	POPKT11161	01445	12908	flyers for the Veterans Memorial works...	02491 - SMITH'S SIGNS & PRINTING		-28.00	-15,222.23
05/01/2025	POPKT11161	8241Z	12871	RFP 25-01-CRA LEGAL ADVERTISEMENT ...	00040 - DEFUNIAK HERALD BREEZE		-110.25	-15,332.48
05/01/2025	GLPKT11542	JN09402		AP Clearing Input 05/01/2025			2,746.54	-12,585.94
05/05/2025	GLPKT11544	JN09404		AP Clearing Input 05/02/2025 Payables			9,735.94	-2,850.00
05/14/2025	APPKT01555	APRIL 2025	12970	APRIL 2025UTILITES SEC PBL	00059 - FPL NORTHWEST FL		-26.71	-2,876.71
05/14/2025	POPKT11284	00000945	12954	Public workshop advertising SEC PBL	00040 - DEFUNIAK HERALD BREEZE		-306.00	-3,182.71
05/14/2025	POPKT11284	00000945-1	12954	roofing improvement grant advertising ...	00040 - DEFUNIAK HERALD BREEZE		-234.00	-3,416.71
05/15/2025	APPKT01555	00001087-3	12954	APRIL 2 ESTATE PLANNING SEC PBL	00040 - DEFUNIAK HERALD BREEZE		-199.00	-3,615.71
05/15/2025	POPKT11284	000000450473	12965	DOWNTOWN PARKING STUDY SEC PBL	17723 - Fishbeck		-2,318.65	-5,934.36
05/15/2025	POPKT11284	0051718-IN	12989	4) strands of string lights SEC PBL	17291 - NU TSAI CAPITAL, LLC		-731.44	-6,665.80
05/15/2025	POPKT11284	0051718-IN	12989	INVOICE DIFFERNCE SEC PBL	17291 - NU TSAI CAPITAL, LLC		-38.41	-6,704.21
05/15/2025	POPKT11284	01484	13002	8 double-sided 18"x24" corrugated signs...	02491 - SMITH'S SIGNS & PRINTING		-120.00	-6,824.21
05/15/2025	APPKT01572	250016-R	12934	Residential Site and Building Improvem...	17899 - BRIAN TOOLE		2,250.00	-4,574.21
05/15/2025	APPKT01572	250016-R	12934	invoice difference SEC PBL	17899 - BRIAN TOOLE		-650.00	-5,224.21
05/19/2025	GLPKT11652	JN09436		AP Clearing Input 05/16/2025 Payables			3,974.21	-1,250.00
05/22/2025	POPKT11350	00894	13035	Commercial Site and Building Improvem...	17839 - ZIIC PROPERTIES, LLC		-5,000.00	-6,250.00
05/22/2025	GLPKT11656	JN09439		AP Clearing Input 05/22/2025 Payables			5,000.00	-1,250.00
05/29/2025	POPKT11370	240016	13072	Residential Site and Building Improvem...	17638 - KIM JONES		-5,000.00	-6,250.00
05/29/2025	POPKT11370	240027	13100	approved Residential Site and Building ...	17712 - Wendy- Anne Harmer		-5,000.00	-11,250.00
05/29/2025	POPKT11370	250019	13088	Residential Site and Building Improvem...	17914 - SCOTT THOMLEY		-5,000.00	-16,250.00
05/29/2025	GLPKT11709	JN09445		AP Clearing Input 05/29/25			15,000.00	-1,250.00
Activity for May, 2025:							11,197.69	
06/09/2025	POPKT11489	250023	13156	invoice difference SEC PBL	17931 - SANDRA MILLER		126.00	-1,124.00
06/09/2025	POPKT11489	250023	13156	Residential Site and Building Improvem...	17931 - SANDRA MILLER		-5,000.00	-6,124.00
06/10/2025	POPKT11485	00001183-1	13173	Veterans Memorial Public Workshop SEC...	00040 - DEFUNIAK HERALD BREEZE		-583.50	-6,707.50
06/10/2025	POPKT11485	00001183-2	13173	Insuring and Protecting Assets Public W...	00040 - DEFUNIAK HERALD BREEZE		-389.00	-7,096.50
06/10/2025	POPKT11485	00001183-3	13173	workshop advertisement -CRA SEC PBL	00040 - DEFUNIAK HERALD BREEZE		-324.00	-7,420.50
06/10/2025	APPKT01580	JUNE 2025	13166	CRA LEASE JUNE 2025 SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-8,320.50
06/11/2025	APPKT01580	MAY 2025	13184	MAY 2025 SEC PBL	00059 - FPL NORTHWEST FL		-26.79	-8,347.29
06/12/2025	GLPKT11803	JN09471		AP Clearing Input 06/09/2025 payable			4,874.00	-3,473.29
06/12/2025	POPKT11485	44212540	13214	easels for our public workshop SEC PBL	03195 - STAPLES INC		-58.14	-3,531.43
06/12/2025	GLPKT11816	JN09475		AP Clearing Input 06/12/2025			2,281.43	-1,250.00

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
<u>660-207-810-0000</u>						-11,893.45	9,509.45	-2,384.00
Transfer to AP Clearing - Continued								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
06/24/2025	POPKT11578	250009	13279	Residential Site and Building Improvem...	17841 - LYNDIA MCNEW		-5,000.00	-6,250.00
06/24/2025	POPKT11578	444760	13259	DOWNTOWN PARKING STUDY SEC PBL	17723 - Fishbeck		-11,593.25	-17,843.25
06/25/2025	APPKT01594	INV-42950-N5F4	13260	CRA FOURTH INSTALLMENT 24/25 SEC ...	02446 - FLORIDA MUNICIPAL INSURANCE T...		-5,662.50	-23,505.75
06/26/2025	POPKT11578	000000451986	13259	DOWNTOWN PARKING STUDY SEC PBL	17723 - Fishbeck		-2,318.65	-25,824.40
06/26/2025	POPKT11578	22451267	13252	VETERANS MEMORIAL PROJECT SEC PBL	04901 - DEWBERRY ENGINEERS, INC		-10,500.00	-36,324.40
06/26/2025	POPKT11578	3-260545	13274	Historic Design Standards agreement S...	17798 - JOHNSON, MIRMIRAN & THOMPS...		-17,255.58	-53,579.98
06/26/2025	GLPKT11941	JN09496		AP Clearing Input 06/26/2025 Payables			52,329.98	-1,250.00
Activity for June, 2025:							0.00	
07/02/2025	POPKT11650	00001235	13332	HISTORIC DISTRICTS PUBLIC WORKGSH...	00040 - DEFUNIAK HERALD BREEZE		-432.00	-1,682.00
07/09/2025	APPKT01601	287294528589X07032...	13318	287294528589X07032025 SEC PBL	16237 - AT&T MOBILITY		-1,119.16	-2,801.16
07/09/2025	APPKT01601	JULY 2025	13321	CRA LEASE JULY 2025 SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-3,701.16
07/10/2025	APPKT01601	JUNE 2025	13346	MAY 17-JUNE17 SEC PBL	00059 - FPL NORTHWEST FL		-26.79	-3,727.95
07/11/2025	GLPKT12117	JN09542		AP Clearing Input 07/11/2025			2,477.95	-1,250.00
07/14/2025	APPKT01603	604431	13397	EASEL-CRA SEC PBL	16194 - TRUSTMARK NATIONAL BANK		-117.01	-1,367.01
07/14/2025	GLPKT12127	JN09548		AP Clearing Input 07/14/2025			117.01	-1,250.00
07/21/2025	POPKT11738	1JKX-CMFX-7GNX	13430	INVOICE DIFFERENCE SEC PBL	09249 - AMAZON.COM		-5.99	-1,255.99
07/21/2025	POPKT11738	1JKX-CMFX-7GNX	13430	disk drive for my laptop- CRA SEC PBL	09249 - AMAZON.COM		-119.98	-1,375.97
07/21/2025	POPKT11738	1NV4-VTRP-MLDL	13430	2-Pack Screen Protectors SEC PBL	09249 - AMAZON.COM		-44.94	-1,420.91
07/21/2025	POPKT11738	1NV4-VTRP-MLDL	13430	INVOICE DIFFERENCE SEC PBL	09249 - AMAZON.COM		6.62	-1,414.29
07/25/2025	GLPKT12206	JN09571		AP Clearing Input 07/25/25 payables			164.29	-1,250.00
Activity for July, 2025:							0.00	
08/04/2025	APPKT01628	287294528589X08032...	13532	287294528589X08032025 SEC PBL	16237 - AT&T MOBILITY		-72.28	-1,322.28
08/05/2025	APPKT01628	AUG 2025	13563	JUNE 17 - JULY 17 2025 SEC PBL	00059 - FPL NORTHWEST FL		-26.79	-1,349.07
08/05/2025	APPKT01628	AUG 2025 CRA LEASE	13534	AUG 2025 CRA LEASE SEC PBL	17263 - Baldwin Avenue, LLC		-900.00	-2,249.07
08/07/2025	POPKT11918	250028	13518	INVOICE DIFFERENCE SEC PBL	17982 - JOHN TODD		12.00	-2,237.07
08/07/2025	POPKT11918	250028	13518	Residential Site and Building Improvem...	17982 - JOHN TODD		-1,146.00	-3,383.07
08/07/2025	APPKT01628	66503	13593	CRA- AUDITOR REPORT YR ENDED SEP 3...	17657 - PURVIS, GRAY & COMPANY, LLP		-6,750.00	-10,133.07
08/07/2025	POPKT11868	143W-QWXN-NXQJ	13527	INVOICE DIFFERENCE SEC PBL	09249 - AMAZON.COM		250.00	-9,883.07
08/07/2025	POPKT11868	143W-QWXN-NXQJ	13527	apple ipad keyboards- cra SEC PBL	09249 - AMAZON.COM		-1,245.00	-11,128.07
08/07/2025	POPKT11868	22455785	13553	VETERANS MEMORIAL PROJECT SEC PBL	04901 - DEWBERRY ENGINEERS, INC		-5,250.00	-16,378.07
08/07/2025	POPKT11868	24-0251	13602	design drawings -CRA SEC PBL	17978 - TOUCHSTONE ARCHITRCTURE & C...		-5,000.00	-21,378.07
08/07/2025	POPKT11868	4-264577	13576	Historic Design Standards agreement S...	17798 - JOHNSON, MIRMIRAN & THOMPS...		-4,624.36	-26,002.43
08/08/2025	GLPKT12300	JN09583		AP Clearing Input 08/08/2025 Payables			23,618.43	-2,384.00
08/12/2025	POPKT11948	INV-67211	13620	RENEWAL FLOCK SAFETY CAMERA SEC P...	17323 - FLOCK GROUP, INC		-12,000.00	-14,384.00
08/13/2025	GLPKT12337	JN09592		AP Clearing 08/13/25 Payables			12,000.00	-2,384.00
Activity for August, 2025:							-1,134.00	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account		Name				Beginning Balance	Total Activity	Ending Balance
660-207-813-0000		Due to Payroll Clearing				-0.01	0.50	0.49
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/08/2024	PYPKT01085	PYPKT01085 - Payroll ...		Packet PYPKT01085: Payroll 10/11/2024...			-5,263.66	-5,263.67
10/09/2024	GLPKT10062	JN08954		Payroll Clearing Input 10/9/24			5,263.66	-0.01
10/23/2024	GLPKT10152	JN08974		Payroll Clearing Input 10/25/24 Payroll			5,938.50	5,938.49
10/25/2024	PYPKT01095	PYPKT01095 - PAYROL...		Packet PYPKT01095: PAYROLL 10/25/20...			-5,938.50	-0.01
Activity for October, 2024:							0.00	
11/06/2024	GLPKT10217	JN08996		Payroll Clearing Input 11/8/24 payroll			5,735.10	5,735.09
11/08/2024	PYPKT01102	PYPKT01102 - 11/08/2...		Packet PYPKT01102: 11/08/2024 PAYRO...			-5,735.10	-0.01
11/21/2024	GLPKT10327	JN09043		Payroll Clearing Entries 11/22/24 Payroll			6,003.71	6,003.70
11/22/2024	PYPKT01105	PYPKT01105 - Payroll ...		Packet PYPKT01105: Payroll 11/22/2024...			-6,003.21	0.49
Activity for November, 2024:							0.50	
12/04/2024	GLPKT10389	JN09056		Payroll Clearing Input 12/06/2024 payroll			5,421.20	5,421.69
12/06/2024	PYPKT01113	PYPKT01113 - Payroll ...		Packet PYPKT01113: Payroll 12/06/2024 ..			-5,421.20	0.49
12/19/2024	GLPKT10604	JN09138		Payroll Clearing Input 12/20/24 Payroll			6,049.34	6,049.83
12/20/2024	PYPKT01118	PYPKT01118 - Payroll ...		Packet PYPKT01118: Payroll 12/20/2024...			-6,049.34	0.49
Activity for December, 2024:							0.00	
01/02/2025	GLPKT10528	JN09095		Payroll Clearing Input 01/03/2025 Payroll			5,420.95	5,421.44
01/03/2025	PYPKT01125	PYPKT01125 - 01/03/2...		Packet PYPKT01125: 01/03/2024 payroll...			-5,420.95	0.49
01/16/2025	GLPKT10643	JN09149		Payroll Clearing Input 01/17/2024 Payroll			6,049.45	6,049.94
01/17/2025	PYPKT01139	PYPKT01139 - 01/17/2...		Packet PYPKT01139: 01/17/2025 payroll...			-6,049.45	0.49
01/28/2025	PYPKT01153	PYPKT01153 - 01/31/2...		Packet PYPKT01153: 01/31/2025 payroll...			-5,420.90	-5,420.41
01/30/2025	GLPKT10737	JN09174		Payroll Clearing Input 01/31/2025 Payroll			5,420.90	0.49
Activity for January, 2025:							0.00	
02/13/2025	GLPKT10798	JN09196		Payroll Clearing Input 02/14/2025 Payroll			5,421.20	5,421.69
02/14/2025	PYPKT01181	PYPKT01181 - 02/14/2...		Packet PYPKT01181: 02/14/2025 Payroll...			-5,421.20	0.49
02/26/2025	GLPKT10958	JN09272		Payroll Clearing Input 02/28/25 Payroll			6,049.40	6,049.89
02/28/2025	PYPKT01273	PYPKT01273 - 02/28/2...		Packet PYPKT01273: 02/28/2025 PAYRO...			-6,049.40	0.49
Activity for February, 2025:							0.00	
03/12/2025	GLPKT11112	JN09314		Payroll Clearing Input 03/14/2025			5,421.20	5,421.69
03/14/2025	PYPKT01288	PYPKT01288 - 03/14/2...		Packet PYPKT01288: 03/14/2025 payroll...			-5,421.20	0.49
03/26/2025	GLPKT11225	JN09337		Payroll Clearing Input 03/28/25 Payroll			6,049.59	6,050.08
03/28/2025	PYPKT01291	PYPKT01291 - 03/28/2...		Packet PYPKT01291: 03/28/2025 Payroll...			-6,049.59	0.49
Activity for March, 2025:							0.00	
04/10/2025	GLPKT11356	JN09365		Payroll Clearing Input 04/11/25 Payroll			5,421.20	5,421.69
04/11/2025	PYPKT01294	PYPKT01294 - 04/11/2...		Packet PYPKT01294: 04/11/2025 Payroll...			-5,421.20	0.49
04/24/2025	GLPKT11464	JN09390		Payroll Clearing Input 04/25/25 Payroll			6,049.34	6,049.83
04/25/2025	PYPKT01303	PYPKT01303 - 04/25/2...		Packet PYPKT01303: 04/25/2025 payroll...			-6,049.34	0.49
Activity for April, 2025:							0.00	
05/07/2025	GLPKT11562	JN09412		Payroll Clearing Input 05/7/2025 payroll			5,420.67	5,421.16
05/09/2025	PYPKT01319	PYPKT01319 - 05/09/2...		Packet PYPKT01319: 05/09/2025 PAYRO...			-5,420.67	0.49

Detail Report

Date Range: 10/01/2024 - 09/30/2025

Account						Beginning Balance	Total Activity	Ending Balance
660-207-813-0000						-0.01	0.50	0.49
Due to Payroll Clearing - Continued								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
05/21/2025	GLPKT11651	JN09434		Payroll Clearing Input 05/23/2025 payroll			6,049.88	6,050.37
05/23/2025	PYPKT01326	PYPKT01326 - 05/23/2...		Packet PYPKT01326: 05/23/2025 payroll...			-6,049.88	0.49
Activity for May, 2025:							0.00	
06/05/2025	GLPKT11783	JN09461		Payroll Clearing Input 06/06/2025 Payroll			5,420.72	5,421.21
06/06/2025	PYPKT01340	PYPKT01340 - PAYROL...		Packet PYPKT01340: PAYROLL 06/06/20...			-5,420.72	0.49
06/18/2025	GLPKT11886	JN09486		Payroll Clearing Input for 06/20/2025 Pa...			6,049.42	6,049.91
06/20/2025	PYPKT01345	PYPKT01345 - 06/20/2...		Packet PYPKT01345: 06/20/2025 Payroll...			-6,049.42	0.49
Activity for June, 2025:							0.00	
07/02/2025	GLPKT11975	JN09510		Payroll Clearing Input 07/03/2025 Payroll			5,372.39	5,372.88
07/03/2025	PYPKT01349	PYPKT01349 - 07/03/2...		Packet PYPKT01349: 07/03/2025 payroll...			-5,372.39	0.49
07/16/2025	GLPKT12144	JN09553		Payroll Clearing Input 7/18/2025			6,000.74	6,001.23
07/18/2025	PYPKT01354	PYPKT01354 - 07/18/2...		Packet PYPKT01354: 07/18/2025 payroll...			-6,000.74	0.49
07/31/2025	GLPKT12248	JN09577		Payroll Clearing Input 08/01/2025			5,371.87	5,372.36
Activity for July, 2025:							5,371.87	
08/01/2025	PYPKT01359	PYPKT01359 - 08/01/2...		Packet PYPKT01359: 08/01/2025 payroll ..			-5,371.87	0.49
08/14/2025	GLPKT12355	JN09595		Payroll Clearing Input 08/15/25 Payroll			6,000.54	6,001.03
08/15/2025	PYPKT01363	PYPKT01363 - 08/15/2...		Packet PYPKT01363: 08/15/2025 Payroll...			-6,000.54	0.49
Activity for August, 2025:							-5,371.87	
660-216-000-0000						-3,158.20	3,158.20	0.00
CRA Accrued Wages								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/11/2024	GLPKT10895	JN09244		FY 2324 Accrued Salaries and Benefits			169.94	-2,988.26
10/11/2024	GLPKT10895	JN09244		FY 2324 Accrued Salaries and Benefits			2,221.42	-766.84
10/11/2024	GLPKT10895	JN09244		FY 2324 Accrued Salaries and Benefits			766.84	0.00
Activity for October, 2024:							3,158.20	
660-311-100-0000						0.00	-598,132.00	-598,132.00
CRA - County Ad Valorem								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
01/31/2025	GLPKT10734	JN09171		Walton County CRA Payment			-598,132.00	-598,132.00
Activity for January, 2025:							-598,132.00	
660-311-200-0000						0.00	-913,812.52	-913,812.52
CRA-City Ad Valorem Taxes								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
12/19/2024	GLPKT10495	JN09089		CRA FY 2425 Tax Increment Deposit			-913,812.52	-913,812.52
Activity for December, 2024:							-913,812.52	

Detail Report

Date Range: 10/01/2024 - 09/30/2025

						Beginning Balance	Total Activity	Ending Balance
660-361-100-0000						0.00	-35,160.67	-35,160.67
CRA Interest								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
12/31/2024	GLPKT10702	JN09170		CRA Interest 12/2024			-2,797.78	-2,797.78
						Activity for December, 2024:	-2,797.78	
01/31/2025	BRPKT02145	Redevelopment Trust ...		Interest 01/25			-4,399.22	-7,197.00
						Activity for January, 2025:	-4,399.22	
02/28/2025	BRPKT02217	Redevelopment Trust ...		Interest 02/25			-5,309.35	-12,506.35
						Activity for February, 2025:	-5,309.35	
03/31/2025	BRPKT02259	Redevelopment Trust ...		Interest 03/25			-5,947.72	-18,454.07
						Activity for March, 2025:	-5,947.72	
04/30/2025	BRPKT02267	Redevelopment Trust ...		Interest 04/2025			-5,602.42	-24,056.49
						Activity for April, 2025:	-5,602.42	
05/31/2025	BRPKT02268	Redevelopment Trust ...		Interest 05/2025			-5,695.33	-29,751.82
						Activity for May, 2025:	-5,695.33	
06/30/2025	BRPKT02346	Redevelopment Trust ...		Interest 06/2025			-5,408.85	-35,160.67
						Activity for June, 2025:	-5,408.85	
660-364-100-0000						0.00	-59,580.00	-59,580.00
Sale of Land								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
02/27/2025	CLPKT02035	R00219083		WC/CRA - 111 & 129 S 6TH ST Land Sale...			-59,580.00	-59,580.00
						Activity for February, 2025:	-59,580.00	
660-365-100-0000						0.00	-97.00	-97.00
CRA- Ins Reimbursement								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
03/18/2025	CLPKT02059	R00222443		FMIT/FA 2324 WC REFUND CRA Insuran...			-97.00	-97.00
						Activity for March, 2025:	-97.00	
Total Fund: 660 - Community Redevelopment Area:						Beginning Balance: 814,183.80	Total Activity: 0.00	Ending Balance: 814,183.80
Grand Totals:						Beginning Balance: 814,183.80	Total Activity: 0.00	Ending Balance: 814,183.80

Fund Summary

Fund	Beginning Balance	Total Activity	Ending Balance
660 - Community Redevelopment Area	814,183.80	0.00	814,183.80
Grand Total:	814,183.80	0.00	814,183.80



DeFuniak Springs, FL

Budget Report Account Summary

For Fiscal: 2024-2025 Period Ending: 08/31/2025

			Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 660 - Community Redevelopment Area									
Revenue									
660-311-100-0000	CRA - County Ad Valorem		598,133.00	598,133.00	0.00	598,132.00	0.00	-1.00	0.00 %
660-311-200-0000	CRA-City Ad Valorem Taxes		913,812.00	913,812.00	0.00	913,812.52	0.00	0.52	100.00 %
660-331-300-0000	CRA - Prior Year Carry Over		400,000.00	814,184.00	0.00	0.00	0.00	-814,184.00	100.00 %
Budget Adjustments									
Number	Date	Description	Adjustment						
BA0000042	08/06/2025	Budget Amendment CRA	-414,184.00						
660-361-100-0000	CRA Interest		0.00	0.00	0.00	35,160.67	0.00	35,160.67	0.00 %
660-364-100-0000	Sale of Land		0.00	59,580.00	0.00	59,580.00	0.00	0.00	0.00 %
Budget Adjustments									
Number	Date	Description	Adjustment						
BA0000032	06/25/2025	CRA Budget Amendment Land Sale	-59,580.00						
660-365-100-0000	CRA- Ins Reimbursement		0.00	0.00	0.00	97.00	0.00	97.00	0.00 %
Revenue Total:			1,911,945.00	2,385,709.00	0.00	1,606,782.19	0.00	-778,926.81	32.65%
Expense									
660-000-515-1200	CRA - Salaries		110,000.00	110,000.00	7,625.62	85,476.59	0.00	24,523.41	22.29 %
660-000-515-2100	CRA - FICA Taxes		11,134.00	11,134.00	628.03	7,030.38	0.00	4,103.62	36.86 %
660-000-515-2200	CRA - Retirement		45,944.00	45,944.00	2,534.76	29,311.30	0.00	16,632.70	36.20 %
660-000-515-2300	CRA - Health Insurance		13,782.00	13,782.00	584.00	6,424.00	0.00	7,358.00	53.39 %
660-000-515-2400	CRA - Worker Compensation		1,500.00	1,500.00	0.00	0.00	0.00	1,500.00	100.00 %
660-000-515-3130	CRA - Other Professional Services		150,000.00	150,000.00	26,874.36	114,353.99	3,659.00	31,987.01	21.32 %
660-000-515-3200	CRA - Financial Audit		8,500.00	8,500.00	6,750.00	6,750.00	0.00	1,750.00	20.59 %
660-000-515-4100	CRA - Telephone & Utilities		5,000.00	5,000.00	99.07	1,435.13	0.00	3,564.87	71.30 %
660-000-515-4200	CRA - Fees, Memberships & Subscriptions		3,000.00	3,000.00	0.00	2,038.77	0.00	961.23	32.04 %
660-000-515-4300	CRA - Insurance		30,000.00	30,000.00	0.00	27,606.00	4,956.00	-2,562.00	-8.54 %
660-000-515-4400	CRA - Office Lease		12,000.00	12,000.00	900.00	9,900.00	0.00	2,100.00	17.50 %
660-000-515-4664	CRA - R&M Equipment		5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	100.00 %
660-000-515-4900	CRA - Travel Expense		3,000.00	3,000.00	0.00	1,487.44	0.00	1,512.56	50.42 %
660-000-515-4902	CRA - Marketing		10,000.00	10,000.00	0.00	3,299.50	259.50	6,441.00	64.41 %
660-000-515-5100	CRA - Office Supplies		5,000.00	5,000.00	0.00	74.11	164.98	4,760.91	95.22 %
660-000-515-5200	CRA - Operating Supplies		20,585.00	20,585.00	995.00	1,334.44	57.55	19,193.01	93.24 %
660-000-515-5310	CRA - Streetscape/Alleyway		260,000.00	319,580.00	0.00	4,438.34	129,700.00	185,441.66	58.03 %

Budget Report

For Fiscal: 2024-2025 Period Ending: 08/31/2025

				Original	Current	Period	Fiscal	Encumbrances	Variance	Percent	
				Total Budget	Total Budget	Activity	Activity		Favorable	Remaining	
									(Unfavorable)		
Budget Adjustments											
Number	Date	Description	Adjustment								
BA0000032	06/25/2025	CRA Budget Amendment Land Sale	59,580.00								
660-000-515-5420		CRA - Education & Training	2,500.00	2,500.00	0.00	0.00	0.00	0.00	2,500.00	100.00 %	
660-000-515-5599		CRA - Fines and Abatements	0.00	0.00	0.00	2,500.00	0.00	0.00	-2,500.00	0.00 %	
660-000-515-6610		CRA - Land	325,000.00	250,000.00	0.00	0.00	0.00	0.00	250,000.00	100.00 %	
Budget Adjustments											
Number	Date	Description	Adjustment								
BA0000038	08/05/2025	Budget Amendment CRA	-75,000.00								
660-000-515-6620		CRA- Blighted Parcel Acquisition	450,000.00	350,000.00	0.00	0.00	0.00	0.00	350,000.00	100.00 %	
Budget Adjustments											
Number	Date	Description	Adjustment								
BA0000020	10/16/2024	FY 2425 CRA BA 01	-100,000.00								
660-000-515-6630		CRA - Ampitheater Project	340,000.00	754,184.00	0.00	0.00	180,700.00	573,484.00	76.04 %		
Budget Adjustments											
Number	Date	Description	Adjustment								
BA0000042	08/06/2025	Budget Amendment CRA	414,184.00								
660-000-515-8200		CRA - Incentive Grants	100,000.00	175,000.00	1,134.00	96,429.54	13,642.50	64,927.96	37.10 %		
Budget Adjustments											
Number	Date	Description	Adjustment								
BA0000038	08/05/2025	Budget Amendment CRA	75,000.00								
660-000-515-8210		CRA - Income Based Incentive Grants	0.00	100,000.00	0.00	6,728.50	7,253.00	86,018.50	86.02 %		
Budget Adjustments											
Number	Date	Description	Adjustment								
BA0000020	10/16/2024	FY 2425 CRA BA 01	100,000.00								
Expense Total:				1,911,945.00	2,385,709.00	48,124.84	406,618.03	340,392.53	1,638,698.44	68.69%	
Fund: 660 - Community Redevelopment Area Surplus (Deficit):				0.00	0.00	-48,124.84	1,200,164.16	-340,392.53	859,771.63	0.00%	
Report Surplus (Deficit):				0.00	0.00	-48,124.84	1,200,164.16	-340,392.53	859,771.63	0.00%	

Budget Report

For Fiscal: 2024-2025 Period Ending: 08/31/2025

Group Summary

Account Typ...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance	
						Favorable (Unfavorable)	Percent Remaining
Fund: 660 - Community Redevelopment Area							
Revenue	1,911,945.00	2,385,709.00	0.00	1,606,782.19	0.00	-778,926.81	32.65%
Expense	1,911,945.00	2,385,709.00	48,124.84	406,618.03	340,392.53	1,638,698.44	68.69%
Fund: 660 - Community Redevelopment Area Surplus (Deficit):	0.00	0.00	-48,124.84	1,200,164.16	-340,392.53	859,771.63	0.00%
Report Surplus (Deficit):	0.00	0.00	-48,124.84	1,200,164.16	-340,392.53	859,771.63	0.00%

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
660 - Community Redevelopmen	0.00	0.00	-48,124.84	1,200,164.16	-340,392.53	859,771.63
Report Surplus (Deficit):	0.00	0.00	-48,124.84	1,200,164.16	-340,392.53	859,771.63

FY 2025 Grant Tracking Worksheet



DeFuniak Springs Community Redevelopment Agency

p. (850) 951-3054
 e. CRADirector@DeFuniakSprings.net
 w. www.DeFuniakSprings.net/CRA

Next Application #: 250042

STATEMENT

Date: 8/22/2025

Applicant: All Applicants

Owner:

Parcel:

Property Address:

Mailing Address:

Email:

Aging Summary 8/22/2025

Current: 16,900.00
 31 - 90: 18,753.00
 91 - 180: 21,500.00
 181 -270 : -
 > 270: -

Total Outstanding: \$ 57,153.00 Total Awarded: \$ 144,376.50

Application Date	Application #	Applicant	Grant Type	Approved Date	Approved Amount	PO#	Completion Deadline	Age	Outstanding	Status	Completion Date	Check Number	Check Delivered
10/3/2024	250001	Kobe Reed	Residential Site Cleanup	10/3/2024	n/a	n/a	10/10/2024	-	n/a	Completed	2/5/2025	n/a	n/a
10/11/2024	250002	Joy Mooney	Residential Site and Building Improvement	10/15/2024	\$ 2,850.00	2025-00096	10/15/2025	-	2,850.00	Completed	11/1/2024	11871	11/8/2024
10/21/2024	250003	Laura Roeser	Residential Site and Building Improvement	10/24/2024	\$ 3,850.00	2025-00142	10/24/2025	-	3,850.00	Completed	11/12/2024	11873	11/15/2024
10/29/2024	250004	Xavier Beach	Residential Site Cleanup	11/4/2024	n/a	n/a	11/11/2024	-	n/a	Completed	11/15/2024	n/a	n/a
11/8/2024	250005	Travis Blanton	Residential Site and Building Improvement	11/13/2024	\$ 2,873.00	2025-00893	11/13/2025	-	2,873.00	Completed	4/17/2025	12848	5/1/2025
12/11/2024	250006	ZLIC Properties, LLC	Commercial Site and Building Improvement	12/12/2024	\$ 5,000.00	2025-00894	12/12/2025	-	5,000.00	Completed	5/13/2025	13035	5/23/2025
1/16/2025	250007	Jon Miller	Residential Site and Building Improvement	1/16/2025	\$ 3,500.00	2025-00895	1/16/2026	-	3,500.00	Completed	2/27/2025	12520	3/7/2025
1/29/2025	250008	Darin Kimberl	Residential Site and Building Improvement	1/29/2025	\$ 5,000.00	2025-00791	1/29/2026	-	5,000.00	Completed	2/10/2025	12364	2/21/2025
1/29/2025	250009	Lynda McNew	Residential Site and Building Improvement	1/30/2025	\$ 5,000.00	2025-00896	1/30/2026	-	5,000.00	Completed	6/23/2025	13279	6/27/2025
1/30/2025	250010	Big Love Restaurant Group	Commercial Site and Building Improvement	1/31/2025	\$ 15,000.00	2022-00898	1/31/2026	-	15,000.00	Completed	4/7/2025	12730	4/11/2025
2/6/2025	250011	Ralph Edwards	Residential Site and Building Improvement	2/6/2025	\$ 5,000.00	2025-00965	2/6/2026	-	5,000.00	Completed	3/21/2025	12636	3/27/2025
2/26/2025	250012	Fetter Properties LLC	Residential Site and Building Improvement	2/27/2025	\$ 5,000.00	2025-01017	2/27/2026	176	5,000.00				
2/28/2025	250013	Glen Harrison	Residential Site and Building Improvement	3/4/2025	\$ 5,000.00	2025-01043	3/4/2026	171	5,000.00				
2/12/2025	250014	Carolyn Bryan	Income-Based Roofing Improvement	3/10/2025	\$ 6,700.00	2025-01071	6/8/2025	-	6,700.00	Completed	4/7/2025	12731	4/17/2025
4/1/2025	250015	Sonya Carroll	Residential Site Cleanup	4/2/2025	n/a	n/a	4/9/2025	-	n/a	Completed	6/2/2025	n/a	n/a
4/3/2025	250016	Brian Toole	Residential Site and Building Improvement	4/3/2025	\$ 1,600.00	2025-01324	4/3/2026	-	1,600.00	Completed	4/28/2025	12934	5/23/2025
4/10/2025	250017	Lisa Pickard	Residential Site and Building Improvement	4/10/2025	\$ 5,000.00	2025-01328	4/10/2026	-	5,000.00	Completed	8/11/2025		
4/16/2025	250018	Kathy Douglass	Residential Site and Building Improvement	4/16/2025	\$ 4,842.50	2025-01372	4/16/2026	-	4,842.50	Completed			
4/16/2025	250019	Scott Thomley	Residential Site and Building Improvement	4/17/2025	\$ 5,000.00	2025-01377	4/17/2026	-	5,000.00	Completed	5/23/2025	13088	6/2/2025
4/21/2025	250020	Galloway Wealth	Commercial Site and Building Improvement	4/21/2025	\$ 1,500.00	2025-01415	4/21/2026	123	1,500.00				
4/29/2025	250021	Angus Graham Campbell-Work	Residential Site and Building Improvement	4/29/2025	\$ 5,000.00	2025-01575	4/29/2026	115	5,000.00				
4/30/2025	250022	Michael Hatcher	Residential Site and Building Improvement	4/30/2025	\$ 5,000.00	2025-01482	4/30/2026	114	5,000.00				
5/2/2025	250023	Sandra Miller	Residential Site and Building Improvement	5/2/2025	\$ 4,874.00	2025-01575	5/2/2026	-	4,874.00	Completed	5/30/2025	13156	6/11/2025
5/28/2025	250024	Joy Keegans	Residential Site and Building Improvement	5/29/2025	\$ 1,500.00	2025-01702	5/29/2026	85	1,500.00				
6/4/2025	250025	Shirley Guillory	Residential Site Cleanup	6/4/2025	n/a	n/a	6/11/2025	-	n/a	Completed	7/7/2025	n/a	n/a
6/6/2025	250026	Travis Nelson	Residential Site Cleanup	6/11/2025	n/a	n/a	6/18/2025	72	n/a	Cancelled	n/a	n/a	n/a
6/13/2025	250027	Chad Earley Unlimited	Commercial Site and Building Improvement	6/16/2025	\$ 5,000.00	2025-01843	6/16/2026	67	5,000.00				
6/20/2025	250028	John Todd	Residential Site and Building Improvement	6/23/2025	\$ 1,134.00	2025-01944	6/23/2026	-	1,134.00	Completed	7/29/2025	13518	8/8/2025
7/2/2025	250029	Tom Hecker	Residential Site and Building Improvement	7/2/2025	\$ 5,000.00		7/2/2026	51	5,000.00				
5/15/2025	250030	Fred & Patricia Lee	Income-Based Roofing Improvement	7/8/2025	\$ 7,253.00	2025-01992	10/6/2025	45	7,253.00				
7/15/2025	250031	Karen Tolbert	Residential Site and Building Improvement	7/15/2025	\$ 5,000.00	2025-02009	7/15/2026	-	5,000.00	Completed	8/8/2025		
7/15/2025	250032	Tom Hecker	Residential Site Cleanup	7/15/2025	n/a	n/a	7/22/2025	38	n/a				
7/16/2025	250033	Larae Coats	Residential Site Cleanup	7/15/2025	n/a	n/a	7/22/2025	38	n/a				
7/30/2025	250034	Sam and Terry Alexander	Residential Site and Building Improvement	8/4/2025	\$ 5,000.00	2025-02148	8/4/2026	18	5,000.00				
7/30/2025	250035	June Adair	Residential Site and Building Improvement	8/6/2025	\$ 5,000.00	2025-02175	8/6/2026	-	5,000.00	Completed	8/18/2025		
8/5/2025	250036	Ronda Strickland	Residential Development Incentive	8/7/2025	\$ 2,500.00		8/7/2026	15	2,500.00				
8/13/2025	250037	Sharla Durden	Residential Site and Building Improvement	8/14/2025	\$ 1,900.00	2025-02270	8/14/2026	8	1,900.00				
8/13/2025	250038	GSF Valley Properties, LLC	Commercial Site and Building Improvement	8/15/2025	\$ 5,000.00		8/15/2026	7	5,000.00				
8/19/2025	250039	Jacob Locke Construction, Inc	Residential Development Incentive	8/21/2025	\$ 2,500.00		8/21/2026	1	2,500.00				
8/21/2025	250040	Robert Brito	Residential Site and Building Improvement				12/30/1900	-	-				

FY 2025 Grant Tracking Worksheet

Next Application #: 250042



DeFuniak Springs Community Redevelopment Agency

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 e. CRADirector@DeFuniakSprings.net
 w. www.DeFuniakSprings.net/CRA

STATEMENT

Date: 8/22/2025

Applicant:

Owner:

Parcel:

Property Address:

Mailing Address:

Email:

Aging Summary 8/22/2025

Current: 16,900.00
 31 - 90: 18,753.00
 91 - 180: 21,500.00
 181 - 270 : -
 > 270: -

Total Outstanding: \$ 57,153.00 Total Awarded: \$ 144,376.50

Application Date	Application #	Applicant	Grant Type	Approved Date	Approved Amount	PO#	Completion Deadline	Age	Outstanding	Status	Completion Date	Check Number	Check Delivered
8/21/2025	250041	Greg Crishon	Residential Site Cleanup	8/21/2025	n/a	n/a	8/28/2025	1	n/a				
								-	-				
								-	-				

Applicant Name	Application ID	Property Owner	Parcel Number	Property Address	Mailing Street	Mailing City/State/Zip	Phone Number	Email Address
Kobe Reed	250001	Estate of Tammy Johnson	25-3N-19-19070-001-5451	444 Anthony Johnson Trail	Same	DeFuniak Springs, FL 32435	850-849-2186	kochaneld23@gmail.com
Joy Mooney	250002	Same	25-3N-19-19355-000-00A0	308 S 2nd Street	Same	DeFuniak Springs, FL 32435	803-600-4668	mooneybeth@icloud.com
Laura Roeser	250003	Same	25-3N-19-19070-000-4830	331 S 13th Street	Same	DeFuniak Springs, FL 32435	850-598-3227	lroeser9@gmail.com
Xavier Beach	250004	Estate of Henry Beach Jr.	25-3N-19-19070-000-7260	111 W Chaffin Avenue	Same	DeFuniak Springs, FL 32433	850-333-5458	xman.beach@gmail.com
Travis Blanton	250005	Same	25-3N-19-19070-000-0590	180 College Avenue	Same	DeFuniak Springs, FL 32435	850-305-6750	tippmann43@hotmail.com
ZIIC Properties, LLC	250006	Same	15-2N-19-18040-000-0392	3590 US Hwy 331 S	PO Box 156	DeFuniak Springs, FL 32433	850-635-5201	ziicproperties@gmail.com
Jon Miller	250007	Same	25-3N-19-19070-001-8810	224 S 13th Street	Same	DeFuniak Springs, FL 32435	850-685-2025	sandphlea@gmail.com
Darin Kimberl	250008	Same	36-3N-19-19350-004-0070	53 Oxford Street	Same	DeFuniak Springs, FL 32435	850-545-9248	darinkimberl@gmail.com
Lynda McNew	250009	Same	25-3N-19-19070-000-6020	14 Circle Drive	Same	DeFuniak Springs, FL 32435	850-585-3109	dflynda@gmail.com
Big Love Restaurant Group	250010	Same	25-3N-19-19070-000-8980	660 Baldwin Avenue	6110 Hwy 331 S	DeFuniak Springs, FL 32435	850-797-0495	kellimisener@gmail.com
Ralph Edwards	250011	Same	25-3N-19-19070-000-3900	436 Park Avenue	Same	DeFuniak Springs, FL 32435	850-376-1602	efusion@gmail.com
Fetter Properties LLC	250012	Same	01-2N-19-18000-002-0010	1202 Hill Street	755 Grand Boulevard, Suite	Miramar Beach, FL 32550	850-931-4400	team@fetterfunds.com
Glen Harrison	250013	Same	25-3N-19-19404-002-0020	208 Clay Street	Same	DeFuniak Springs, FL 32435	850-865-1647	harrisongh@yahoo.com
Carolyn Bryan	250014	Same	25-3N-19-19070-001-8278	88 N 20th Street	Same	DeFuniak Springs, FL 32433	850-419-4297	csab1951@yahoo.com
Sonya Carroll	250015	Same	27-3N-19-19420-000-0150	237 Royal Drive	1215 Martin Road	DeFuniak Springs, FL 32433	850-307-7178	carroll09@yahoo.com
Brian Toole	250016	Same	25-3N-19-19070-000-6500	5 S 13th Street	PO Box 673661	Marietta, GA 30006	770-842-9887	enerqprof@outlook.com
Lisa Pickard	250017	Same	21-3N-19-19011-000-0030	124 Huggins Road	Same	DeFuniak Springs, FL 32433	912-321-8194	hops_02@yahoo.com
Kathy Douglass	250018	Same	36-3N-19-19060-001-0130	62 Douglass Avenue	Same	DeFuniak Springs, FL 32435	850-830-2405	kdouglass@panhandle.rr.com
Scott Thomley	250019	Same	25-3N-19-19070-000-5850	120 E Orange Avenue	Same	DeFuniak Springs, FL 32435	479-899-8169	thomlevs@yahoo.com
Galloway Wealth	250020	Eric Galloway	25-3N-19-19070-000-7651	886 Baldwin Avenue	886 Baldwin Avenue	DeFuniak Springs, FL 32435	850-768-0160	ericgalloway@gallowaywealth.com
Angus Graham Campbell-Work	250021	Same	36-3N-19-19050-000-0608	37 E Meadowbrook Lane	Same	DeFuniak Springs, FL 32435	850-865-3832	grahamcampbellwork@gmail.com
Michael Hatcher	250022	Same	25-3N-19-19070-000-1620	620 Circle Drive	Same	DeFuniak Springs, FL 32435	850-865-8671	trenthatcher@hotmail.com
Sandra Miller	250023	Same	25-3N-19-19070-000-0510	754 Circle Drive	Same	DeFuniak Springs, FL 32435	850-974-8765	maestras1@yahoo.com
Joy Keegans	250024	Same	36-3N-19-19060-003-0120	69 Douglass Avenue	Same	DeFuniak Springs, FL 32435	850-892-7654	destinhanks1983@gmail.com
Shirley Guillery	250025	Same	25-3N-19-19070-001-0181	790 E US Hwy 90	PO Box 968	DeFuniak Springs, FL 32435	850-830-0695	squill15891@aol.com
Travis Nelson	250026	Same	34-3N-19-19311-004-0011	340 S 19th Street	PO Box 1104	DeFuniak Springs, FL 32435	850-924-1586	waltoncountynelson85@gmail.com
Chad Earley Unlimited	250027	Chad Earley	25-3N-19-19070-001-8317	477 W US Hwy 90	Same	DeFuniak Springs, FL 32435	850-307-2928	chadearley@gmail.com
John Todd	250028	Same	25-3N-19-19070-001-8811	252 S 13th Street	Same	DeFuniak Springs, FL 32435	850-830-2878	jdthandyman62@gmail.com
Tom Hecker	250029	Same	36-3N-19-19050-000-0644	304 Florence Street	Same	DeFuniak Springs, FL 32435	850-830-1851	hecker44@gmail.com
Fred & Patricia Lee	250030	Same	34-3N-19-19500-00B-0091	120 Captain Street	Same	DeFuniak Springs, FL 32435	850-419-0832	
Karen Tolbert	250031	Same	25-3N-19-19070-000-4890	378 S 12th Street	Same	DeFuniak Springs, FL 32435	615-727-3224	karenmcmahon1969@gmail.com
Tom Hecker	250032	Same	36-3N-19-19050-000-0644	304 Florence Street	Same	DeFuniak Springs, FL 32435	850-830-1851	hecker44@gmail.com
Larae Coats	250033	Same	25-3N-19-19070-001-6236	49 Cook Avenue	Same	DeFuniak Springs, FL 32435	308-360-0278	larae1247@yahoo.com
Sam and Terry Alexander	250034	Same	25-3N-19-19070-000-2341	458 Circle Drive	Same	DeFuniak Springs, FL 32435	770-630-1504	samalexanderqo@gmail.com
June Adair	250035	Same	25-3N-19-19070-001-8773	56 W Orange Avenue	38 Clear Springs Court	DeFuniak Springs, FL 32433	850-892-7280	adairfoltz@gmail.com
Ronda Strickland	250036	Same	36-3N-19-19050-000-0037	182 Dorsey Avenue	536 College Avenue	DeFuniak Springs, FL 32435	850-401-2971	rondastrickland20@gmail.com
Sharla Durden	250037	Same	25-3N-19-19070-000-1040	730 Circle Drive	Same	DeFuniak Springs, FL 32435	850-333-0317	sharla.durden@mhcs.co
GSF Valley Properties, LLC	250038	Same	25-3N-19-19070-000-8081	40 N 9th Street	1007 McLendon Road	DeFuniak Springs, FL 32433	850-533-9291	heatherennismarshall@gmail.com
Jacob Locke Construction, Inc	250039	Same	36-3N-19-19000-029-0071	119 Loftin Street	7920 Steel Mill Creek Road	Laurel Hill, FL 32567	850-652-1940	jacob@jacoblodge.biz
Robert Brito	250040	Same	25-3N-19-19400-000-0210	654 Bruce Avenue	Same	DeFuniak Springs, FL 32435	850-419-7056	kbrito@yahoo.com
Greg Crishon	250041	Antonio Lee et al	25-3N-19-19070-001-0360	350 Baldwin Avenue	428 Quebec Avenue	DeFuniak Springs, FL 32433	850-974-6680	scag-scag@gmail.com

COMING SOON

250041 350 BALDWIN AVENUE

JUNK & DEBRIS REMOVAL



DEFUNIAKSPRINGS CRA.COM



CRA
COMMUNITY
REDEVELOPMENT
AGENCY

COMING SOON

250040 654 BRUCE AVENUE

EXTERIOR PAINT, HANDRAIL, COVERED DECK



CRA
COMMUNITY
REDEVELOPMENT
AGENCY

DEFUNIAKSPRINGS-CRA.COM

COMING SOON

250039 119 LOFTIN STREET
NEW RESIDENTIAL STRUCTURE



CRA
COMMUNITY
REDEVELOPMENT
AGENCY

DEFUNIAKSPRINGS CRA.COM

COMING SOON

250038 730 40 N 9TH STREET

NEW ROOF



DEFUNIAKSPRINGS CRA.COM



CRA
COMMUNITY
REDEVELOPMENT
AGENCY

COMING SOON

250034 458 CIRCLE DRIVE
NEW FENCING



DEFUNIAKSPRINGS-CRA.COM



CRA
COMMUNITY
REDEVELOPMENT
AGENCY

COMING SOON

250037 730 CIRCLE DRIVE

TREE REMOVAL



DEFUNIAKSPRINGSCRA.COM



CRA
COMMUNITY
REDEVELOPMENT
AGENCY

COMING SOON

250036 182 DORSEY
NEW RESIDENTIAL STRUCTURE



DEFUNIAKSPRINGSCRA.COM



CRA
COMMUNITY
REDEVELOPMENT
AGENCY



RESIDENTIAL SITE & BUILDING IMPROVEMENT
56 W ORANGE AVENUE
250035-DEMOLITION

**\$5,000
AWARD**



BEFORE



AFTER

(850) 951-3054

cradirector@defuniakspringscra.com

www.defuniakspringscra.com



RESIDENTIAL SITE & BUILDING IMPROVEMENT
378 S 12TH STREET
250031-EXTERIOR PAINT

**\$5,000
AWARD**



BEFORE

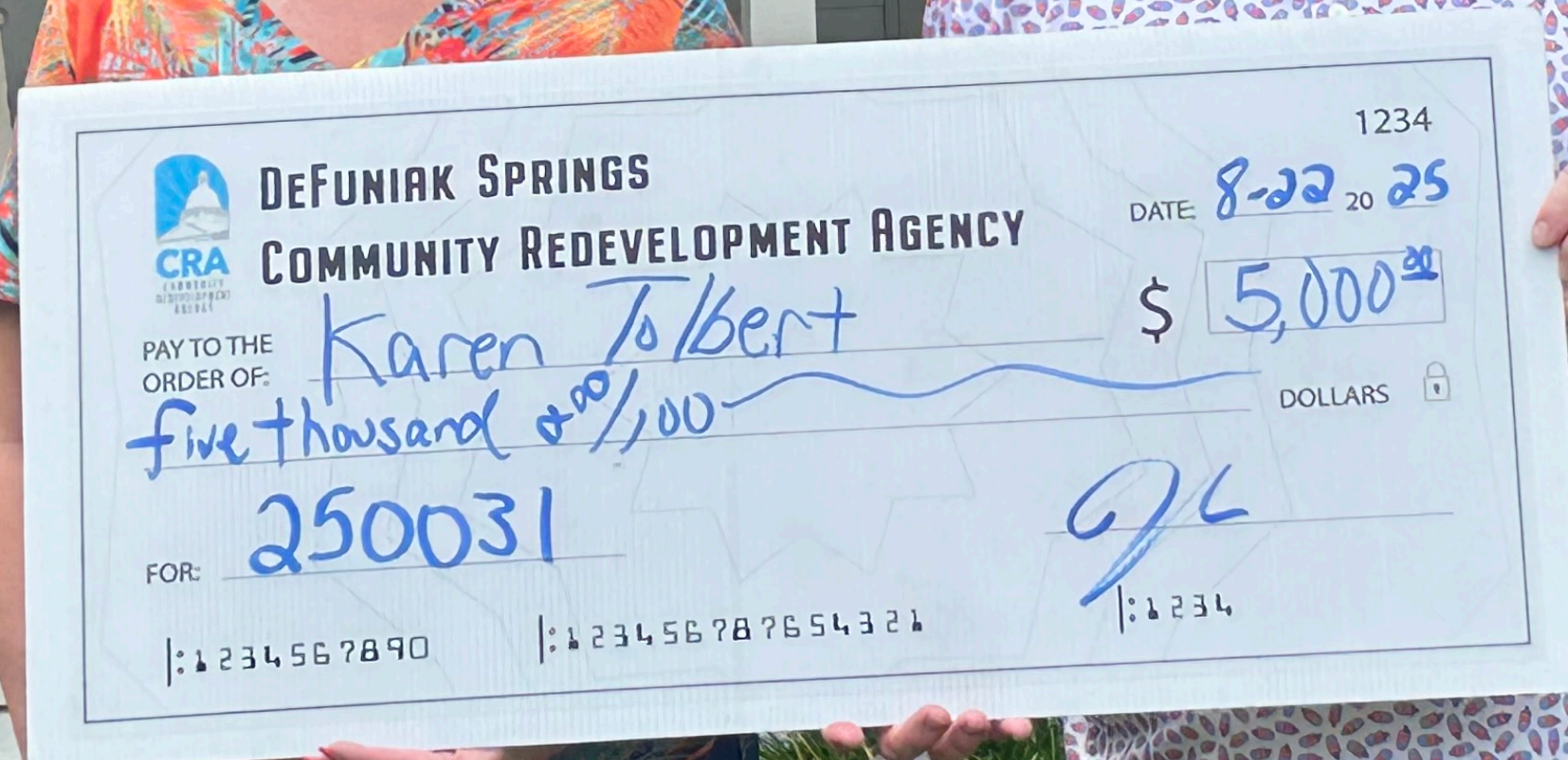


AFTER

(850) 951-3054

cradirector@defuniakspringscra.com

www.defuniakspringscra.com



**DEFUNIAK SPRINGS
COMMUNITY REDEVELOPMENT AGENCY**

1234
DATE: 8-22 2025

PAY TO THE ORDER OF: Karen Tolbert
Five thousand & 00/100

\$ 5,000⁰⁰

DOLLARS

FOR: 250031

92
|: 1234

|: 1234567890 |: 123456787654321





RESIDENTIAL SITE & BUILDING IMPROVEMENT
62 DOUGLASS AVENUE
250018-NEW ROOF

\$4,842
AWARD



BEFORE



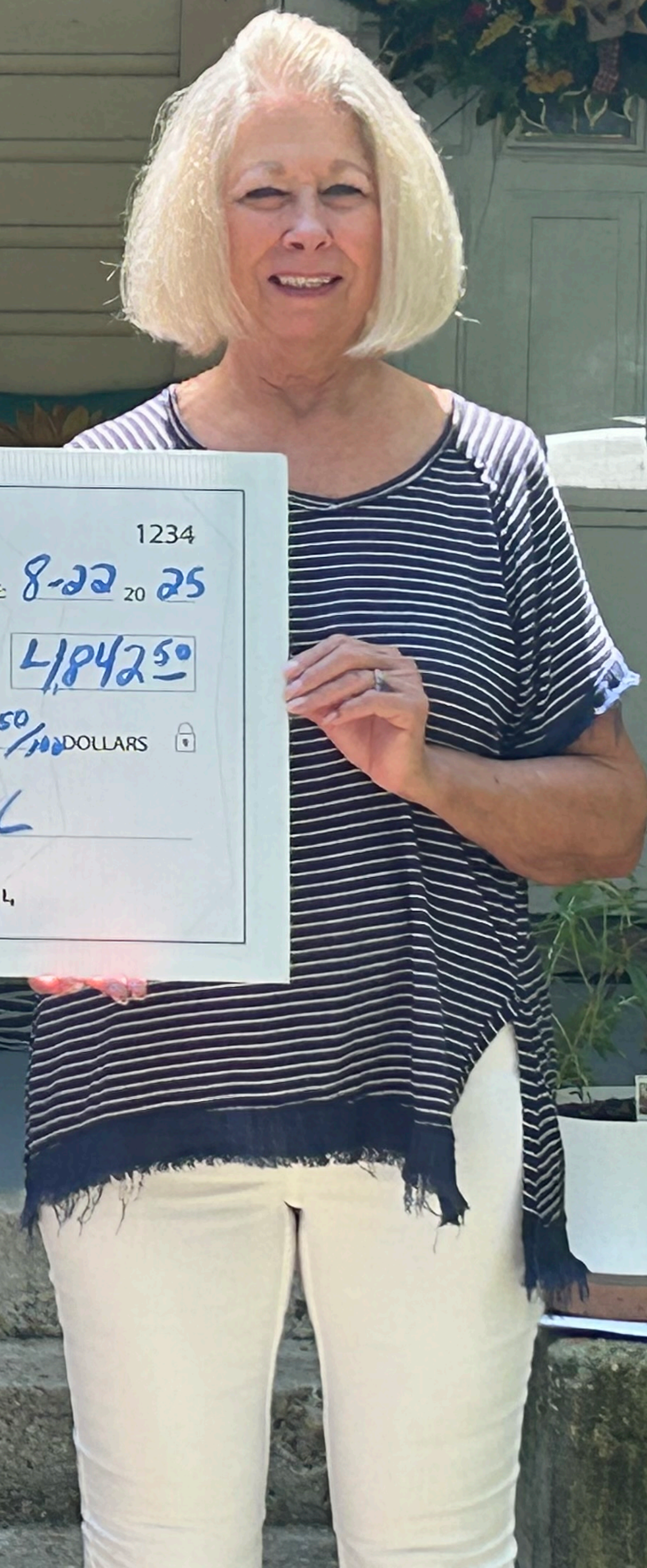
AFTER


(850) 951-3054

cradirector@defuniakspringscra.com

www.defuniakspringscra.com

62



	DEFUNIAK SPRINGS	1234
	COMMUNITY REDEVELOPMENT AGENCY	DATE: 8-22 20 25
PAY TO THE ORDER OF:	Kathy Douglass	\$ 4,842.50
	four thousand eight hundred forty two & 50/100 DOLLARS	
FOR:	250018	9/6
: 234567890 : 23456787654321		: 234



RESIDENTIAL SITE & BUILDING IMPROVEMENT
124 HUGGINS ROAD
250017-NEW ROOF

**\$5,000
AWARD**



BEFORE



AFTER

(850) 951-3054

cradirector@defuniakspringscra.com

www.defuniakspringscra.com



DeFuniak Springs Fire Department
58 West Burdick Avenue
DeFuniak Springs FL 32433



TO: Koby Townsend, City Manager

FROM: *Ross O. Sheffield*
Ross O. Sheffield, Fire Chief

DATE: September 25, 2025

SUBJECT: Fire Station Repairs and Upgrades

The DeFuniak Springs Fire Department is in need of repairs and upgrades to maintain safety, improve functionality, and extend the useful life of the facility. This outlines the scope of work required to bring the station up to current standards, address structural and environmental issues, and enhance operational efficiency. The proposed improvements will ensure a safer and more reliable working environment for fire department personnel while supporting effective emergency response.

Project Objectives

1. Ensure the facility complies with current building, electrical, and plumbing codes.
2. Improve living quarters, working spaces, and apparatus bays for operational efficiency.
3. Address existing structural deficiencies and prevent further deterioration.
4. Enhance safety, comfort, and energy efficiency.
5. Modernize the station layout to accommodate future growth and operational demands.

Scope of Work

1. Structural and Interior Improvements

- Replace flooring and subflooring on second floor; repair framing.



DeFuniak Springs Fire Department
58 West Burdick Avenue
DeFuniak Springs FL 32433



- Remove paneling on first and second floors; repair roof/wall leaks; insulate and replace with drywall, prep, and paint.
- Replace drop ceilings and tiles on both floors.
- Install new LVP flooring on the second floor.
- Remove carpet from first-floor offices and install tile flooring.

2. Bathrooms and Plumbing

- Relocate second-floor bathroom from kitchen to a larger, more suitable area.
- Add new bathrooms with showers on both first and second floors.
- Upgrade all plumbing to meet current code requirements.

3. Electrical and Mechanical Systems

- Upgrade all electrical wiring to current code.
- Replace air conditioning ductwork and registers throughout.
- Reroute air conditioning return from first-floor office to hallway.

4. Windows and Exterior Work

- Replace all windows on both floors.
- Add an additional window to north side of second-floor living quarters.
- Paint station exterior.
- Extend roof on east side (35–45 feet) to mitigate flooding in first-floor offices.



DeFuniak Springs Fire Department
58 West Burdick Avenue
DeFuniak Springs FL 32433



5. Building Expansion and Modifications

- Extend station's front wall to align with roofline.
- Expand second floor living quarters beyond the first engine bay; enclose exercise room.
- Relocate front door/reception area.

Justification and Benefits

- **Code Compliance:** Updates to electrical, plumbing, and structural systems will meet safety standards.
- **Personnel Safety:** Modernized living quarters, HVAC systems, and flood prevention measures improve quality of life for staff.
- **Long-Term Cost Savings:** Preventing water damage, structural deterioration, and outdated system failures reduces future repair costs.
- **Community Confidence:** A well-maintained and functional fire station supports public trust and strengthens emergency response capacity.

Recommendation

Timely investment will ensure that the DeFuniak Springs Fire Department remains a safe, modern, and effective facility serving the community for years to come.

27 CRESCENT DRIVE

Defuniak Springs, Florida



CRESCENT DRIVE RENOVATION

27 Crescent Drive
Defuniak Springs, Florida 32433



Project Title

Architect

Consultant

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
-----------------	----------

Date	Reviewed By
------	-------------

Project ID	25102
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Sheet Title

Cover Sheet

Sheet No.

A0.1

27 CRESCENT DRIVE

Defuniak Springs, Florida



CRESCENT DRIVE RENOVATION

27 Crescent Drive
Defuniak Springs, Florida 32433



Project Title

Architect

TOUCHSTONE
ARCHITECTURE
482 W. Harborview Rd.
Santa Rosa Beach, FL

Consultant

REV	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
Date 20 August 2025	Reviewed By
Project ID 25102	

Sheet Title

Site Plan

Sheet No.

A1.1

Project Title

Architect

TOUCHSTONE
ARCHITECTURE
482 W. Harborview Rd.
Santa Rosa Beach, FL

Consultant

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
-----------------	----------

Date	Reviewed By
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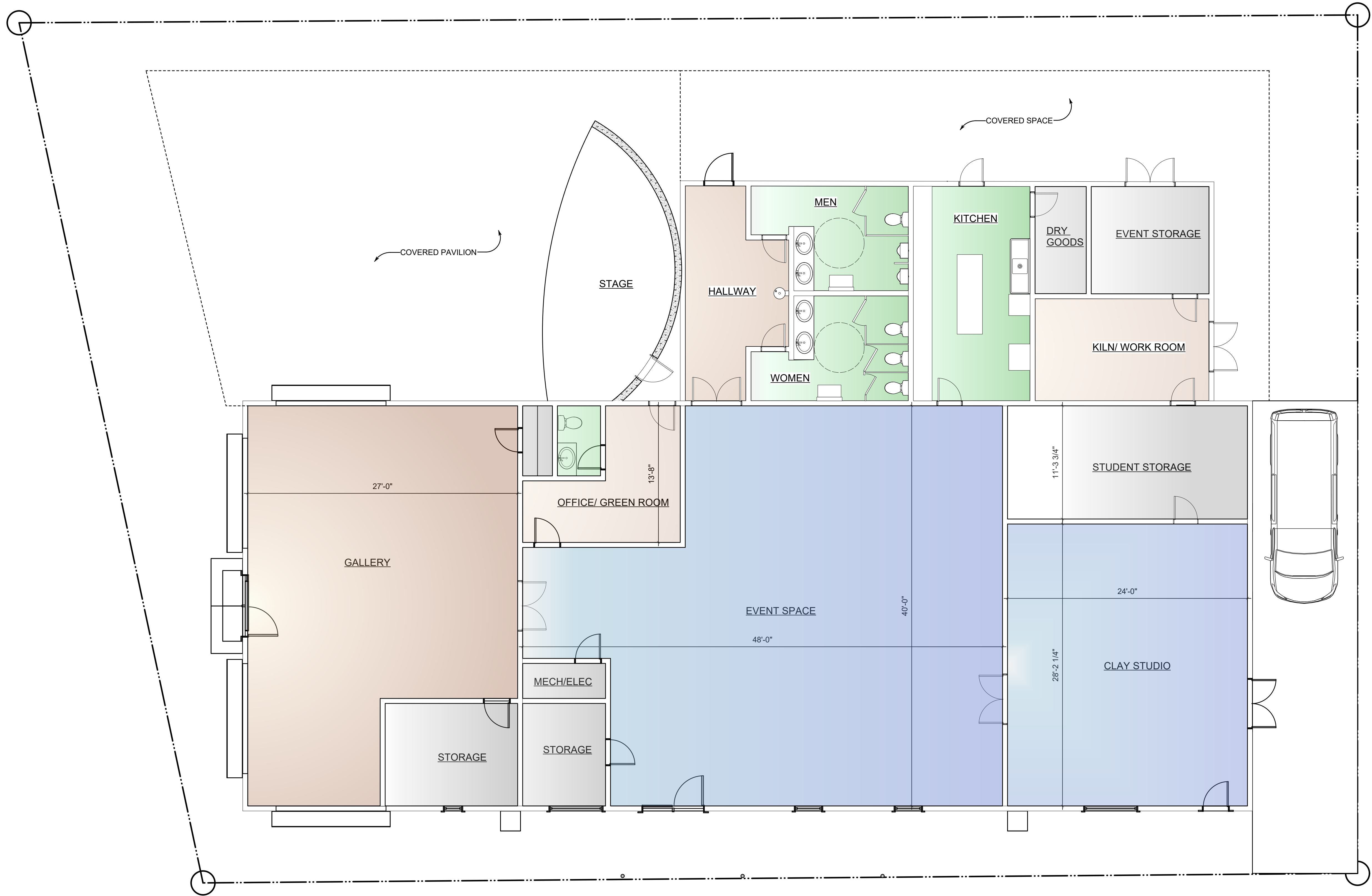
Project ID	25102
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Sheet Title

First Floor Plan

Sheet No.

A1.2



1 Floor Plan
Scale: 3/16" = 1'-0"

MONTHLY PROGRESS INVOICE

Bill To: Joshua R. Ervin, Executive Director
DeFuniak Springs Community Redevelopment Agency
CRADirector@DeFuniakSpringsCRA.com

Project Description: 27 Crescent Drive Renovations
PO #: 2025-01902
Vendor Number: 17978

INVOICE NUMBER	INVOICE DATE	PAYMENT DUE DATE	PROJECT NUMBER	BALANCE DUE
24-0252	August 19, 2025	August 27, 2025	25105	\$6,125.00

INVOICE SUMMARY

PHASE	VALUE	% COMPLETE	PREVIOUSLY INVOICED	AMOUNT DUE	REMAINING
AR-1 As-Built Drawings	\$2,250.00	100	\$1,000.00	\$1,125.00	-
	\$6,500.00			\$4,500.00	-
AR-2 Prelim. Concept Plans		100	\$2,000.00		
AR-3 Concept Development	\$5,000.00	30	\$1,000.00	\$500.00	\$3,500.00
AR-4 Agency Coord	\$500.00		-	-	\$500.00
AR-5 Permit Drawings	\$12,000.00		\$1,000.00	-	\$11,000.00
	\$				
Contract Amount	26,250.00		Amount Due	\$6,125.00	

This invoice is the initial payment due at Notice-To-Proceed for mobilization of the work. The amount of the initial payment has been distributed between the phases of the work as described above.

Remit Payment To:
Touchstone Architecture
482 W. Harborview Rd.
Santa Rosa Beach, FL 32459

Thanks for this great opportunity!

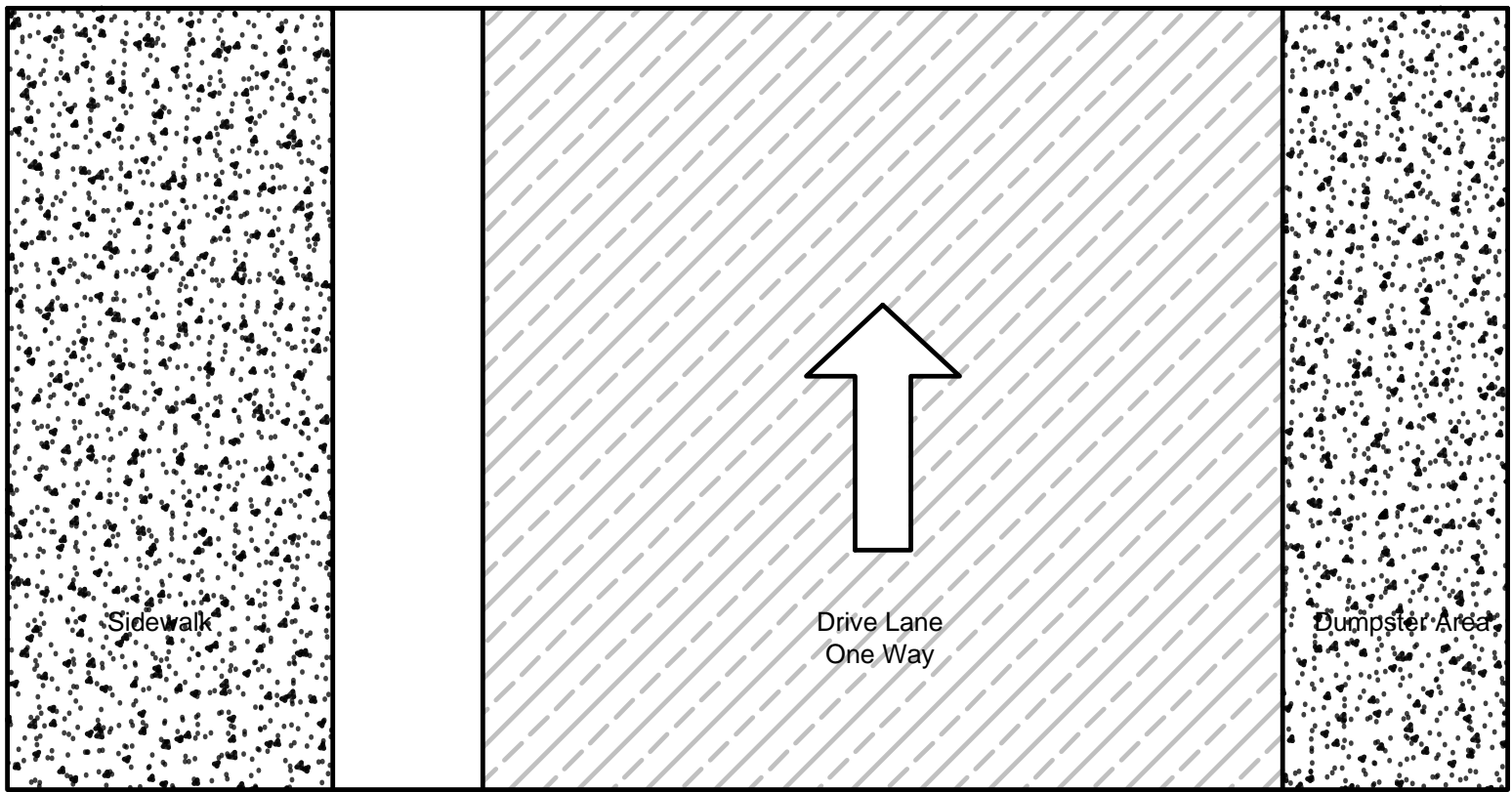
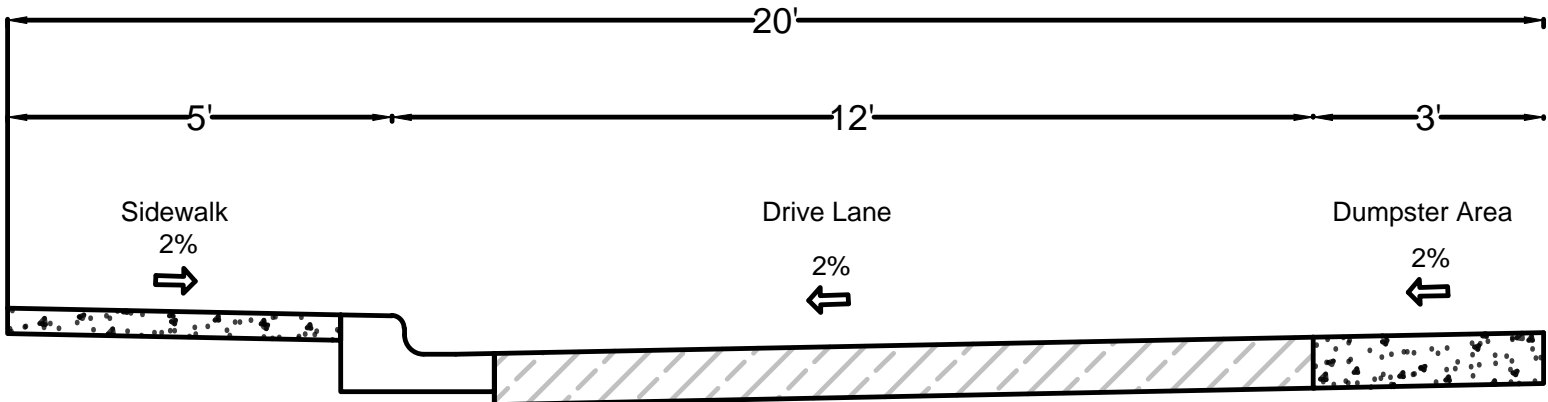
Bradley

Sincerely,



Bradley C. Touchstone, FAIA

LAYOUT #1



Designed by:	JB	Date: 8/22/2025
Drawn by:	JB	Job No. 404.001
Checked by:	JB	File:
Approved by:	EM	
Scale:	1" = 30'	© 2025



DEFUNIAK SPRINGS CRA
DEFUNIAK SPRINGS/WALTON/FL

LAYOUT #1
4TH ST & 11TH ST ALLEYWAY

Sheet No.
C-1

CITY OF DEFUNIAK SPRINGS
ALLEYWAY IMPROVEMENTS



LAYOUT 1

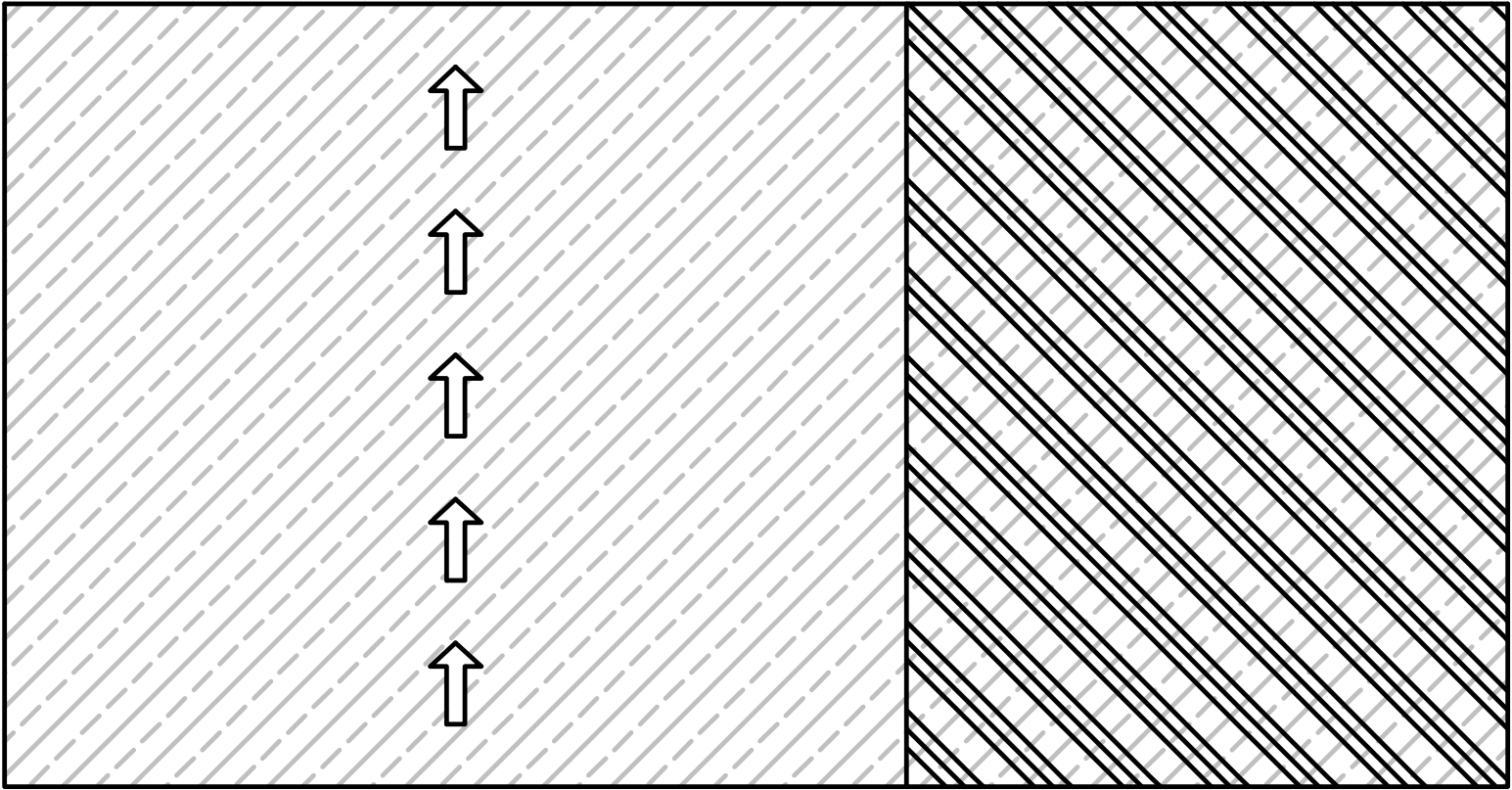
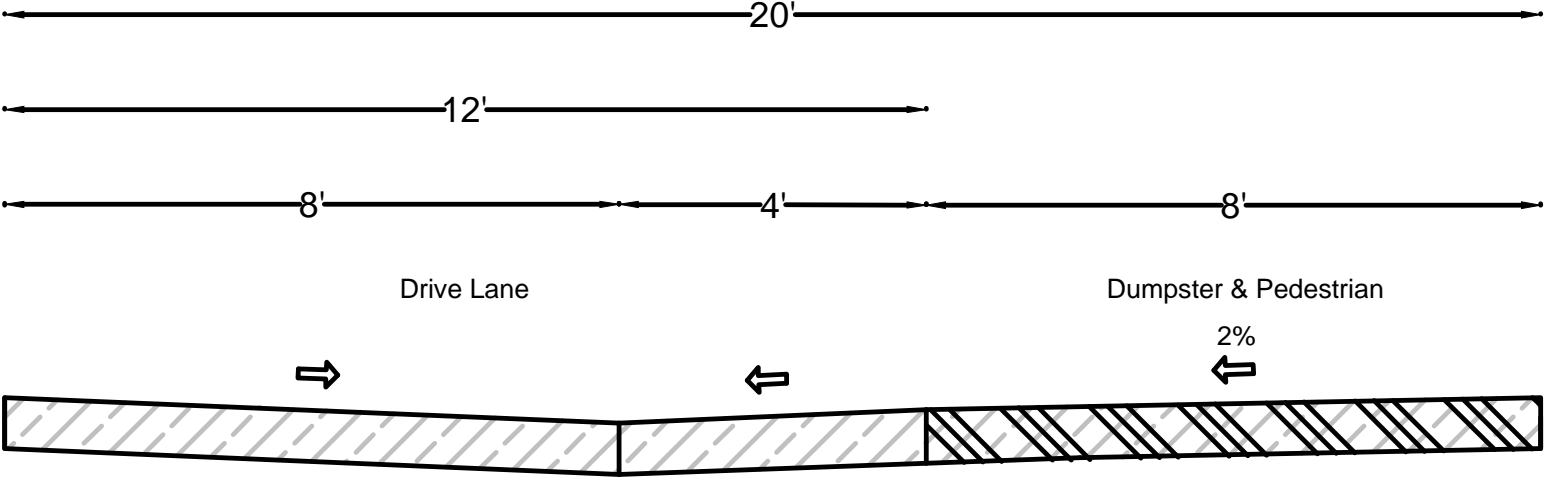
	Quantity	Unit	SF Unit Price	Total	Notes
General Construction					
Mobilization	1	LS	\$ 60,000.00	\$ 60,000.00	
Bonds and Insurance	1	LS	\$ 45,000.00	\$ 45,000.00	
MOT	1	LS	\$ 36,000.00	\$ 36,000.00	
Testing	1	LS	\$ 24,000.00	\$ 24,000.00	
Erosion Control and NPDES	1	LS	\$ 30,000.00	\$ 30,000.00	
Surveying & Stakeout	1	LS	\$ 33,000.00	\$ 33,000.00	
Demolition	1	LS	\$205,000.00	\$ 205,000.00	
			SUBTOTAL	\$ 433,000.00	

Utility Replacement					
8" PVC Water Main	2649	LF	\$86.00	\$ 227,814.00	
Water Service Connections	61	EA	\$1,450.00	\$ 88,450.00	
8" PVC Gravity Sewer	2620	LF	\$134.00	\$ 351,080.00	
Laterals	61	EA	\$2,196.00	\$ 133,956.00	
Manholes, <10'	8	EA	\$12,764.00	\$ 102,112.00	
Power	1	LS	\$454,150.00	\$ 454,150.00	
Fiber	1	LS	\$256,471.00	\$ 256,471.00	
Gas	2650	LF	\$50.00	\$ 132,500.00	
Lighting	21	EA	\$4,000.00	\$ 84,000.00	
			SUBTOTAL	\$ 1,830,533.00	

Layout 1					
2" Type SP 12.5 Asphalt	4272	SY	\$34.00	\$ 145,248.00	
8" Crushed Limerock	5005	SY	\$32.00	\$ 160,160.00	
Type B Stabilization	2055	CY	\$51.00	\$ 104,805.00	
6" Concrete	6603	SF	\$14.00	\$ 92,442.00	
4" Concrete Sidewalk	11005	SF	\$12.00	\$ 132,060.00	
Type F Curb	2201	LF	\$43.00	\$ 94,643.00	
15" RCP	1140	LF	\$141.00	\$ 160,740.00	
Storm Manholes	7	EA	\$8,069.00	\$ 56,483.00	
Inlets, Curb, Type J-4, <10'	14	EA	\$11,526.00	\$ 161,364.00	
Thermoplastic, Standard, White, Solid, 24" for Stop Line and Crosswalk	88	LF	\$16.00	\$ 1,408.00	
Single Post Sign, Furnish & Install Ground Mount	16	EA	\$4,260.00	\$ 68,160.00	
			SUBTOTAL	\$ 1,177,513.00	

Contingency					
Contingency 10%	1	LS	\$344,104.60	\$ 344,104.60	
			TOTAL	\$3,785,150.60	

LAYOUT #2



Designed by:	JB	Date: 8/22/2025
Drawn by:	JB	Job No. 404.001
Checked by:	JB	File:
Approved by:	EM	
Scale:	1" = 30'	© 2025



DEFUNIAK SPRINGS CRA
DEFUNIAK SPRINGS/WALTON/FL

LAYOUT #2

4TH ST & 11TH ST ALLEYWAY

Sheet No.

C-2

LAYOUT 2

	Quantity	Unit	SF Unit Price	Total	Notes
General Construction					
Mobilization	1	LS	\$ 49,000.00	\$ 49,000.00	
Bonds and Insurance	1	LS	\$ 37,000.00	\$ 37,000.00	
MOT	1	LS	\$ 36,000.00	\$ 36,000.00	
Testing	1	LS	\$ 20,000.00	\$ 20,000.00	
Erosion Control and NPDES	1	LS	\$ 24,000.00	\$ 24,000.00	
Surveying & Stakeout	1	LS	\$ 27,000.00	\$ 27,000.00	
Demolition	1	LS	\$166,000.00	\$ 166,000.00	
			SUBTOTAL	\$ 359,000.00	

Utility Replacement					
8" PVC Water Main	2649	LF	\$86.00	\$ 227,814.00	
Water Service Connections	61	EA	\$1,450.00	\$ 88,450.00	
8" PVC Gravity Sewer	2620	LF	\$134.00	\$ 351,080.00	
Laterals	61	EA	\$2,196.00	\$ 133,956.00	
Manholes, <10'	8	EA	\$12,764.00	\$ 102,112.00	
Power	1	LS	\$454,150.00	\$ 454,150.00	
Fiber	1	LS	\$256,471.00	\$ 256,471.00	
Gas	2650	LF	\$50.00	\$ 132,500.00	
Lighting	21	EA	\$4,000.00	\$ 84,000.00	
			SUBTOTAL	\$ 1,830,533.00	

Layout 2 (Inverted Crown)					
2" Type SP 12.5 Asphalt	5728	SY	\$34.00	\$ 194,752.00	
8" Crushed Limerock	5728	SY	\$32.00	\$ 183,296.00	
Type B Stabilization	1890	CY	\$51.00	\$ 96,390.00	
Thermoplastic, Standard, White, Solid, 12", Dumpster	10498	LF	\$7.00	\$ 73,486.00	
Thermoplastic, Standard, White, Solid, 24" for Stop Line and Crosswalk	88	LF	\$16.00	\$ 1,408.00	
Single Post Sign, Furnish & Install Ground Mount	16	EA	\$4,260.00	\$ 68,160.00	
			SUBTOTAL	\$ 617,492.00	

Contingency					
Contingency 10%	1	LS	\$280,702.50	\$ 280,702.50	
			TOTAL	\$3,087,727.50	

Layout 2 ALT (Storm for Inverted Crown)					
15" RCP	1140	LF	\$141.00	\$160,740.00	
Storm Manholes	7	EA	\$8,069.00	\$56,483.00	
Inlets, Gutter, Type V, <10'	14	EA	\$7,372.00	\$103,208.00	
2" Type SP 12.5 Asphalt	500	SY	\$34.00	\$17,000.00	
8" Crushed Limerock	500	SY	\$32.00	\$16,000.00	
Type B Stabilization	165	CY	\$51.00	\$8,415.00	
			SUBTOTAL	\$361,846.00	
			TOTAL ALT	\$3,368,430.00	



MAGNUM ENGINEERING INC
GEOTECHNICAL ENGINEERING
CONSULTANTS

GEOTECHNICAL ENGINEERING REPORT

DEFUNIAK SPRINGS ALLEY - 11TH STREET TO 4TH STREET
WALTON COUNTY, FLORIDA

PREPARED FOR:

Mr. Bryan Osborn, P.E.
Anchor CEI
450 Magnolia Avenue
Panama City, Florida 32401

429 FLORIDA AVENUE
LYNN HAVEN, FLORIDA 32444
TELEPHONE (850) 258.0994



MAGNUM ENGINEERING INC
GEOTECHNICAL ENGINEERING
CONSULTANTS

August 21, 2025

Mr. Bryan Osborn, P.E.

Anchor CEI

450 Magnolia Avenue

Panama City, Florida 32401

SUBJECT: DeFuniak Springs Alley – 11th Street to 4th Street – Geotechnical Services
Walton County, Florida
Project Number: M125-120-1032

Dear Mr. Osborn:

This letter forwards the results of our Geotechnical services for the subject site located in DeFuniak Springs, Florida. The purpose of the asphalt cores and auger borings were to determine the thickness of the surface course and base material and to identify the subgrade soils present within the existing roadway. Upon completion of our field testing, the samples were brought back to the office for visual inspection, classification and analysis by our engineering staff.

Scope of Services

Our scope of services included performing Five (5) 4-inch diameter asphalt cores and Five (5) 5-foot deep auger borings beneath each core location. The boring location were white-lined in the field and Sunshine State One Call was notified to locate and mark underground utilities surrounding each proposed core location. The core locations are shown on the attached boring location plan presented as Figure #1. Upon completion of the asphalt cores and hand augers, the holes were backfilled with soil cuttings, compacted, and patched with cold asphalt patch.

Soil Conditions

Beneath the asphalt pavement and base course, the auger borings generally encountered slightly silty fine sands to the boring termination depth of 5.0 feet below existing grade.

The above subsurface descriptions are of a generalized nature, provided to highlight the major soil strata encountered. The Logs of Boring should be reviewed for specific subsurface conditions at each boring location. The stratifications shown on the Logs of Boring represent the subsurface conditions at the actual boring locations only, and variations in the subsurface conditions can and may occur between boring locations and should therefore be expected. The stratifications represent the approximate boundary between subsurface materials, and the transitions between strata may be gradual. Please refer to the attached Logs of Borings presented as Figure #2 for a more detailed description of the soils encountered.

The following Table #1 shows the average thickness of the asphalt cores and base course at each location.

Table #1

Location	Asphalt Type and Thickness (in inches)	Base Type and Thickness (in inches)
C-1	Structural Course – 2 7/8”	Clayey Sand – 4”
C-2	Structural Course – 2 5/8”	Limerock – 4”
C-3	Structural Course – 8 7/8”	Clayey Sand – 2”
C-4	Structural Course – 4 1/8”	Clayey Sand – 6”
C-5	Structural Course – 5 1/4”	Clayey Sand – 4”

Groundwater Conditions

Groundwater was not encountered within the depth of our 5 feet deep auger borings at the time of drilling (July 22, 2025), which was during a period of normal seasonal rainfall. Groundwater levels will fluctuate with rainfall and could vary several feet during typical seasonal fluctuations. Larger fluctuations are possible under severe weather conditions.

Pavements

The top 12 inches of subgrade should be compacted to a minimum soil density of 98% of the Modified Proctor Test (ASTM D1557). The top 12 inches of subgrade should have a minimum LBR value of 40. We recommend that structural fill soils, where planned, have a minimum LBR of 40.

Based on the subsurface conditions encountered in the test borings, we recommend using a graded aggregate base, limerock, or crushed concrete). The base course should be compacted to a minimum soil density of 98% of the Modified Proctor Test (ASTM D1557).

Preparation of the subgrade soils for the roadway areas should be prepared in general accordance with the site preparation recommendations described above. While specific traffic loads and volumes for the project have not been provided, we are providing recommended medium-duty pavement sections, which have been successfully utilized for this type of roadway in the Northwest Florida area.

Medium Duty

- 2 inches Asphaltic Concrete (FDOT Superpave Mix SP-12.5)
- 8 inches Crushed Limerock or Graded Aggregate Base (minimum LBR 100)
- 12 inches Stabilized Subgrade (minimum LBR 40)

The above recommended pavement sections represent minimum design thicknesses and, as such, periodic maintenance should be anticipated. Also, these recommended pavement sections should be confirmed or modified by your Civil Engineer, based on actual traffic and the owner’s requirements. The pavement section materials and construction should comply with the Florida DOT and local municipality requirements.

Warranty and Limitations of Study

Our professional services have been performed, our findings obtained, and our recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices. This warranty is in lieu of all other warranties, either expressed or implied. MEI is not responsible for the independent conclusions, opinions or recommendations made by others based on the field exploration and laboratory test data presented in this report.

Soil conditions at other locations may differ from those encountered in the test borings, and the passage of time may cause the soils conditions to change from those described in this report.

This report is intended for use by the designers of this project. While we have no objections to it being provided for review by parties to this project, it is not a specification document and is not to be used as a part of the specifications. If desired, we can assist in the development of specifications for this project based upon our exploration.

DeFuniak Springs Alley – 11th Street to 4th Street – Geotechnical Services
Walton County, Florida
Page 3 of 3

The nature and extent of variation and change in the subsurface conditions at the site may not become evident until the course of construction. Construction monitoring by the geotechnical engineer or his representative is therefore considered necessary to verify the subsurface conditions at the time of construction and to verify the recommendations made in the preparation of this report are properly carried out. If significant variations or changes are in evidence, it may be necessary to reevaluate the recommendations in this report.

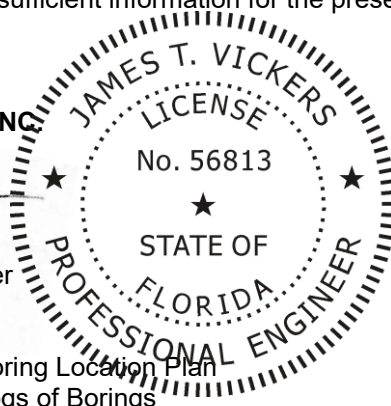
Furthermore, if the project characteristics are altered significantly from those discussed in this report, if the project information contained in this report is incorrect or if additional information becomes available, a review must be made by this office to determine if any modifications in the recommendations will be necessary.

We hope this letter provides sufficient information for the present. If you have any questions or comments, please feel free to call.

Sincerely,

MAGNUM ENGINEERING, INC.


JAMES T. VICKERS, P.E.
Senior Geotechnical Engineer
Florida Registration # 56813



Attachments: Figure #1 – Boring Location Plan
Figure #2 – Logs of Borings

This item has been digitally signed and sealed by James T. Vickers, P.E. on 8/21/2025

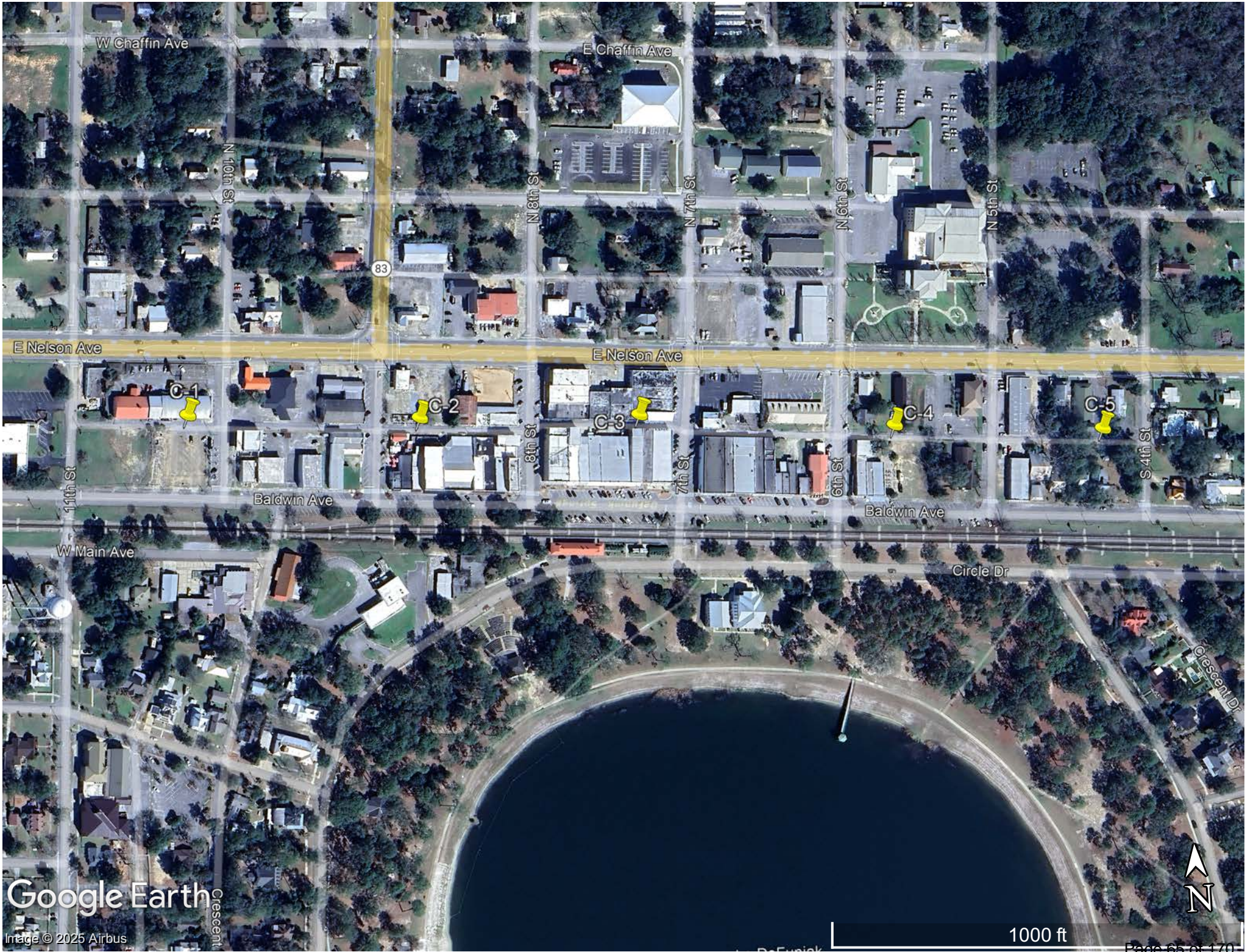
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies



MAGNUM ENGINEERING INC
GEOTECHNICAL ENGINEERING
CONSULTANTS

BORING LOCATION PLAN

FIGURE # 1



Google Earth

Image © 2025 Airbus

1000 ft



MAGNUM ENGINEERING INC
GEOTECHNICAL ENGINEERING
CONSULTANTS

LOGS OF BORINGS

FIGURE # 2



Magnum Engineering, Inc.
 429 Florida Avenue
 Lynn Haven, Florida 32444
 Telephone: 8502658332

BORING NUMBER C-01

PAGE 1 OF 1

CLIENT <u>Anchor CEI</u>	PROJECT NAME <u>DeFuniak Springs Alley</u>
PROJECT NUMBER <u>M125-120-1032</u>	PROJECT LOCATION <u>Walton County, Florida</u>
DATE STARTED <u>7/22/25</u> COMPLETED <u>7/22/25</u>	GROUND ELEVATION _____ HOLE SIZE _____
DRILLING CONTRACTOR <u>GeoDrill Tech, LLC</u>	GROUND WATER LEVELS:
DRILLING METHOD <u>CORE MACHINE/HAND AUGER</u>	DEPTH TO GROUNDWATER AT TIME OF DRILLING <u>---</u>
LOGGED BY <u>J. Governale</u> CHECKED BY <u>J. Vickers</u>	ESTIMATED SEASONAL HIGH GW <u>---</u>
NOTES _____	AFTER DRILLING <u>---</u>

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	MOISTURE CONTENT (%)	ATTERBERG LIMITS			FINES CONTENT (%)
									LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	
0.0		Asphalt Pavement (2 7/8" Thick)										
		Orange Clayey Fine SAND (Base) (4" Thick) (SC)										
		Brown/Tan Slightly Silty Fine SAND (SP-SM)										
2.5												
5.0												
		Boring Termination Depth at 5.0 feet.										

GEOTECH BH COLUMNS DEFUNIACK SPRINGS PROJECT.GPJ GINT STD US LAB.GDT 7/29/25



Magnum Engineering, Inc.
 429 Florida Avenue
 Lynn Haven, Florida 32444
 Telephone: 8502658332

BORING NUMBER C-02

PAGE 1 OF 1

CLIENT <u>Anchor CEI</u>	PROJECT NAME <u>DeFuniak Springs Alley</u>
PROJECT NUMBER <u>M125-120-1032</u>	PROJECT LOCATION <u>Walton County, Florida</u>
DATE STARTED <u>7/22/25</u> COMPLETED <u>7/22/25</u>	GROUND ELEVATION _____ HOLE SIZE _____
DRILLING CONTRACTOR <u>GeoDrill Tech, LLC</u>	GROUND WATER LEVELS:
DRILLING METHOD <u>CORE MACHINE/HAND AUGER</u>	DEPTH TO GROUNDWATER AT TIME OF DRILLING <u>---</u>
LOGGED BY <u>J. Governale</u> CHECKED BY <u>J. Vickers</u>	ESTIMATED SEASONAL HIGH GW <u>---</u>
NOTES _____	AFTER DRILLING <u>---</u>

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	MOISTURE CONTENT (%)	ATTERBERG LIMITS			FINES CONTENT (%)
									LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	
0.0		Asphalt Pavement (2 5/8" Thick)										
		Limerock (Base) (4" Thick)										
		Gray/Brown Slightly Silty Fine SAND (SP-SM)										
2.5												
5.0												
		Boring Termination Depth at 5.0 feet.										

GEOTECH BH COLUMNS DEFUNIAK SPRINGS PROJECT.GPJ GINT STD US LAB.GDT 7/29/25



Magnum Engineering, Inc.
 429 Florida Avenue
 Lynn Haven, Florida 32444
 Telephone: 8502658332

BORING NUMBER C-03

PAGE 1 OF 1

CLIENT <u>Anchor CEI</u>	PROJECT NAME <u>DeFuniak Springs Alley</u>
PROJECT NUMBER <u>M125-120-1032</u>	PROJECT LOCATION <u>Walton County, Florida</u>
DATE STARTED <u>7/22/25</u> COMPLETED <u>7/22/25</u>	GROUND ELEVATION _____ HOLE SIZE _____
DRILLING CONTRACTOR <u>GeoDrill Tech, LLC</u>	GROUND WATER LEVELS:
DRILLING METHOD <u>CORE MACHINE/HAND AUGER</u>	DEPTH TO GROUNDWATER AT TIME OF DRILLING <u>---</u>
LOGGED BY <u>J. Governale</u> CHECKED BY <u>J. Vickers</u>	ESTIMATED SEASONAL HIGH GW <u>---</u>
NOTES _____	AFTER DRILLING <u>---</u>

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	MOISTURE CONTENT (%)	ATTERBERG LIMITS			FINES CONTENT (%)
									LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	
0.0		Asphalt Pavement (8 7/8" Thick)										
		Orange Clayey Fine SAND (Base) (2" Thick) (SC)										
		Brown Slightly Silty Fine SAND (SP-SM)										
2.5												
5.0												
		Boring Termination Depth at 5.0 feet.										

GEOTECH BH COLUMNS DEFUNIACK SPRINGS PROJECT.GPJ GINT STD US LAB.GDT 7/29/25



Magnum Engineering, Inc.
 429 Florida Avenue
 Lynn Haven, Florida 32444
 Telephone: 8502658332

BORING NUMBER C-04

PAGE 1 OF 1

CLIENT <u>Anchor CEI</u>	PROJECT NAME <u>DeFuniak Springs Alley</u>
PROJECT NUMBER <u>M125-120-1032</u>	PROJECT LOCATION <u>Walton County, Florida</u>
DATE STARTED <u>7/22/25</u> COMPLETED <u>7/22/25</u>	GROUND ELEVATION _____ HOLE SIZE _____
DRILLING CONTRACTOR <u>GeoDrill Tech, LLC</u>	GROUND WATER LEVELS:
DRILLING METHOD <u>CORE MACHINE/HAND AUGER</u>	DEPTH TO GROUNDWATER AT TIME OF DRILLING <u>---</u>
LOGGED BY <u>J. Governale</u> CHECKED BY <u>J. Vickers</u>	ESTIMATED SEASONAL HIGH GW <u>---</u>
NOTES _____	AFTER DRILLING <u>---</u>

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	MOISTURE CONTENT (%)	ATTERBERG LIMITS			FINES CONTENT (%)
									LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	
0.0		Asphalt Pavement (4 1/8" Thick)										
		Orange Clayey Fine SAND (Base) (6" Thick) (SC)										
		Orange/Tan Slightly Silty Fine SAND (SP-SM)										
2.5												
5.0												
		Boring Termination Depth at 5.0 feet.										

GEOTECH BH COLUMNS DEFUNIAK SPRINGS PROJECT.GPJ GINT STD US LAB.GDT 7/29/25



Magnum Engineering, Inc.
 429 Florida Avenue
 Lynn Haven, Florida 32444
 Telephone: 8502658332

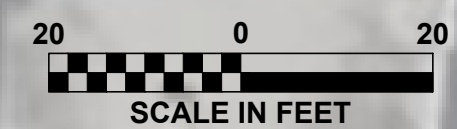
BORING NUMBER C-05

PAGE 1 OF 1

CLIENT <u>Anchor CEI</u>	PROJECT NAME <u>DeFuniak Springs Alley</u>
PROJECT NUMBER <u>M125-120-1032</u>	PROJECT LOCATION <u>Walton County, Florida</u>
DATE STARTED <u>7/22/25</u> COMPLETED <u>7/22/25</u>	GROUND ELEVATION _____ HOLE SIZE _____
DRILLING CONTRACTOR <u>GeoDrill Tech, LLC</u>	GROUND WATER LEVELS:
DRILLING METHOD <u>CORE MACHINE/HAND AUGER</u>	DEPTH TO GROUNDWATER AT TIME OF DRILLING <u>---</u>
LOGGED BY <u>J. Governale</u> CHECKED BY <u>J. Vickers</u>	ESTIMATED SEASONAL HIGH GW <u>---</u>
NOTES _____	AFTER DRILLING <u>---</u>

DEPTH (ft)	GRAPHIC LOG	MATERIAL DESCRIPTION	SAMPLE TYPE NUMBER	RECOVERY % (RQD)	BLOW COUNTS (N VALUE)	POCKET PEN. (tsf)	DRY UNIT WT. (pcf)	MOISTURE CONTENT (%)	ATTERBERG LIMITS			FINES CONTENT (%)
									LIQUID LIMIT	PLASTIC LIMIT	PLASTICITY INDEX	
0.0		Asphalt Pavement (5 1/4" Thick)										
		Orange Clayey Fine SAND (Base) (4" Thick) (SC)										
		Brown/Orange Slightly Silty Fine SAND (SP-SM)										
2.5												
5.0												
		Boring Termination Depth at 5.0 feet.										

GEOTECH BH COLUMNS DEFUNIACK SPRINGS PROJECT.GPJ GINT STD US LAB.GDT 7/29/25



DATE:	
NO. REVISION/SUBMISSION	
PROFESSIONAL SEAL:	

DRAFT

COA: 4099
 ADDRESS:
 11 W COURT SQUARE
 ANDALUSIA, AL 36420
 P.O. BOX 278 (36420)
 PH: (334) 222-9431

THREE NOTCH GROUP
 PRELIMINARY - NOT FOR CONSTRUCTION

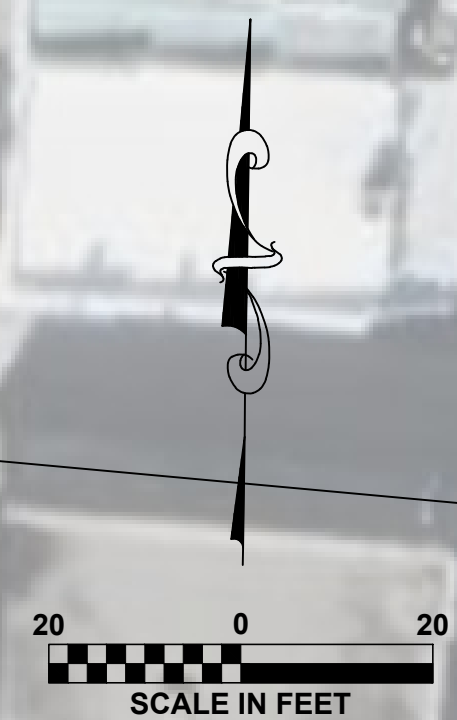
PARKING IMPROVEMENTS ALONG BALDWIN AVENUE
 DEFUNIAK SPRINGS COMMUNITY REDEVELOPMENT AGENCY
 DEFUNIAK SPRINGS, FL 32435

PROJECT NO: PR68825001
 DATE: 2025/08/22
 SCALE: AS SHOWN
 SHEET NO:
 DRAWING TITLE: **C-301A**

EXISTING 45° PARKING SPACES: 42
PROPOSED 90° PARKING SPACES: 48

SITE PLAN - CONCEPTUAL A

Y:\Sharedz_ENGIN\68825001\68825001\DESIGN\CONCEPTUAL\CONCEPTUAL_A.dwg



DATE:	
NO. REVISION/SUBMISSION	
PROFESSIONAL SEAL:	

DRAFT

COA: 4099
 ADDRESS:
 11 W COURT SQUARE
 ANDALUSIA, AL 36420
 P.O. BOX 278 (36420)
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THREE NOTCH GROUP
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PARKING IMPROVEMENTS ALONG BALDWIN AVENUE
 DEFUNIAK SPRINGS COMMUNITY REDEVELOPMENT AGENCY
 DEFUNIAK SPRINGS, FL 32435

C-301B

DRAWING TITLE:
SITE PLAN - CONCEPTUAL B

EXISTING 45° PARKING SPACES: 42
 PROPOSED 90° PARKING SPACES: 51

Y:\Sharedz_ENGIN\88820015_DESIGN\0405_1800_SF_CONCEPTUAL.dwg



EXISTING 45° PARKING SPACES: 42
 PROPOSED 90° PARKING SPACES: 55

DATE:	
NO. REVISION/SUBMISSION	
PROFESSIONAL SEAL:	

DRAFT

COA: 4099
 ADDRESS:
 11 W COURT SQUARE
 ANDALUSIA, AL 36420
 P.O. BOX 278 (36420)
 PH: (334) 222-9431

THREE NOTCH GROUP
 PRELIMINARY - NOT FOR CONSTRUCTION

PARKING IMPROVEMENTS ALONG BALDWIN AVENUE
 DEFUNIAK SPRINGS COMMUNITY REDEVELOPMENT AGENCY
 DEFUNIAK SPRINGS, FL 32435

C-301C
 DRAWING TITLE:
SITE PLAN - CONCEPTUAL C

Y:\Sharedz_ENGIN\2025\0915_DESIGN\04099_BALDWIN_SP_CONCEPTUAL.dwg

**DeFuniak Springs Community Redevelopment Agency
 Parking Improvements Along Baldwin Ave.
 Preliminary Construction Cost Estimate
 8/25/2025**

Bid Item - Conceptual "A"					
Item	Item Description	Unit	Unit Price	Est. Qty	Extension
1	Mobilization	LS	\$850	1	\$1,000
2	Remove Existing Pavement Striping and Markings	LF	\$1	900	\$900
3	Pavement Striping and Markings	LS	\$1,000	1	\$1,000
4	Remove Existing Concrete Sidewalk	LS	\$1,500	1	\$1,500
5	Construct ADA Compliant Curb Ramp	EA	\$3,000	1	\$3,000
6	Handicap Parking Sign, R7-8, 12"x18", Engineer-grade Reflective Aluminum, ADA & MUTCD Compliant, Mounted on Galvanized U-Post	EA	\$60	4	\$240
7	Traffic Control Sign - "Road Work Ahead"	SF	\$10	45	\$450
8	Traffic Control Sign - "End Road Work"	SF	\$10	40	\$400
9	Traffic Cones	EA	\$8	25	\$200

SUBTOTAL	\$8,690
CONTINGENCY (10%)	\$869
TOTAL	\$9,559

Bid Item - Conceptual "B"					
Item	Item Description	Unit	Unit Price	Est. Qty	Extension
1	Mobilization	LS	\$1,175	1	\$1,175
2	Remove Existing Pavement Striping and Markings	LF	\$1	900	\$900
3	Pavement Striping and Markings	LS	\$1,250	1	\$1,250
4	Remove Concrete Sidewalk	LS	\$1,500	1	\$1,500
5	Construct ADA Compliant Curb Ramp	EA	\$3,000	1	\$3,000
6	Handicap Parking Sign, R7-8, 12"x18", Engineer-grade Reflective Aluminum, ADA & MUTCD Compliant, Mounted on Galvanized U-Post	EA	\$60	4	\$240
7	Curb Removal	LF	\$28	55	\$1,540
8	Unclassified Excavation	CY	\$30	2	\$60
9	Utility Pole Removal	EA	\$750	1	\$750
10	Crushed Aggregate Base (6" Thick)	TON	\$75	6	\$450
11	Superpave Asphalt Concrete	TON	\$200	5	\$1,000
12	Traffic Control Sign - "Road Work Ahead"	SF	\$10	45	\$450
13	Traffic Control Sign - "End Road Work"	SF	\$10	40	\$400
14	Traffic Cones	EA	\$8	25	\$200

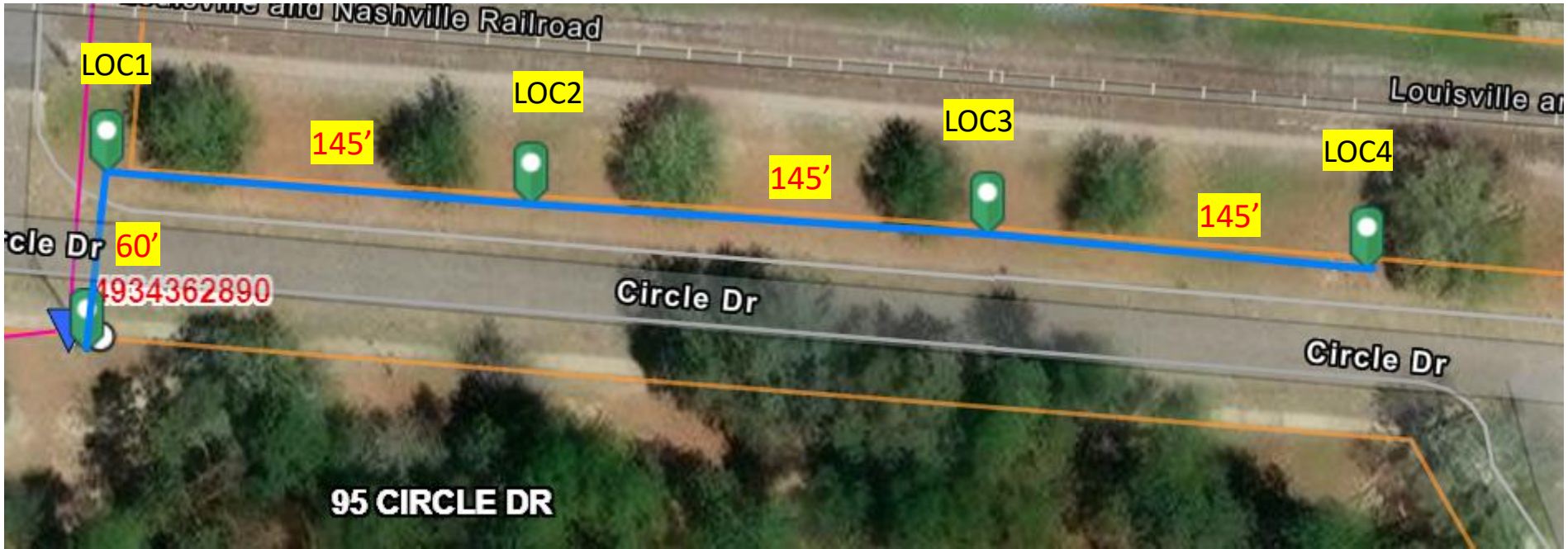
SUBTOTAL	\$12,915
CONTINGENCY (10%)	\$1,292
TOTAL	\$14,207

Bid Item - Conceptual "C"					
Item	Item Description	Unit	Unit Price	Est. Qty	Extension
1	Mobilization	LS	\$1,845	1	\$1,845
2	Remove Existing Pavement Striping and Markings	LF	\$1	900	\$900
3	Pavement Striping and Markings	LS	\$1,500	1	\$1,500
4	Remove Concrete Sidewalk	LS	\$1,500	1	\$1,500
5	Construct ADA Compliant Curb Ramp	EA	\$3,000	1	\$3,000
6	Handicap Parking Sign, R7-8, 12"x18", Engineer-grade Reflective Aluminum, ADA & MUTCD Compliant, Mounted on Galvanized U-Post	EA	\$60	4	\$240
7	Curb Removal	LF	\$28	117	\$3,276
8	Unclassified Excavation	CY	\$30	7	\$210
9	Utility Pole Removal	EA	\$750	1	\$750
10	Tree Removal	LS	\$1,000	1	\$1,000
11	Type "A" Curb (Match Existing)	LF	\$48	59	\$2,832
12	Crushed Aggregate Base (6" Thick)	TON	\$75	16	\$1,200
13	Superpave Asphalt Concrete	TON	\$200	5	\$1,000
14	Traffic Control Sign - "Road Work Ahead"	SF	\$10	45	\$450
15	Traffic Control Sign - "End Road Work"	SF	\$10	40	\$400
16	Traffic Cones	EA	\$8	25	\$200

SUBTOTAL	\$20,303
CONTINGENCY (10%)	\$2,030
TOTAL	\$22,333



Cost estimates are made on the basis of the Engineer's experience, qualifications, and professional judgment. Since Engineer has no control over the cost of labor, materials, equipment or services furnished by others, or over competitive bidding or market conditions, Engineer cannot and does not guarantee or warrant that proposals, bids or actual construction cost will not vary from the above cost estimate. Three Notch Group cannot be responsible for variations in costs due to market fluctuations and unit cost increases. Cost estimate above assumes burden of cost for utility relocations shall be borne by applicable utility provider.



SUBJECT: Defuniak Springs CRA

DATE: 06/16/2025

DRN. BY: CJO

LOCATION: Circle Dr Defuniak Springs

WMS WR#:

WMS IO#:



LED Lighting Solutions



Roadway Lighting | Area Lighting | Pendant Lighting | Post Top Lighting | Brackets, Bollards and Poles

Safer. Smarter. More Vibrant Spaces.



FPL®

Roadway Lighting

Feel Safe, Drive Safe



ATB2 – Turtle-friendly Amber



Shield facing coastal line

Cree – RSW Extra-large
Turtle-friendly Amber



Roadway – LED 5,000 Lumens
to 12,000 Lumens*



Roadway – LED 17,000
Lumens to 20,000 Lumens*



Roadway – LED 31,500 Lumens*









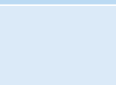

Available in
black or gray



AEL – ATB2

**This is a non-representative image for the light.
Installations in the field may be different.*

ROADWAY LIGHTING

Manufacturer	Style	Fixture	Pole Options	Bracket Options	Light Pattern	Line Watts/ NEMA Label	Color Temp	Lumens	Glare Rating (BUG)	.ies File	Billing Tier	
ATB2	Turtle Friendly Roadway	 (Gray or Black)	6, 7, 10	1, 7	3	108/110	594nM (Amber)	5,408 (no shield)	B1-U0-G2	Upon Request	G5	
								2,927 (rear shield)				
								1,878 (front shield)				
RSW-XL	Turtle Friendly Roadway	 (Gray) shield facing coastal line	6, 7, 10	1, 7	3	144/140	594nM (Amber)	7,280 (no shield)	B1-U0-G2	PL17871-001A RSWX9024& WITH_ NO SHIELDING AID FNRPT.IES	J4	
								4,803 (rear shield)		PL17897-001A RSWX9024& W_ FRONT+SIDE SHIELD AID FNRPT.IES		
								2,936 (front shield)		PL17871-003A RSWX9024& W_ BACK&SIDE SHIELD AID FNRPT.IES		
Roadway	5,000 LUMEN Roadway	 (Gray)	6, 7, 10	1, 7	3	42/40	3000K	5,000+	B1-U0-G1	Upon Request	C2	
			6, 7, 10	1, 7	3	42/40	4000K	5,000+	B1-U0-G2	Upon Request	C2	
	7,500 LUMEN Roadway	 (Gray)	6, 7, 10	1, 7	3	59/60	3000K	7,500+	B1-U0-G1	Upon Request	D2	
			6, 7, 10	1, 7	3	59/60	4000K	7,500+	B1-U0-G2	Upon Request	D2	
	12,000 LUMEN Roadway	 (Gray)	6, 7, 10	1, 7	3	93/90	3000K	12,000+	B2-U0-G3	Upon Request	F2	
			6, 7,10	1, 7	3	93/90	4000K	12,000+	B2-U0-G3	Upon Request	F2	
	17,000 LUMEN Roadway	 (Gray)	6, 7, 10	1, 7	3	127/130	3000K	17,000+	B3-U0-G3	Upon Request	I2	
			6, 7,10	1, 7	3	127/130	4000K	17,000+	B2-U0-G3	Upon Request	I2	
	20,000 LUMEN Roadway	 (Gray)	6, 7,10	1, 7	3	161/160	3000K	20,000+	B3-U0-G4	Upon Request	K3	
			6, 7,10	1, 7	3	161/160	4000K	20,000+	B3-U0-G4	Upon Request	K3	
	31,500 LUMEN Roadway	 (Gray)	6, 7, 10	1, 7	3	263/260	3000K	31,500+	B3-U0-G5	Upon Request	Q3	
			6, 7, 10	1, 7	3	263/260	4000K	31,500+	B3-U0-G5	Upon Request	Q3	
	AEL	ATB2	 (Gray)	1,6,7,9,10	1,5B,7	4	121/120	3000K	16,427	B2-U0-G3	ATB2_P40X_MVOLT_R4_3K	H3
				1,6,7,9,10	1,5B,7	4	121/120	4000K	17,125	B2-U0-G3	ATB2_P40X_MVOLT_R4_4K	H3
1,6,7,9,10				1,5B,7	4	186/190	3000K	24,937	B3-U0-G4	ATB2_P602_R4_3K_186W_RFD323103.IES	L3	
1,6,7,9,10				1,5B,7	4	186/190	4000K	25,839	B3-U0-G4	ATB2_P602_R4_RFD325843.ies	L3	
1,6,7,9,10				1,5B,7	4	264/260	3000K	32,450	B3-U0-G5	ATB2_P604_R4_3K	Q3	
1,6,7,9,10				1,5B,7	4	264/260	4000K	33,910	B3-U0-G5	ATB2_P604_R4_4K	Q3	
 (Black)			6,7,9,10	1,2,5B,7	4	121/120	4000K	17,125	B2-U0-G3	ATB2_P40X_MVOLT_R4_4K	H3	
			2,4,8*	2								
			6,7,9,10	1,2,5B,7	4	186/190	4000K	25,839	B3-U0-G4	ATB2_P602_R4_RFD325843.ies	L3	
			2,4,8*	2								
			6,7,9,10	1,2,5B,7	4	264/260	4000K	33,910	B3-U0-G5	ATB2_P604_R4_4K	Q4	
			2,4,8*	2								

Note: All roadway fixtures are grey unless otherwise noted

Roadway B – 06/24



FPL®

Area Lighting

Inspiring Illumination



AEL – ATB2



Area – 7500 to 65000 Lumens



Flood – 15,000 Lumens*



Flood – 26,000 Lumens*



Flood – 48,000 Lumens*

**This is a non-representative image for the light. Installations in the field may be different.*

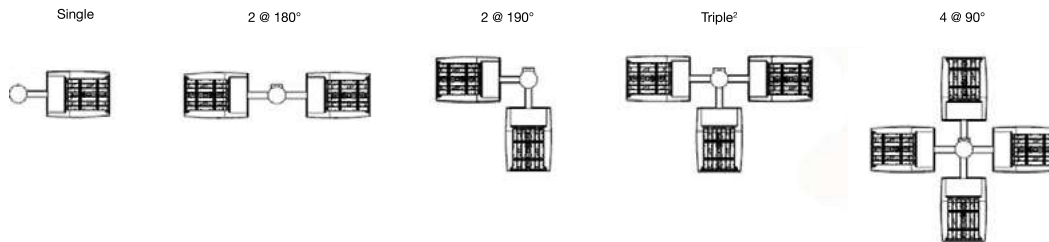
AREA LIGHTING

Manufacturer	Style	Fixture	Pole Options	Bracket Options	Light Pattern	Line Watts/ NEMA Label	Color Temp	Lumens	Glare Rating (BUG)	.ies File	Billing Tier
AEL	ATB2	 (Gray)	1, 7, 9	1, 5B	5	295/300	4000K	36,750	B5-U0-G4	ATB2-P605-R5-4K.ies	S3
Area Light	7,500 Lumen Area	 (Black or Bronze)	1*, 4, 8*, 9	5A Single, Double @ 90 deg or 180 deg, Triple @ 90 deg, and Quad available	4	59/60	4000K	7,500+	B2-U0-G2	GLANSA2A740UT4W-59W.ies	D3
	17,500 Lumen Area		1*, 4, 8*, 9		4	127/130	4000K	17,500+	B3-U0-G3	GLANSA3B740UT4W-127W.ies	I3
	30,000 Lumen Area		1*, 4, 8*, 9		4	246/245	4000K	30,000+	B3-U0-G5	GALNSA4D740UT4W-246W.ies	P4
	50,000 Lumen Area		1*, 4, 8*, 9		4	449/450	4000K	50,000+	B4-U0-G4	GALNSA9C740UT4W-449W.ies	BB5
	65,000 Lumen Area		1*, 4, 8*, 9		4	560/560	4000K	65,000+	B5-U0-G5	GALNSA9D740UT4W-560W.ies	EE5
Flood	15,000 Lumen Floodlight		6, 7	24" stand-off (2DS)	6x6	110/110	4000K	15,000+	N/A	EFM102_XX66740____ - PRELIMINARY-FP&L_110W_17370LUMENS.ies	G3
	26,000 Lumen Floodlight		6, 7	24" stand-off (2DS)	6x6	195/195	4000K	26,000+	N/A	EFM102_XX66740____ - PRELIMINARY-FP&L_195W_28665LUMENS.ies	M3
	48,000 Lumen Floodlight		6, 7	24" stand-off (2DS)	6x6	348/350	4000K	48,000+	N/A	EFH102_XX66740____ - PRELIMINARY-FP&L_348W_50400LUMENS.ies	V4

1* ONLY the 59/60 watt 7,500 lumen light can be installed on the 20' (13' MH) Type 1 pole
All can be installed on the 35' (27'6" MH) Type 1 pole

8* ONLY the 59/60 watt 7,500 lumen light can be installed on the 14'6" and 21' Type 8 poles.
All can be installed on the 33' (24' MH) Type 8 pole.

*Area configurations



Note: Glare (BUG) Ratings for UFLD are measured at 0° tilt.



FPL®

Pendant Lighting

Functional Can Be Beautiful



Holophane – Bern



Teardrop – With Deep Skirt



Teardrop

Turtle-friendly amber



Holophane – Bern



King – Harbor Side K366

PENDANT LIGHTING

Manufacturer	Style	Fixture	Pole Options	Bracket Options	Light Pattern	Line Watts/ NEMA Label	Color Temp	Lumens	Glare Rating (BUG)	.ies File	Billing Tier
Holophane	Bern		3, 4, 7	3	3	58/60	4000K	7,609	B1-U0-G1	GBLF3_P30_40K_ASY_BK_RFD327869.ies	D10
		 (Turtle-friendly amber)	3, 4, 7	3	3	57/60	Amber	1,995 (no shield)	B1-U0-G0	Upon Request	D10
								1,434 (rear shield)			
							816 (front shield)				
Teardrop	Teardrop w/deep skirt	 (Black)	3, 4, 7	3	3	144/140	3000K	13,716	B2-U0-G1	MPL3_P45S_30K_SG3_DS_RFD330683.IES	J9
						144/140	4000K	13,969	B3-U0-G3	MPL3_P45S_40K_SG3_DS_RFD330684.IES	J9
						242/240	3000K	29,509	B3-U0-G2	0800SP4SA2X24230XXJ-(SHRD242W3000K).IES	O10
	Teardrop (Memphis)	 (Black)	3, 4, 7	3	3	144/140	3000K	17,516	B3-U2-G2	0800NP4GD3X14430XXJ-(144W3000K).IES	J9
						144/140	4000K	19,102	B2-U3-G4	0800NP4GD3X14440XXH-(144W4000K).IES	J9
						242/240	3000K	29,509	B3-U0-G2	0800NP4GD3X24230XXJ-(242W3000K).IES	O9
King	Harbor Side K366		3, 4, 7	3	3	50/50	3000K	5,646	B2-U2-G2	0366PP4AC3X05030XXE(1).IES	D8
						90/90	3000K	9,291	B2-U3-G2	0366PP4AC3X09030XXE(1).IES	F8



FPL®

Post Top Lighting

Making a Great First Impression



AEL – Contemporary
(Contempo)



Cooper – Arbor



Cooper – Mesa



GE – EPTC



GE – Traditional Carriage
(Town & Country) – No Side Panels



GE – Traditional Carriage
(Town & Country) – W/Side Panels



FPL®

Post Top Lighting

Making a Great First Impression



Black/Black

Holophane – Granville



Green/Green

Holophane – Granville



Black/Black
Plus Gold Ribbs
and Bands

Holophane – Granville



King – Victorian (No Lens)



King – Vizcaya (No Lens)

POST TOP LIGHTING (Page 1 of 2)

Manufacturer	Style	Fixture	Pole Options	Bracket Options	Light Pattern	Line Watts/ NEMA Label	Color Temp	Lumens	Glare Rating (BUG)	.ies File	Billing Tier
AEL	Contemporary (Contempo)	 (Gray)	1 (20'), 2, 8	NA	3	38/40	3000K	3,358	B1-U3-G2	245L_P30_XX_30K_R3_RNA_FPD95.ies	C2
			1 (20'), 2, 8	NA	3	72/70	3000K	6,385	B2-U3-G2	245L_P55_XX_30K_R3_RNA_FPD95_SPECIAL.ies	E3
			1 (20'), 2, 8	NA	3	38/40	4000K	3,615	B1-U3-G2	245L_P30_XX_40K_R3_RNA_FPD95.ies	C2
			1 (20'), 2, 8	NA	3	72/70	4000K	6,874	B2-U3-G2	245L_P55_XX_40K_R3_RNA_FPD95_SPECIAL.ies	E3
Cooper	Arbor		1 (20'), 2**, 5, 8	NA or 6	3	48	3000K	4,173	B1-U0-G2	ARB-B2-LED-D1-T3-7030	D6
			1 (20'), 2**, 5, 8	NA or 6	3	48	4000K	4,534	B1-U0-G2	ARB-B2-LED-D1-T3-7040	D6
			1 (20'), 2**, 5, 8	NA or 6	3	99	3000K	7,779	B2-U0-G3	ARB-B3-LED-D1-T3-7030	G6
			1 (20'), 2**, 5, 8	NA or 6	3	99	4000K	8,451	B2-U0-G3	ARB-B3-LED-D1-T3-7040	G6
	Mesa	 (Black)	1 (20'), 2**, 5, 8, 9	NA or 6	3	75/80	4000K	7,456	B2-U0-G2	PMMSA2A740UT3-75W	E5
			1 (20'), 2**, 5, 8, 9	NA or 6	3	150/150	4000K	14,911	B3-U0-G3	PMMSA4A740UT3-150W	J6
			1 (20'), 2**, 5, 8, 9	NA or 6	5	258	4000K	28,336	B5 U0 G4	PMMSA4D740U5WQ-258W	Q6
GE	EPTC	 (Black)	1 (20'), 2, 8	NA or 6	3	65/70	4000K	7,300	B3-U0-G1	EPTC02_07A40_____.ies	E4
	Traditional Carriage (Town & Country) - No Side Panels	 (Black)	1 (20'), 2, 8	NA or 6	3	39/40	3000K	4,090	B1-U0-G2	EPTT01_F4BN30_____-120-277V.IES	C3
			1 (20'), 2, 8	NA or 6	3	39/40	4000K	4,110	B1-U0-G2	EPTT01_F4BN40_____-120-277V.IES	C3
			1 (20'), 2, 8	NA or 6	3	73/70	3000K	7,425	B2-U0-G2	EPTT01_F7DN30_____-120-277V.IES	E3
			1 (20'), 2, 8	NA or 6	3	73/70	4000K	7,660	B2-U0-G2	EPTT01_F7DN40_____-120-277V.IES	E3
	Traditional Carriage (Town & Country) - W/Side Panels	 (Black)	1 (20'), 2, 8	NA or 6	3	39/40	3000K	3,500	B1-U3-G3	EPTT01_F4BA30_____-120-277V.IES	C3
			1 (20'), 2, 8	NA or 6	3	39/40	4000K	3,600	B1-U3-G3	EPTT01_F4BA40_____-120-277V.IES	C3
			1 (20'), 2, 8	NA or 6	3	73/70	3000K	6,450	B2-U4-G3	EPTT01_F7DA30_____-120-277V.IES	E3
			1 (20'), 2, 8	NA or 6	3	73/70	4000K	6,750	B2-U4-G3	EPTT01_F7DA40_____-120-277V.IES	E3

*Also available in double bracket configuration

**New construction only

POST TOP LIGHTING (Page 2 of 2)

Manufacturer	Style	Fixture	Pole Options	Bracket Options	Light Pattern	Line Watts/ NEMA Label	Color Temp	Lumens	Glare Rating (BUG)	.ies File	Billing Tier	
Holophane	Granville		1, 5, 8*	NA or 4,6	3	39/40	3000K	5,190	B2-U4-G5	GVD3_P20_30K_XXXX_GL3_FC.ies	C5	
			1, 5, 8*	NA or 4,6	3	39/40	4000K	5,286	B2-U4-G5	GVD3_P20_40K_XXXX_GL3_FC.ies	C5	
			1, 5, 8*	NA or 4,6	3	60/60	3000K	7,811	B2-U4-G5	GVD3_P30_30K_XXXX_GL3_FC_FPD98.ies	E5	
			1, 5, 8*	NA or 4,6	3	60/60	4000K	7,956	B2-U4-G5	GVD3_P30_40K_XXXX_GL3_FC_FPD98.ies	E5	
	Granville w/ Ribs and Bands		1, 5, 8*	NA or 4,6	3	39/40	3000K	4,619	B2-U3-G4	GVD3_P20_30K_XXXX_GL3_FC_FPB98.ies	C5	
			1, 5, 8*	NA or 4,6	3	39/40	4000K	4,705	B2-U3-G4	GVD3_P20_40K_XXXX_GL3_FC_FPB98.ies	C5	
			1, 5, 8*	NA or 4,6	3	60/60	3000K	6,953	B2-U4-G5	GVD3_P30_30K_XXXX_GL3_RB_FC_FPD98.ies	E5	
			1, 5, 8*	NA or 4,6	3	60/60	4000K	7,082	B2-U4-G5	GVD3_P30_40K_XXXX_GL3_RB_FC_FPD98.ies	E5	
	Granville		1, 5	NA or 4	3	39/40	3000K	5,190	B2-U4-G5	GVD3_P20_30K_XXXX_GL3_FC.ies	C5	
			1, 5	NA or 4	3	60/60	3000K	7,811	B2-U4-G5	GVD3_P30_30K_XXXX_GL3_FC_FPD98.ies	E5	
	King	Victorian (No lens)		1, 2, 5, 8	NA	3	60	3000K	4,598	B1-U0-G1	0056TP4NL3X06030XXE.ies	E6
				1, 2, 5, 8	NA	3	100	3000K	6,731	B2-U0-G2	0056TP4NL3X10030XXE.ies	G6
Vizcaya (No lens)			1, 2, 5, 8	N/A or 4,6	3	40	3000K	4,190	B1-U0-G1	0100WP4NG3X04030XXE.ies	C5	
			1, 2, 5, 8	N/A or 4,6	3	60	3000K	5,986	B2-U0-G2	0100WP4NG3X06030XXE.ies	E5	

*Also available in double bracket configuration

**New construction only



FPL®

Bollards

Illuminate pathways and landscapes

Bollards

1	Manufacturer	
	Stresscrete	
	Style	
	Concrete Lighted Bollard	
	Type	
	Standard Walkway	
	Color Temp	
	3000k	
	Lumens	
	475	



FPL®

Bracket and Poles

Discover a New Road to Efficiency

BRACKETS (Page 1 of 2)



1

Style

Standard
2', 6', 8', 12'
Side Mounted

Color

Silver



2

Style

Standard
8' Side Mounted Arm
or Standard 6', 8'
Tenon Mounted Arm

Color

Black



For pole
#4 only



3

Style

Decorative 6' Single or
Double, Tenon Mounted
Arm or Decorative
48" Pedestrian Side
Mounted Arm

Color

Black



FPL®

Brackets and Poles

Discover a New Road to Efficiency

BRACKETS (Page 2 of 2)



4

Style

Decorative Double Bracket
Tenon Mounted Arm

Color

Black
Green



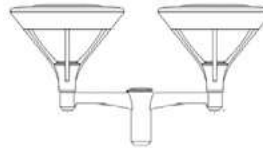
5

Style

Multiple Fixture
Configurations
Available

Color

Black
Gray
Bronze



6

Style

Decorative Double
Modern Bracket
Tenon Mounted Arm

Color

Black



7

Style

14'6" bracket with
15'6" upsweep
rise for special
applications only.
Pole 10 only

Color

Silver

POLES

Standard Concrete



1

Tenon Mount
20' (13' MH)
35' (27'6" MH)

Standard Black Fiberglass



2

Tenon Mount
13' (10' MH)
20' (15'6" MH)

Black Washington Concrete



3

Tenon Mount
23' (16' MH)

Black Octagonal Concrete



4

Tenon Mount
37' (30' MH)

Black or Green Washington Concrete



5

Tenon Mount
18.5' (14'6" MH)

Standard Wood



6

Arm Mount
35' (29' MH)
40' (33'6" MH)
45' (38" MH)

Standard Concrete



7

Arm Mount
30' (22'6" MH)
35' (27'6" MH)
40' (30" MH)
45' (35' MH)

Black Tapered Concrete



8

Tenon Mount
14'6" (10' MH)
21' (15'6" MH)
33' (24' MH)

Grey or Black Round Concrete Pole on Concrete Base
(Non-roadway Only)



9

22' pole
25' MH

Unfinished Round Tapered Concrete



10

Arm Mount
28' pole
35' MH
(For use with bracket 7 only)

Smart Pole Concrete



11

Arm Mount
49' & 43'

*MH = Approximate Mounting Height



City of DeFuniak Springs, Florida

Community Redevelopment Agency (CRA)

Plan of Finance Discussion



CRA
COMMUNITY
REDEVELOPMENT
AGENCY

August 27, 2025

PFM Financial Advisors
LLC

200 South Orange Ave
Suite 760
Orlando, FL 32801

407.648.2208
pfm.com



Agenda

↩ **Plan of Finance**

↩ **Market Update**



Plan of Finance



Series 2025 Financing

↳ Financing purpose

- Capital Improvement Projects
 - Amphitheatre Redevelopment
 - Alleyway Improvements
 - Other

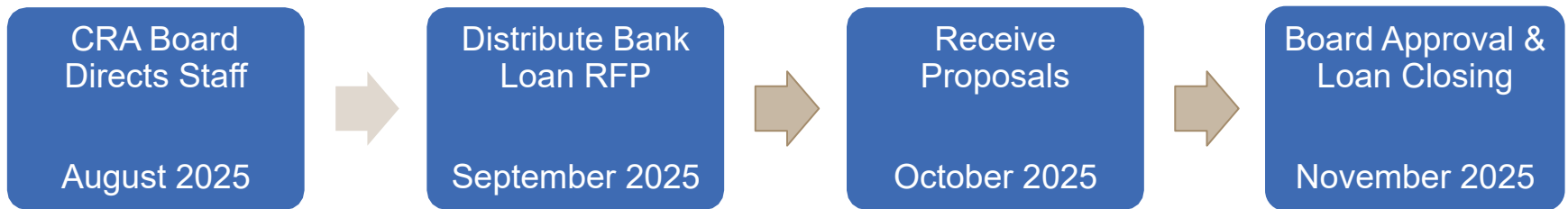
↳ Preliminary Debt Structure

- \$5 million for new money
- Average Annual Debt Service of \$800k
- Final Maturity in 2033



Recommended Plan of Finance & Timeline

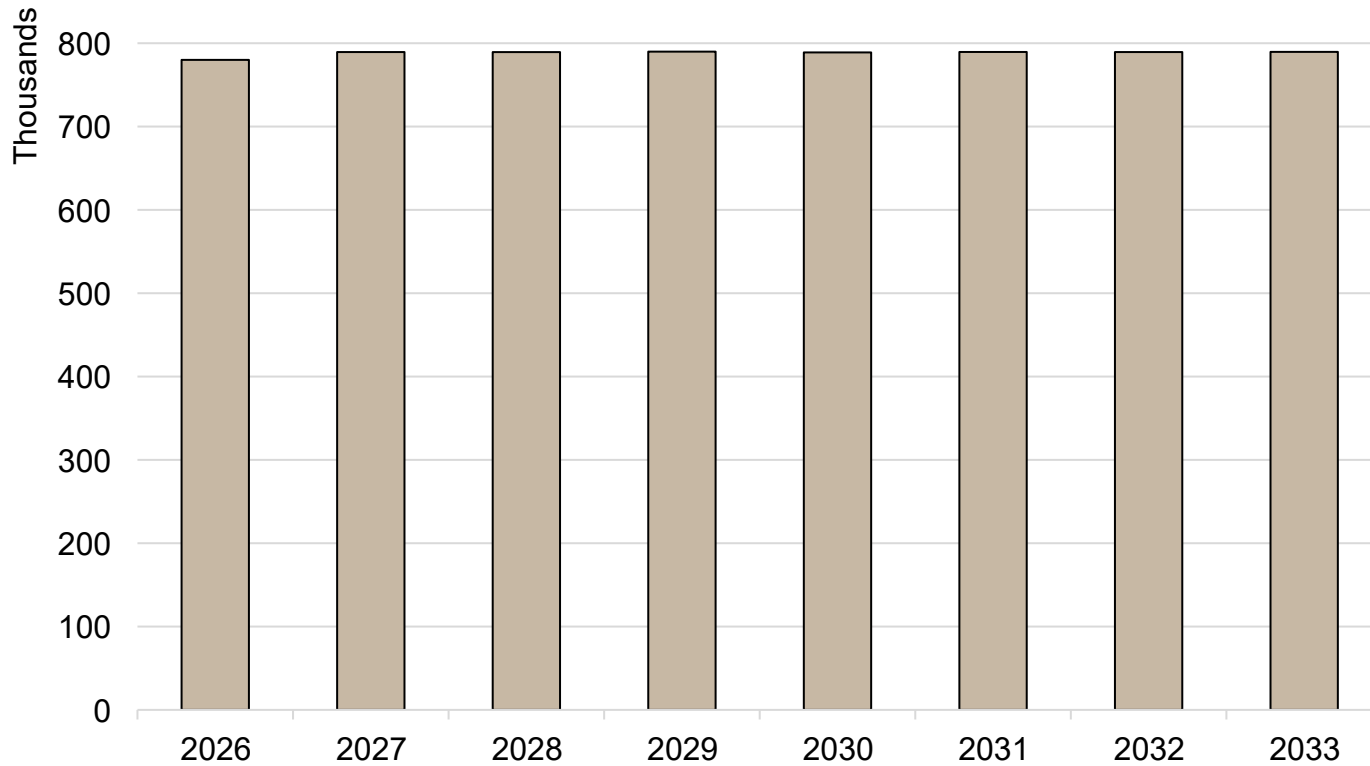
- ↪ PFM's recommended approach would be to issue a Bank Loan RFP for the Series 2025 Issuance
- ↪ Below is the estimated timeline for a Bank Loan financing:





Estimated Debt Service

Proposed Series 2025 Debt Service



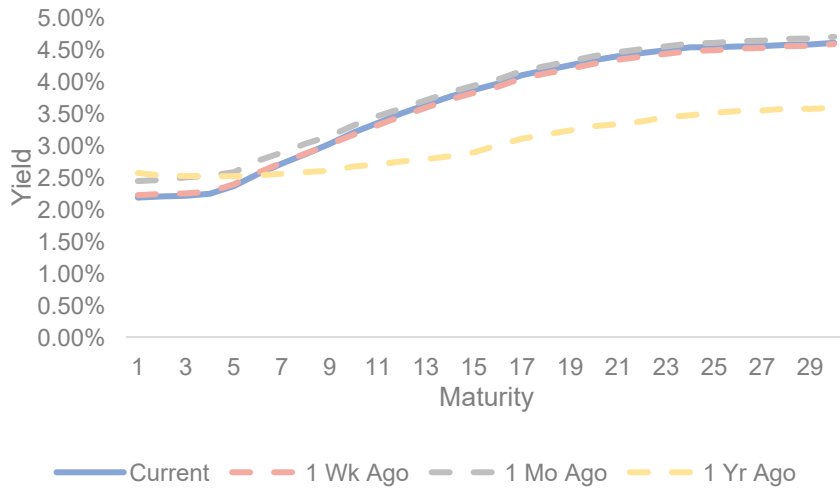


Market Update

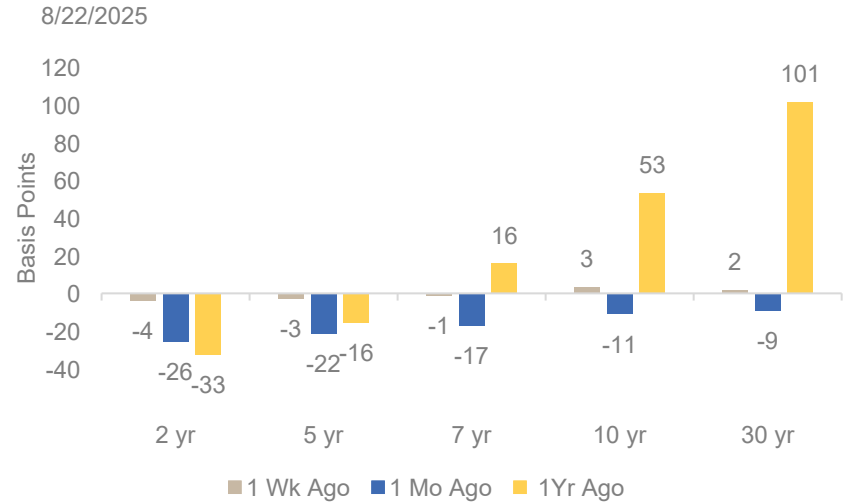


Municipal Interest Rate Movements

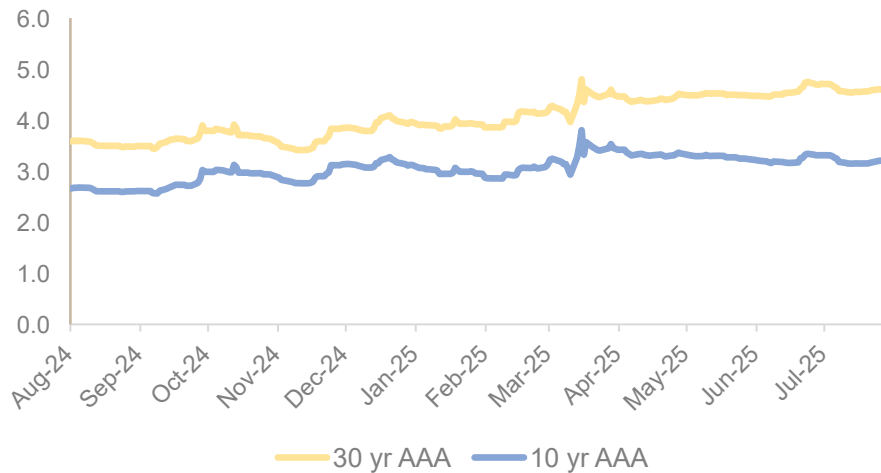
BVAL AAA G.O. Curve



BVAL AAA G.O. Yield Curve Changes



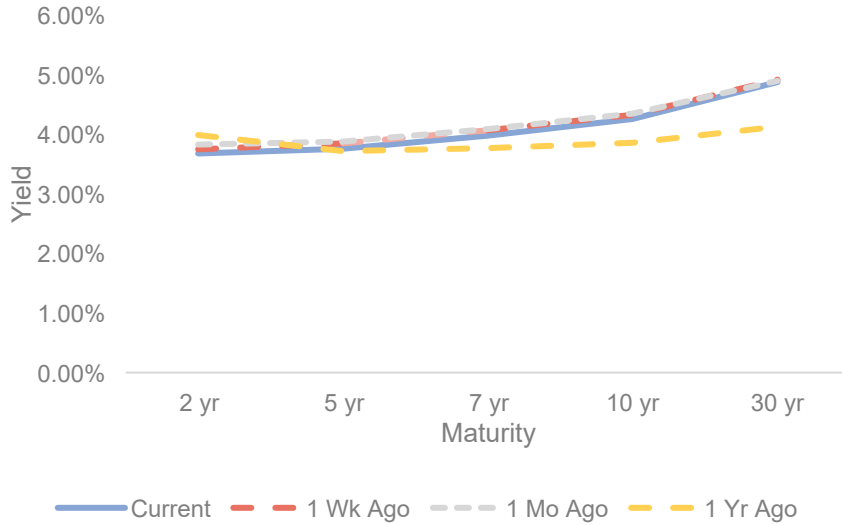
AAA Yields



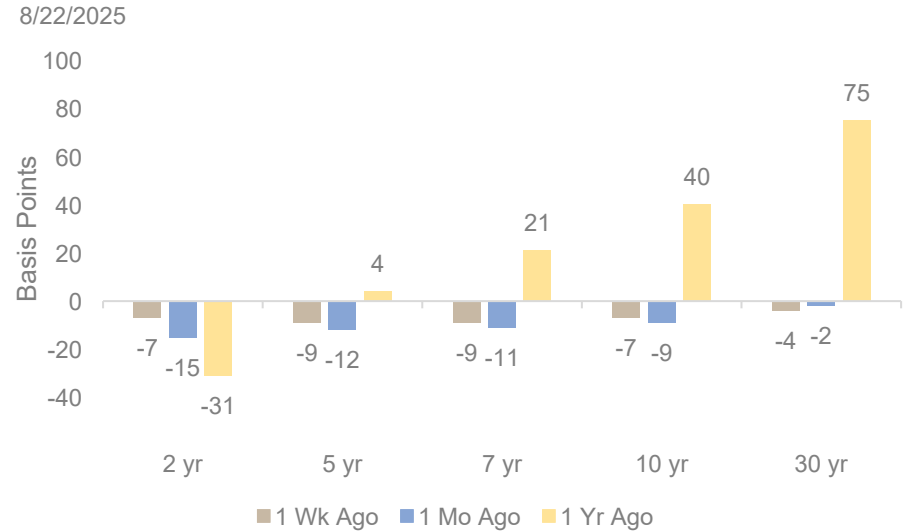


Treasury Interest Rate Movements

U.S. Treasury Yield Curve



U.S. Treasury Yield Curve Changes



Treasury Rate Movement for the Past 3 Months

Tenor	Date & Weekday																			Total Δ	8/22 Rate		
	5/23	6/2	6/9	6/16	6/23	6/30	7/7	7/14	7/21	7/28	8/4	8/11	8/12	8/13	8/14	8/15	8/18	8/19	8/20			8/21	8/22
	Fri	Mon	Mon	Mon	Mon	Mon	Mon	Mon	Mon	Mon	Mon	M	T	W	T	F	M	T	W			T	F
1	4.15	-3	1	-3	-10	-4	12	0	-2	3	-27	11	-3	-4	5	2	0	-2	-1	5	-8	-28	3.87
2	4.00	-6	7	-4	-13	-12	18	0	-5	6	-22	7	-4	-5	7	1	2	-2	-1	5	-11	-32	3.68
3	3.96	-5	8	-6	-13	-12	17	1	-5	6	-21	5	-2	-5	6	3	0	-3	-1	6	-11	-32	3.64
5	4.08	-7	8	-5	-13	-12	17	2	-7	5	-21	8	0	-6	5	3	1	-4	-1	5	-10	-32	3.76
7	4.29	-7	6	-5	-13	-12	18	3	-6	5	-23	8	0	-5	5	4	0	-3	-2	5	-9	-31	3.98
10	4.51	-5	3	-3	-12	-10	16	3	-5	4	-20	5	2	-5	5	4	1	-4	-1	4	-7	-25	4.26
20	5.03	-3	-2	-1	-10	-8	14	4	-4	2	-17	5	4	-6	5	5	1	-3	-3	3	-5	-19	4.84
30	5.04	-5	-4	1	-9	-9	14	5	-3	2	-16	4	4	-5	5	4	2	-4	-1	3	-4	-16	4.88



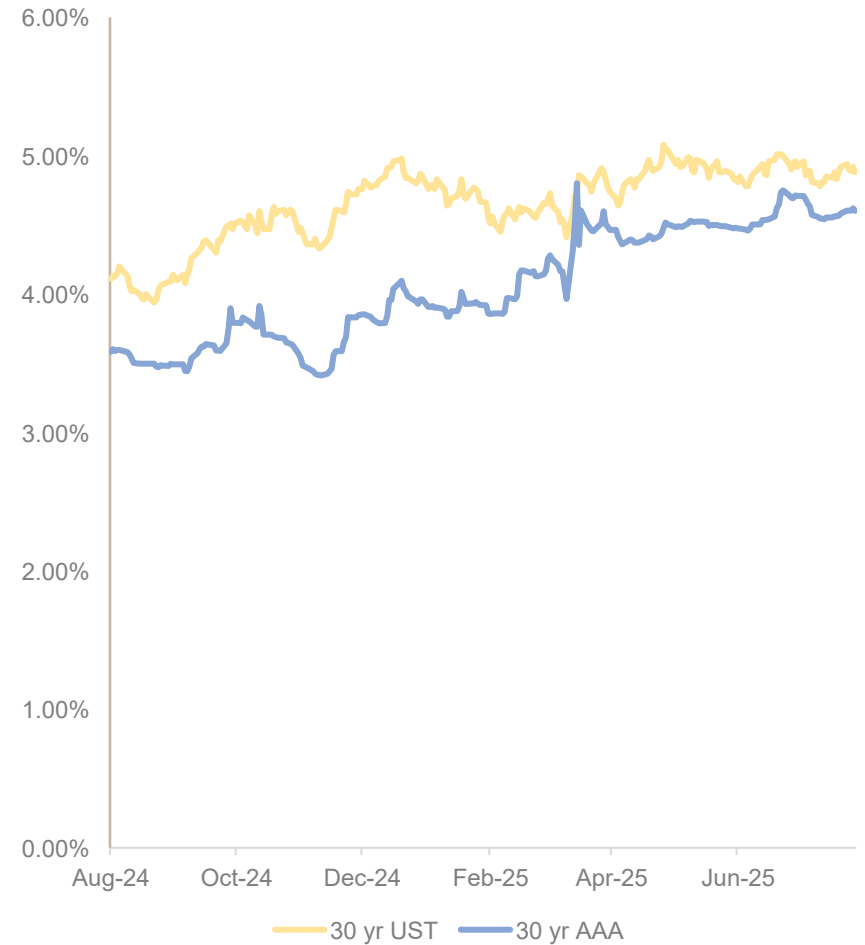
Treasury & Municipal Interest Rate Movements

10 Year and 30 Year Spots

AAA Municipal and U.S. Treasury Yields (10 year Spot)



AAA Municipal and U.S. Treasury Yields (30 year Spot)





Questions



Thank you!



pfm



Disclosures

ABOUT PFM

PFM is the marketing name for a group of affiliated companies providing a range of services. All services are provided through separate agreements with each company. This material is for general information purposes only and is not intended to provide specific advice or a specific recommendation.

Financial advisory services are provided by PFM Financial Advisors LLC a registered municipal advisor with the Securities and Exchange Commission (SEC) and the Municipal Securities Rulemaking Board (MSRB) under the Dodd-Frank Act of 2010. Additional applicable regulatory information is available upon request.

Consulting services are provided through PFM Group Consulting LLC. PFM's financial modelling platform for strategic forecasting is provided through PFM Solutions LLC. For more information regarding PFM's services or entities, please visit www.pfm.com.

August 21, 2025

Mr. Joshua R. Ervin
Executive Director
DeFuniak Springs Community Redevelopment Agency
694 Baldwin Avenue (Suite 4A)
DeFuniak Springs, Florida 32435

**Reference: Proposal for DeFuniak Springs CRA Downtown Railroad Crossing
Improvements
DeFuniak Springs, Florida
Three Notch Reference Number: R869825002**

Dear Mr. Ervin:

Three Notch Group, Inc (Three Notch) is pleased to submit this proposal to the DeFuniak Springs Community Redevelopment Agency (CRA) to provide professional civil engineering services for the above referenced project. Three Notch proposes to provide construction plans for the design of safety and infrastructure upgrades at five (5) railroad crossings located at 6th Street, 7th Street, Historic Crossing at 8th Street, Crescent Street, and 11th Street along Baldwin Avenue. The scope of work includes detailed construction plans, along with permitting, surveying, easement coordination, efficient implementation, and consistent oversight throughout the life of the project.

Our services for this proposal will generally include the following tasks to complete this project, which are hereafter described in more detail:

- **Conceptual Design**
- **Topographical and Boundary Survey**
- **Construction Plans**
- **Easements/Permitting**
- **Bid Support Services**
- **Construction Administration Services**

Conceptual Design

Three Notch will complete construction plans for the railroad crossing improvement areas along Baldwin Avenue for the intersections mentioned above. The scope of design plan preparation is anticipated to be as follows:

- Provide up to three (3) iterations layouts of the railroad crossing improvements for the CRA to review and select prior to beginning construction plan assembly.
- Opinion of Probable Costs for each conceptual drawing submitted.
- Attend one (1) in-person meeting to discuss concept(s) and approval from the CRA.

Topographical and Boundary Survey

Three Notch will engage a qualified sub-consultant to perform a topographical, existing utilities, right-of-way (ROW), and railroad location survey at five (5) railroad crossings located at 6th Street, 7th Street, Historic Crossing at 8th Street, Crescent Street, and 11th Street along Baldwin Avenue. The following items provide a more detailed description of the survey scope of work.

- Locate from ROW to ROW of the above referenced ROW area.
- Rectified Ortho Imagery to be provided.
- All work to be performed on Florida State Plane Coordinate systems.
- Survey of the natural and selected man-made features of a part of the earth's surface by remote sensing and/or ground measurements to determine horizontal and vertical spatial relations.
- Contours at 1-foot intervals; error factors shall not exceed one-half contour interval.
- Additional spot elevations at street intersections, top of curb and centerline of roads and on other hard surfaces.
- Vertical Control datum will be stated in the general notes, including a description of the benchmark upon which the survey is based.
- All data will be placed on Florida State Plane Coordinates system NAD '83 Horizontal and NAVD '88 Vertical datum based on the Florida CORS network.
- Finished Floor Elevations for all structures/buildings typically identified at a point immediately inside the threshold of the main entrance to the building. (Additional floor elevations may be provided if requested in addition to those typically furnished)
- Establishment of permanent benchmarks – minimum of two per site, giving elevations to the nearest 0.01'. Provide an additional 1 temporary benchmark for every 10 acres surveyed.
- Location of Roads, Drives, Streets – to the extent possible based upon available information – note name, jurisdiction, type of pavement, ROW.
- Sidewalks, walls, fences and all fixed improvements.
- Visible (on the surface) evidence of utility ROW/easements.
- Utilities will be requested; surveyor will locate what is marked, NO underground investigating.
- Location of all visible utilities including, but not limited to, lights standards, power poles, telephone poles, fire hydrants, manholes, traffic signal standards, valves, meters, vents, miscellaneous sign standards, pedestals, spigots, pad mounted transformers, electrical switch pads, etc.
- Consultant will perform said services in accordance with the current Standards of Practice for Land Surveying in the State of Florida.

Construction Plans

Three Notch will complete construction plans for the railroad crossings located at 6th Street, 7th Street, Historic Crossing at 8th Street, Crescent Street, and 11th Street along Baldwin Avenue. The scope of design plan preparation is anticipated to be as follows:

- Prepare a construction plan assembly detailing the proposed improvements. This plan assembly is anticipated to include the following sheets:
 - Title/Index Sheet
 - Project Notes
 - Project Details
 - Temporary Traffic Control Plan Notes Sheet
 - Plan Sheets
 - Erosion and Sediment Control Sheets
 - Temporary Traffic Control Sheets
- Completion of project specifications and contract book.
- Prepare construction cost estimates for each submittal for review and consideration of the CRA.
- Submittal of comprehensive design package to the CRA for review and approval. To facilitate approval of final plans, we propose the following review schedule:
 - 30% Plan Submittal
 - 90% Plan Submittal
 - Final Plan Submittal
- Attend an in-person design review meeting for the 30% and Final Plan submittal milestones.

Easements/Permitting

Three Notch will be responsible for coordinating with the Pinsly Railroad Company (Pinsly) to secure all necessary easements, licenses, and permits required for construction of pedestrian sidewalk improvements across the railroad right-of-way at the six designated locations. This scope includes:

- Preparing and submitting permit applications, supporting documentation, and plan sets as required by Pinsly.
- Facilitating communication with Pinsly representatives to address technical, safety, and operational requirements.
- Coordinating review and responding to comments or requests for revisions to permit applications.
- Assisting the Client in executing any required agreements with Pinsly, including license or easement agreements.
- Monitoring the permit review process to ensure timely approvals in support of the project schedule.

- Providing documentation of all approved permits and easements to the Client prior to construction.
- All associated application fees, railroad review fees, and costs for legal agreements with Pinsky shall be borne by CRA. Three Notch's role is limited to coordination and facilitation of approval; however, it does not guarantee approval of permits or easements by Pinsky.

Bid Support Services

Three Notch will support the CRA during the bidding phase of the project by providing the following services:

- Three Notch will develop a comprehensive bid package that includes the project manual, technical specifications, and construction plans to clearly define the project scope and expectations for prospective bidders.
- Respond to Contractor requests for information during bid procurement
- Assistance and attendance with local bid letting (advertisement fees to be paid by CRA).
- Upon receipt of bids, Three Notch will conduct a detailed review to ensure compliance with the bid package requirements.
- A formal bid tabulation will be prepared and certified summarizing all submitted bids. Three Notch will then provide a letter for Recommendation of Award.

Construction Administration Services

To support successful completion of the project during the construction phase, Three Notch will provide the following services as an allowance upon direction and approval from the CRA:

- Three Notch will attend and assist the CRA with a pre-construction meeting to review the project scope, schedule, and communication protocols with project stakeholders.
- Receive and review contractor submittals for general conformance with the design intent and contract documents.
- Three Notch will provide part-time site observations at key milestones or as requested to monitor conformance with the design intent, specifications, and approved plans.
- Three Notch will review Contractor's request for payments for accuracy and consistency with observed progress.
- Three Notch will attend a final project walk-through upon substantial completion to develop a punch list of outstanding items. We will also assist the CRA in confirming that all punch list items are addressed and make a final recommendation for acceptance of work.

Project Fee

Three Notch proposes to complete the above-described scope of services on a lump sum basis in the amount of **\$71,750**.

The cost of each of these services is provided in the table below:

Project Phase	Proposed Fee
Conceptual Design	\$5,980
Topographical and Boundary Survey	\$11,000
Construction Plans	\$25,970
Easements/Permitting	\$8,530
Bid Support Services	\$3,600
Construction Administration Services	\$16,670
TOTAL	\$71,750

Please note that the following services are excluded from this proposal:

- Geotechnical Services and asphalt corings
- Utility Relocation Design
- Environmental Permitting
- Contract Procurement (provided by Owner)
- Full-time Construction Engineering & Inspection Services
- Materials Testing

We appreciate the opportunity to submit this proposal. Should you have any questions or need additional information regarding the proposal contents, please do not hesitate to call.

Sincerely,

Three Notch Group, Inc.



T.J. Kelley, P.E.
Project Manager

TASK ORDER NO. 25-04-CRA
PROFESSIONAL ENGINEERING SERVICES
FOR **Downtown Railroad Crossing Improvements**

1. BACKGROUND

The CRA is in need of professional engineering services for the design of safety and infrastructure upgrades at the railroad crossings located at 6th, 7th, Historic Crossing at 8th, Crescent, and 11th Streets along Baldwin Avenue. The scope of work includes detailed construction plans, along with permitting, surveying, easement coordination, bid-phase support, and construction administration. These services will ensure regulatory compliance, efficient implementation, and consistent oversight throughout the life of the project.

2. SCOPE OF SERVICES

Scope of services shall consist at a minimum of the following engineering design services:

- Conceptual design(s)
- Boundary/Topographic Surveying
- Design
- Easements/permitting
- Bid Support Services
- Construction Administration Services

3. DELIVERABLES

Deliverables shall consist at a minimum of the following:

- Concept drawings and Engineer's Opinion of Cost
- Survey(s)
- 30% Complete Design Plans and Engineer's Opinion of Cost
- 90% Complete Design Plans and Engineer's Opinion of Cost
- 100% Final Plan Set, Specifications, and cost estimate

Consultant shall be available to meet with CRA Staff at each submittal and as necessary to complete the project. All submittals to the CRA should be provided in a digital format and include two hard copies.

4. SCHEDULE

30 days from Notice to Proceed

- Survey(s)
- Provide conceptual design(s)
- Attend one (1) in-person meeting to discuss concept(s) and approval from CRA/City

60 days from Notice to Proceed

- Submit 30% Plan Set for review and approval to CRA/City

90 days from Notice to Proceed

- Submit 90% Plan Set, Specifications, and cost estimate for review

120 days from Notice to Proceed

- Submit 100 % Final Plan Set and permit package to CRA/City for one (1) in-person review and approval

140 days from Notice to Proceed

- Assist CRA with bidding of projects

180 days from Notice to Proceed
• Provide construction administration services

Upon Receipt of approval from CRA/City

• Provide to the CRA signed and sealed 100% Plan Set & Specifications & all supporting design documentation

4. COMPENSATION

Provide not to exceed detailed manhour estimate based on above-described scope of services and continuing engineering services approved rate schedule.

5. OTHER PROVISIONS

Additional Boundary & Topographic Surveying if required

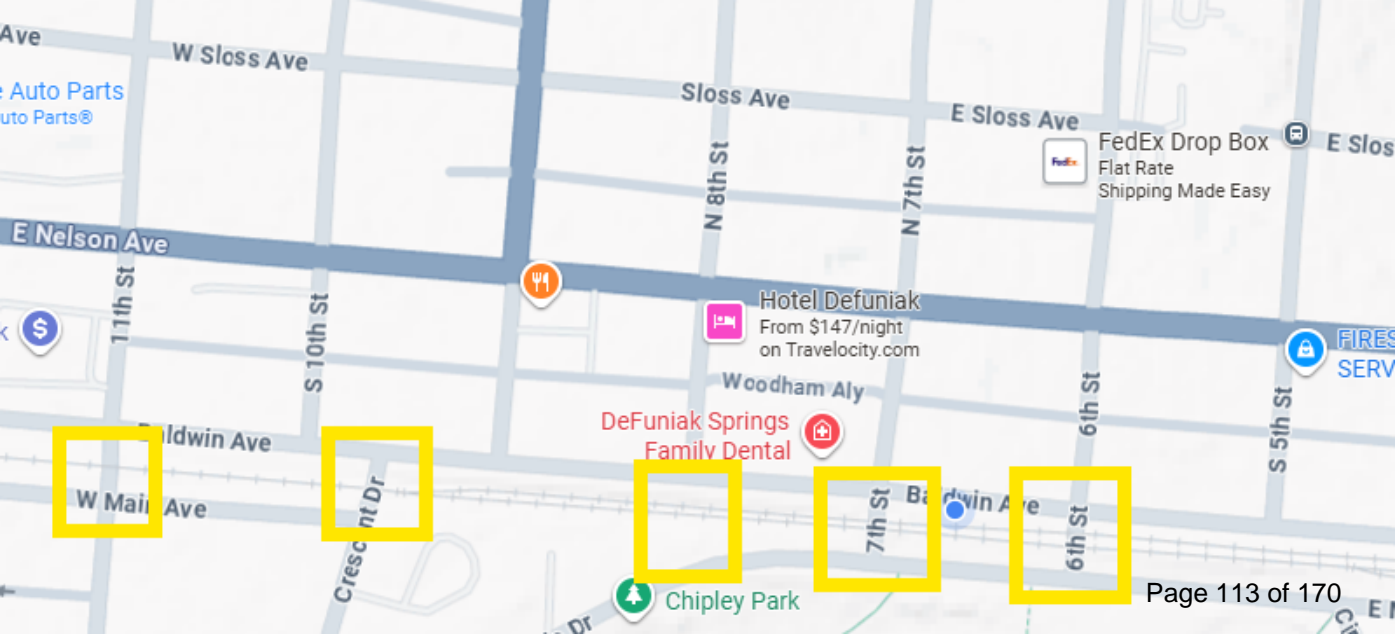
Task Work Order by: _____
Joshua R. Ervin
Executive Director

Date: _____

Proposal Approval by: _____
CRA Board Chairman

Date: _____

Board Approved on: _____



Auto Parts
Auto Parts®

W Sloss Ave

Sloss Ave

E Sloss Ave

FedEx Drop Box
Flat Rate
Shipping Made Easy

E Nelson Ave

N 8th St

N 7th St

Hotel Defuniak
From \$147/night
on Travelocity.com



Woodham Aly

DeFuniak Springs
Family Dental



FIRE
SERV

11th St

S 10th St

6th St

S 5th St



W Main Ave

Crescent Dr

7th St

Baldwin Ave

6th St

Chipley Park

TENTH ST

NINTH ST

EIGHTH ST

SEVENTH ST

AFE 61913
COMP. 10-31-68
AUTH. 7-29-68



65+72.50
64+92.50

6467+78

PS 68+58.50

6573+11

7470S

74770

7200 S LWS

ROAD

BALDWIN

To Pensacola

To Chattahoochee

Fence to protect soil

Subsidence wall

Passenger Station

V-65
39

Station site address
8 1/2 E 255

T STREET

HOSIERY MILL



Retire Butterfly Shed

PARK

WRIGHT

6473+26

Sidewalk crossing on RRW covered by
Cooper with City of Defunick Springs,
dated August 13, 1910.

76412

76407

76406

77450

DEFUNICK SPRINGS
WALTON Co., FLA.

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C-91



DAG Architects

DeFuniak Springs CRA
 Joshua Ervin
 694 Baldwin Avenue
 DeFuniak Springs, FL 32435

Invoice number 25064_0725
 Date 07/31/2025

Project 25064 LAWSON AMPHITHEATER
 REDEVELOPMENT

Professional Architectural Services

PO 2025-01931

Description	Contract Amount	Percent Complete	Prior Billed	Total Billed	Current Billed
Task 1	32,500.00	12.89	0.00	4,188.75	4,188.75
Task 2	44,900.00	0.00	0.00	0.00	0.00
Task 3	57,300.00	0.00	0.00	0.00	0.00
Task 4	18,400.00	0.00	0.00	0.00	0.00
Task 5	27,600.00	0.00	0.00	0.00	0.00
Total	180,700.00	2.32	0.00	4,188.75	4,188.75

Invoice total **4,188.75**

Aging Summary

Invoice Number	Invoice Date	Outstanding	Current	Over 30	Over 60	Over 90	Over 120
25064_0725	07/31/2025	4,188.75	4,188.75				
	Total	4,188.75	4,188.75	0.00	0.00	0.00	0.00

We appreciate your business. Please remit payment at your earliest convenience to: DAG Architects Inc., 1223 Airport Road, Destin, FL 32541. If you have any questions, please contact Michelle Neu, Tammi Roberts or Kara Kaegebein at 850.837.8152 or accounting@dagarchitects.com.

Note: The general hold harmless provisions of IRC Section 142(d)(2)(E) mean that projects with at least one building placed in service on or before the end of the 45-day transition period for newly-released limits use whichever limits are greater, the current-year limits or the limits in use the preceding year.

HUD release: 4/1/2025

Effective: 4/1/2025

Implement on/before: 5/15/2025

2025 Income Limits and Rent Limits
Florida Housing Finance Corporation
Multifamily Rental Programs and CWHIP Homeownership Program

NOTE: Does not pertain to CDBG-DR, HHRP, HOME, NHTF or SHIP

County (Metro)	Percentage Category	Income Limit by Number of Persons in Household										Rent Limit by Number of Bedrooms in Unit					
		1	2	3	4	5	6	7	8	9	10	0	1	2	3	4	5
Walton County (Walton County HMFA)	20%	13,840	15,820	17,820	19,780	21,380	22,960	24,540	26,120	27,692	29,274	346	370	445	514	574	633
	25%	17,300	19,775	22,275	24,725	26,725	28,700	30,675	32,650	34,615	36,593	432	463	556	643	717	791
	28%	19,376	22,148	24,948	27,692	29,932	32,144	34,356	36,568	38,769	40,984	484	519	623	720	803	886
	30%	20,760	23,730	26,730	29,670	32,070	34,440	36,810	39,180	41,538	43,912	519	556	668	771	861	949
	33%	22,836	26,103	29,403	32,637	35,277	37,884	40,491	43,098	45,692	48,303	570	611	735	848	947	1,044
	35%	24,220	27,685	31,185	34,615	37,415	40,180	42,945	45,710	48,461	51,230	605	648	779	900	1,004	1,108
	40%	27,680	31,640	35,640	39,560	42,760	45,920	49,080	52,240	55,384	58,549	692	741	891	1,029	1,148	1,266
	45%	31,140	35,595	40,095	44,505	48,105	51,660	55,215	58,770	62,307	65,867	778	834	1,002	1,157	1,291	1,424
	50%	34,600	39,550	44,550	49,450	53,450	57,400	61,350	65,300	69,230	73,186	865	926	1,113	1,286	1,435	1,583
	60%	41,520	47,460	53,460	59,340	64,140	68,880	73,620	78,360	83,076	87,823	1,038	1,112	1,336	1,543	1,722	1,899
	70%	48,440	55,370	62,370	69,230	74,830	80,360	85,890	91,420	96,922	102,460	1,211	1,297	1,559	1,800	2,009	2,216
	80%	55,360	63,280	71,280	79,120	85,520	91,840	98,160	104,480	110,768	117,098	1,384	1,483	1,782	2,058	2,296	2,533
	90%	62,280	71,190	80,190	89,010	96,210	103,320	110,430	117,540	124,614	131,735	1,557	1,668	2,004	2,315	2,583	2,849
	100%	69,200	79,100	89,100	98,900	106,900	114,800	122,700	130,600	138,460	146,372	1,730	1,853	2,227	2,572	2,870	3,166
	110%	76,120	87,010	98,010	108,790	117,590	126,280	134,970	143,660	152,306	161,009	1,903	2,039	2,450	2,829	3,157	3,482
120%	83,040	94,920	106,920	118,680	128,280	137,760	147,240	156,720	166,152	175,646	2,076	2,224	2,673	3,087	3,444	3,799	
140%	96,880	110,740	124,740	138,460	149,660	160,720	171,780	182,840	193,844	204,921	2,422	2,595	3,118	3,601	4,018	4,432	
Median: 99,500																	
HERA Special Limits per Section 142(d)(2)(E)	25% - HS	17,425	19,900	22,400	24,875	26,875	28,875	30,850	32,850	34,825	36,815	435	466	560	646	721	796
	28% - HS	19,516	22,288	25,088	27,860	30,100	32,340	34,552	36,792	39,004	41,233	487	522	627	724	808	891
	30% - HS	20,910	23,880	26,880	29,850	32,250	34,650	37,020	39,420	41,790	44,178	522	559	672	776	866	955
For use by projects that placed in service at least one building on or before 12/31/2008	33% - HS	23,001	26,268	29,568	32,835	35,475	38,115	40,722	43,362	45,969	48,596	575	615	739	853	952	1,051
	35% - HS	24,395	27,860	31,360	34,825	37,625	40,425	43,190	45,990	48,755	51,541	609	653	784	905	1,010	1,114
	40% - HS	27,880	31,840	35,840	39,800	43,000	46,200	49,360	52,560	55,720	58,904	697	746	896	1,035	1,155	1,274
	45% - HS	31,365	35,820	40,320	44,775	48,375	51,975	55,530	59,130	62,685	66,267	784	839	1,008	1,164	1,299	1,433
	50% - HS	34,850	39,800	44,800	49,750	53,750	57,750	61,700	65,700	69,650	73,630	871	933	1,120	1,293	1,443	1,592
	60% - HS	41,820	47,760	53,760	59,700	64,500	69,300	74,040	78,840	83,580	88,356	1,045	1,119	1,344	1,552	1,732	1,911
80% - HS	55,760	63,680	71,680	79,600	86,000	92,400	98,720	105,120	111,440	117,808	1,394	1,493	1,792	2,070	2,310	2,548	



Income-Based Roof Improvement Grant Application

DeFuniak Springs Redevelopment Agency · 694 Baldwin Ave., DFS, FL 32435 · (850) 951-3054 · defuniakspringscra.com

Please PRINT or TYPE. Fill out completely. If field does not apply, put N/A. **INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED**

Date Application Submitted **7-30-25** Application Number *(to be completed by CRA)*

APPLICANT'S INFORMATION

Property Owner(s)	Shannon Bexley	Social Security Number(s)	[Redacted]
Mailing Address	432 South 19th Street DeFuniak Springs, FL 32435	Household Size	2
Phone Number	850.830.0863	Employed	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
Email Address	sbexley@hotmail.com		

PROPERTY OWNER INFORMATION (if different from applicant)

Additional Owner	N/A	Phone Number	
Additional Owner Address		Email Address	

PROPERTY AND PROJECT INFORMATION

Physical Address of Property **432 S 19th Street**

Parcel Number **25-3n-19-19070-001-8957**

Does this property have a mortgage lien? YES NO
 If "Yes", name of lien holder: **Regions Bank** Balance: \$ **14,834.23**

Have you received any CRA improvement grants in the last thirty-six (36) months? YES NO

If "YES" above, provide details (date, address of property improved, amounts, etc.):

Project Description *(Attach additional sheet if needed)*

Roof removal and replacement

Project Budget

Please provide details of all estimated costs for the roofing project. Include ALL expenses so the entire scope of the project can be understood, and an eligibility determination can be made. Only eligible expenses will be reimbursed. *(Attach additional sheets if needed)*

Project/Category Item	Estimated Cost	Eligible Expense? (Y/N) <i>To be filled out by CRA</i>
New shingle roof	1 \$7,400	
	2	
	3	
	4	
	5	
	6	
Sub-Total (items 1-6)		
Eligible Expenses TOTAL (to be filled out by CRA)		

It is not guaranteed that award funding/reimbursement will increase if final costs exceed initial estimates. Please estimate project costs carefully.

Shannon Bexley
Print Name

S Bexley
Signature of Applicant

7-30-2025
Date

APPLICATION CHECKLIST

All applicants must submit a completed application including all requirements attached and organized prior to the start of any work to be considered for grant funding. No work can begin before approval has been received.

The following is required with your initial application, before the start of any work:

- Completed and signed application
- Proof that property is homestead exempt
- Proof that household income does not exceed 50% of the Walton County Area Median Income (AMI) as published annually by U.S. Department of HUD
- Four (4) photographs clearly showing existing conditions of the building to be improved
- Project Budget
- Copy of property / liability insurance
- Copy of Contractor's Florida License
- Proof of property ownership
- Proof that all taxes are paid on property
- Proof that no liens exist for which payment on associated debt is delinquent
- Documentation identifying that any loans and mortgages on the property are current and in good standing, or a copy of the title if no mortgage exists
- Two (2) estimates / quotes (CRA staff will assist)
- W9 Forms, Identification

The following is required to be provided upon completion of work:

- Photographs of all completed work
- Copies of all invoices, and proof of payment including but not limited to: verification of all project costs, including contractor invoicing, lien releases, and evidence of payment of all expenses, including any match (copies of checks, credit card receipts, etc.)
- Evidence that work was performed by licensed and insured contractors, where required
- Evidence that utilities are up to date
- No Code Enforcement fines and/or liens for which payment on associated debt is delinquent
- All Regulatory Requirements have been met (building inspections, approvals and final completions, etc.)

Estimated Cost of Project	Grant Amount Requested	\$ _____
----------------------------------	-------------------------------	-----------------

Shannon Bexley
Print Name

S. Bexley
Signature of Applicant

7-30-2025
Date

HOUSEHOLD:

#	FULL NAME	RELATIONSHIP	DATE OF BIRTH	SOCIAL SECURITY #
1	Shannon Renee' Bexley	Applicant	5-5-75	[REDACTED]
2	Autumn Jasmarié Davis	daughter	12-8-06	
3				
4				

***For more than 4 household members please provide a letter indicating full name, relationship to applicant, date of birth and social security number for all other household members.**

**APPLICANT
ACKNOWLEDGEMENT FORM**

By requesting financial assistance, I understand and agree with the following conditions:

Filing an application does not guarantee funding, and approval of grant funds does not guarantee issuance until all requirements have been fulfilled.

Applicant understands the Income-Based Roofing Improvement Grant Program is income-based, thereby requiring proof of income. Household income shall not exceed 30% of the Walton County Area Median Income, as published annually by the United States Department of HUD.

All improvements must follow plans as approved by the CRA Income-Based Roofing Improvement Grant Program.

Any properties owned by the applicant and sought to be improved with the grant hereby applied for may not be involved in court action with the City of DeFuniak Springs. If applicable, the applicant must verify code enforcement actions currently active against the building or the business and that the work undertaken in conjunction with the improvement project will incorporate mitigation of code violations.

All improvements must comply with all applicable Walton County building code requirements, local ordinances, permit requirements, and established design and historic preservation standards for the designated area.

Eligible activities include repairs to eligible homesteaded residential buildings within the DeFuniak Springs CRA Redevelopment Area. These repairs may include repair and/or replacement of roofing. The roof must show obvious signs of leakage or damage. The DeFuniak Springs CRA will provide a licensed and insured contractor to conduct roof improvements in accordance with city procurement policies.

No improvements should be made prior to the issuance of an Approval in writing, and no grants will be awarded retroactively. Any changes made to the project that have not been approved will not be eligible for funding and may disqualify the entire project for reimbursement. Grant funds cannot reimburse past projects.

Following issuance of the Income-Based Roofing Improvement Grant award, the applicant shall have one (1) calendar year to complete the approved project. Where substantial project completion has not begun within one calendar year, or where substantial progress has not been made during any six-month period following commencement of project, the approved grant application shall be reevaluated by the appropriate bodies. One extension of 180 calendar days may be granted by the CRA Director on request of the applicant, if the request is made at least 30 days prior to expiration and where conditions or codes have not changed, to affect the public health, safety and welfare of the citizens of the city. Extensions granted will begin on the last day of the original application expiration date. All requests must be in writing and must be received before any consideration is given.

Final payment will be made only after the work has been completed and a final inspection has been made by CRA and/or City Staff to determine that the work has been satisfactorily and entirely completed according to approved plans and specifications and building requirements.

All work shall be performed by a Florida licensed and insured contractor. Work/labor performed by the property owner, relative or tenant, even if a licensed contractor, will not be reimbursed for work done on an owner's own property.

All improvements/changes that have been approved should be maintained for at least three (3) years. To the fullest extent of the law, the applicant shall indemnify and hold harmless DeFuniak Springs from and against any and all liability, claims, demands, damages, expenses, fees, fines, penalties, suits, proceedings, actions and cost of actions, including reasonable attorney's fees, of any kind or nature arising or growing out or in any way connected with the performance of the improvement. The program is a one-time service per property owner.

Applicant's Certification:

I have read and understand this application. I hereby submit this application, together with the attached photos, plans, and additional supporting documentation for the proposed project. I understand that the City of DeFuniak Springs Community Redevelopment Agency, hereinafter referred to as "Agency," must approve the application. I further understand that if I accept the award, I will comply with all the requirements contained therein. No funding will be awarded until a completed application has been approved by the Agency and the required items from the checklists have been submitted to CRA/City satisfaction. At the discretion of the Agency, I agree to place a program sign on my property for the duration of the project. I understand the project must be completed within one year of grant approval, or the approval and funding shall expire unless appropriate grant extension approvals are secured. I understand that this income-based grant program is a one-time service per property owner.

Shannon Bexley
Print Name


Signature of Applicant

7-30-2025
Date

PLEASE READ - GENERAL INFORMATION FOR APPLICANTS ABOUT CRA ELIGIBILITY PARAMETERS, LIMITATIONS and REQUIREMENTS

Eligible Improvements: Eligible projects must be to a homestead exempt residential building with obvious signs of roof leakage and/or damage, that are visible (street facing) portions of structure or site. The program can fund up to 100% of cost incurred per eligible project, upon approval of CRA Board.

<p>Program details:</p> <ul style="list-style-type: none"> • Roof MUST show obvious signs of leakage and/or damage • CRA staff and/or hired contractor(s) will inspect the roof to determine the extent of repair. • Through city procurement policies, the CRA will provide a licensed and insured contract to perform roofing improvement services. • Once application has been marked as complete, the grant application will be placed on the next regular scheduled CRA Board Meeting Agenda. 	<p>Requirements:</p> <ul style="list-style-type: none"> • Improvements MUST be visible from the district / corridor • Improvements MUST be completed within one year of project approval • Grant funds CANNOT reimburse past projects (no retroactive reimbursement allowed) • Applicant or family member CANNOT receive financial benefit from this grant • Improvements MUST comply with Walton County's building codes, local ordinances, and permit requirements
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Program funds cannot be used for the following:

- Services performed by a non-licensed contractor, where permitting is required
- Repairs made in response to citations by the City's Code Enforcement Department
- New building construction
- Work/labor performed by the property owner, relative or tenant (materials purchased by the owner may qualify; however, labor performed by the property owner, relative or tenant, even if a licensed contractor, will not be reimbursed for work done on an owner's own property)

Vendor/Quotation Requirements:

- Vendor **MUST** be licensed to work and pull permits in City of DeFuniak Springs and Walton County, where required
- Vendor **CANNOT** start the project until the approval is issued by CRA program office
- Quote **MUST** be on the vendor's letter head and include **ALL** costs associated with the project (cost of permits, use agreements, design, site plans, surveying, engineering, etc.).
- Vendors cannot be a relative of or the applicant of the grant program
- DeFuniak Springs recommends that the vendor provide a certificate of insurance with Workers' Compensation (\$100k), Commercial General Liability (\$500k), and Business Automobile Liability (\$100k)

CRA Regular Grants and Special Consideration Grants will be based on the building type and size, per the chart below:

Building type and size:	Regular Grant (total)
Single-family Homestead Exempt Residential	Up to \$20,000

I have read and understand the above CRA ELIGIBILITY PARAMETERS, LIMITATIONS, REQUIREMENTS and AWARD AMOUNTS.

Shannon Bexley
Print Name


Signature of Applicant

7.30.2025
Date



EMPLOYMENT HISTORY:

1. APPLICANT

CURRENT EMPLOYER:

NAME: WCBCC (HHS Dept.)

PHONE: 850.892.8185

ADDRESS: 63 Bobete Manor Rd

DATES EMPLOYED: 5.22.2023

POSITION: ISS Coordinator

SUPERVISOR: Tom Baker

PREVIOUS EMPLOYER:

NAME: Childrens Clinic

PHONE: 850.689.0555

ADDRESS: 160 E. Redstone Ave

DATES EMPLOYED: 2009 - 2.1.2018

POSITION: Receptionist

SUPERVISOR: Pat Lujan

2. CO-APPLICANT

CURRENT EMPLOYER:

NAME: N/A

PHONE: _____

ADDRESS: _____

DATES EMPLOYED: _____

POSITION: _____

SUPERVISOR: _____

PREVIOUS EMPLOYER:

NAME: _____

PHONE: _____

ADDRESS: _____

DATES EMPLOYED: _____

POSITION: _____

SUPERVISOR: _____

PLEASE PROVIDE EMPLOYMENT INFORMATION AND SUPPORTING DOCUMENTATION FOR ALL OTHER WORKING HOUSEHOLD MEMBERS AGE 18 YEARS OR OLDER, OR A NOTARIZED AFFIDAVIT CONFIRMING UNEMPLOYMENT, AND STATING SOURCE OF FINANCIAL SUPPORT.




SOURCE(S) OF ANNUAL INCOME:

SOURCE	APPLICANT	CO-APPLICANT	OTHER HOUSEHOLD MEMBER	TOTAL
GROSS ANNUAL SALARY*	44,749.70	N/A	N/A	44,749.70
OVERTIME, TIPS, BONUSES	0			
SOCIAL SECURITY INCOME	0			
SSI	0			
RETIREMENT/PENSION/VA	0			
UNEMPLOYMENT	0			
WORKERS COMPENSATION	0			
WELFARE PAYMENTS	0			
WELFARE PAYMENTS	0			
BUSINESS NET INCOME	0			
INTEREST/DIVIDENDS	0			
OTHER INCOME	0			

*ANNUAL SALARY PRIOR TO DEDUCTIONS

PROVIDE SUPPORTING DOCUMENTATION FOR ALL ANNUAL INCOME SOURCES RECEIVED BY THE APPLICANT, CO-APPLICANT, AND/OR HOUSEHOLD MEMBERS, AND/OR A NOTARIZED AFFIDAVIT CONFIRMING LACK OF INCOME, AND EXPLAINING SOURCE OF FINANCIAL SUPPORT FOR ALL HOUSEHOLD MEMBERS AGES 18 YEARS OR OLDER.

The information provided above is true and complete to the best of my knowledge and belief. I consent to the disclosure of such information for purposes of income verification related to my application for assistance under DeFuniak Spring's Community Redevelopment Agency Income-Based Roof Improvement Program. I understand that any willful misstatement of material facts will be grounds for disqualification and may result in legal action against me. I understand the information provided is required to determine assistance eligibility and does not assure qualification for assistance. I agree to provide other documentation as may be required to determine my eligibility for assistance under this program.

Applicant Signature: 

Date: 7.30.2025

Co-Applicant Signature: N/A

Date: _____

THIRD-PARTY ASSET VERIFICATION FORM
 Checking, Savings, Certificate of Deposit, and Money Market Accounts



Name of Financial Organization: Regions

PLEASE RETURN FORM TO:
 DeFuniak Springs Community Redevelopment Agency
 694 Baldwin Avenue, Suite 4
 DeFuniak Springs, FL 32435
 Phone: 850-951-3054
 Email: cradirector@defuniakspringscra.com

Address: _____

SUBJECT: **Verification of Information Supplied by an Applicant for the DeFuniak Springs CRA Income-Based Roof Improvement Grant Program**

NAME: Shannon Bexley

ADDRESS: 432 South 19th Street DeFuniak Springs, FL 32435

This person has applied for assistance under a program of the DeFuniak Springs CRA. The CRA requires the housing owner to verify all information that is used in determining this person's eligibility or level of benefits.

We ask your cooperation in providing the following information and returning it to the person listed at the top of the page. Your prompt return of this information will help to ensure timely processing of the application for assistance. The applicant/tenant has consented to this release of information as shown below.

Area to be completed by Financial Organization
 (Please answer all questions. Answer N/A if the question does not apply.)

Checking Account

Account # 5401355805 Average Balance for Previous Six (6) Months: \$1062.66 Interest Rate: N/A Date Account Opened: 10/1/01 Date Account Closed: _____
 Account # _____ Average Balance for Previous Six (6) Months: \$ _____ Interest Rate: _____ Date Account Opened: _____ Date Account Closed: _____

Savings Account

Account # _____ Current Balance: \$ _____ Interest Rate: _____ Date Account Opened: _____ Date Account Closed: _____
 Account # _____ Current Balance: \$ _____ Interest Rate: _____ Date Account Opened: _____ Date Account Closed: _____

Certificates of Deposit

Account # _____ Current Value _____ Rate of Interest: _____ Cash Value* _____
 *Cash value is the current value minus penalties for early withdrawal or cost to convert to cash (broker fees, etc.)
 Account # _____ Current Value _____ Rate of Interest: _____ Cash Value* _____
 *Cash value is the current value minus penalties for early withdrawal or cost to convert to cash (broker fees, etc.)
 Account # _____ Current Value _____ Rate of Interest: _____ Cash Value* _____
 *Cash value is the current value minus penalties for early withdrawal or cost to convert to cash (broker fees, etc.)

Money Market

Account # _____ Current Value _____ Rate of Interest: _____ Cash Value* _____
 *Cash value is the current value minus penalties for early withdrawal or cost to convert to cash (broker fees, etc.)

Jammy Brown / Branch Mgr. Regions Bank Jammy Brown 8/4/25
 Name and Title of Person Supplying the Information Firm/Organization Name Signature Date

RELEASE: I hereby authorize the release of the requested information. Information obtained under this consent is limited to information that is no older than 12 months. There are circumstances that would required the owner to verify information that is up to 5 years old, which would be authorized by me on a separate consent attached to a copy of this consent.

S Bexley 7.30.2025
 Signature Date

Please return the form to the address listed above. Thank You

HOLD HARMLESS AGREEMENT

I, hereinafter referred to as the Applicant, do hereby agree to hold DeFuniak Springs CRA and the State of Florida, as well as their respective agents, assigns, and/or employees, harmless from any action regarding roof replacement services. It is further understood and agreed that in consideration for assistance provided by DeFuniak Spring's Community Redevelopment Agency for the Income-Based Roof Improvement Program applicant hereby agrees to defend, indemnify and hold harmless DeFuniak Springs CRA, DeFuniak Springs Board of CRA Commissioners, the State of Florida and their respective agents, assigns, and/or employees from all claims by any person or persons arising from the act or acts of any third person, or persons in connection with the services provided.

Applicant Signature: 

Date: 7-30-2025

Co-Applicant Signature: N/A

Date: _____



DeFuniak Springs Community Redevelopment Agency 694 Baldwin Avenue, Suite 4
DeFuniak Springs, FL 32435
Phone: (850) 951-3054
Email: cradirector@defuniakspringscra.com
Web: defuniakspringscra.com



NOTICE TO APPLICANT(S): FLORIDA PUBLIC RECORDS LAW, F.S. CHAPTER 119

This is a notice to you regarding the State of Florida’s Public Records Law, Florida Statutes (F.S.) Chapter 119: Public Records. Under F.S. Chapter 119, the law requires that any records made or received by public agencies in the course of official business must be made available for inspection by the general public, unless specifically exempted by the Florida Legislature, or deemed confidential or exempted under federal law. Please be advised that in the course of the release of public records, DeFuniak Springs may release personal information including home address, email address and phone number, unless specifically exempted under law. You are hereby notified, pursuant to F.S. Chapter 119, that disclosure of your social security number has been collected on this application for identification and financial verification purposes to determine eligibility under this program, and will not be utilized for any other purpose, and/or released to any other agency and/or person(s) except where required under law. Please refer to F.S. Chapter 119.071 for details on Florida Public Records Law general exemptions.

The Community Redevelopment Agency requests that you disclose any exemptions under F.S. Chapter 119.071 which may apply to any person or persons referenced on this application for assistance. Please check a box below:

[] The person(s) referenced on this application qualify for the following exemptions under F.S. Chapter 119.071 (please indicate the full name of the person(s) qualifying for exemptions listed):

[] The person(s) referenced on this application do not qualify for any exemptions under F.S. Chapter 119.071.

Your signature below confirms your review and understanding of this notification as it relates to the State of Florida’s Public Records Law, F.S. Chapter 119, and applicable exemptions:

Applicant Signature: 

Date: 7.30.2025

Co-Applicant Signature: N/A

Date: _____

State Farm Florida Insurance Company
 A Stock Company With Home Offices in Tallahassee, Florida

PO Box 2356
 Bloomington IL 61702-2356



AT2 H-19-7132-FA4D F H W
3200
 BEXLEY, SHANNON
 432 S 19TH ST
 DEFUNIAK SPGS FL 32435-2148

RENEWAL DECLARATIONS

AMOUNT DUE: None
Payment is due by **BILLED THROUGH SFPP**

Policy Number: 80-B8-C845-4

Policy Period: 12 Months
Effective Dates: APR 05 2025 to APR 05 2026
 The policy period begins and ends at 12:01 am standard time at the residence premises.

Your State Farm Agent
 JAMES DICKERSON
 1225 US HWY 331 S
 DEFUNIAK SPGS FL 32435-3398

Phone: (850) 892-6111

Roof Material: Composition Shingle
Roof Installation Year: 2018

Homeowners Policy

Location of Residence Premises
 432 S 19TH ST
 DEFUNIAK SPGS FL 32435-2148

Construction: Masonry Veneer
Year Built: 1980

Automatic Renewal

If the **POLICY PERIOD** is shown as **12 MONTHS**, this policy will be renewed automatically subject to the premiums, rules, and forms in effect for each succeeding policy period. If this policy is terminated, we will give you and the Mortgagee/Lienholder written notice in compliance with the policy provisions or as required by law.

IMPORTANT MESSAGES

** FL EMPA ASSESSMENT 2.00 Res Credit HB 7073 -64.66
 For the full name of each assessment entity and the dollar amount, please see Additional messages.
 Coverage Change Premium Increase \$261.00 Rate Change Premium Increase \$154.00
 Please help us update the data used to determine your premium. Contact your agent with the year each of your home's utilities (heating/cooling, plumbing, or electrical) and roof were last updated.

PREMIUM

Annual Premium		\$3,694.00
Hurricane Premium	1,078.00	(Included)
Other Covered Losses	2,616.00	(Included)
FIGA ASSESSMENT 5		36.94
FM Credit HB 7073		-9.24
**Addl Asmts(See Below)		-62.66
<i>Your premium has already been adjusted by the following:</i>		
Home/Auto Discount	Claim Record Discount	
Loyal Customer		
Total Premium		\$3,659.04

Prepared FEB 04 2025
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Thank you for letting us serve you.

Page 1 of 4

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 20



NAMED INSURED

BEXLEY, SHANNON

MORTGAGEE AND ADDITIONAL INTERESTS

Mortgagee
REGIONS BANK DBA REGIONS
MORTGAGE, ISAOA ATIMA
PO BOX 200401
FLORENCE SC 29502-0401

Loan Number:
0016056427

SECTION I - PROPERTY COVERAGES AND LIMITS

Coverage	Limit of Liability
A Dwelling	\$ 183,400
Other Structures	\$ 18,340
B Personal Property	\$ 137,550
C Loss of Use	\$ 55,020
Additional Coverages	
Arson Reward	\$1,000
Credit Card, Bank Fund Transfer Card, Forgery, and Counterfeit Money	\$1,000
Debris Removal	Additional 5% available/\$1,000 tree debris
Fire Department Service Charge	\$500 per occurrence
Fuel Oil Release	\$10,000
Locks and Remote Devices	\$1,000
Trees, Shrubs, and Landscaping	5% of Coverage A amount/\$750 per item

SECTION II - LIABILITY COVERAGES AND LIMITS

Coverage	Limit of Liability
L Personal Liability (Each Occurrence)	\$ 100,000
Damage to the Property of Others	\$ 1,000
M Medical Payments to Others (Each Person)	\$ 1,000

INFLATION

Inflation Coverage Index: 374.4

DEDUCTIBLES

Section I Deductible	Deductible Amount
Other Losses 1%	\$ 1,834
Hurricane 2.00%	\$ 3,668

LOSS SETTLEMENT PROVISIONS

- A1 Replacement Cost - Similar Construction
- B1 Limited Replacement Cost - Coverage B

01F1331A

FEB 04 2025

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FORMS, OPTIONS, AND ENDORSEMENTS

HW-2159	Homeowners Policy
Option ID	Increase Dwlg up to \$36,680
Option OL	Ordinance/Law 25%/ \$45,850
Option JF	Jewelry and Furs \$1,500 Each Article/\$2,500 Aggregate
HO-2567	FL Cat Grnd Cover Collapse Cov
HO-2571.1	Hurricane Deductible
HO-2228.2	Amendatory Endorsement
HO-2831	Special Limit for Water Damage \$10,000

ADDITIONAL MESSAGES

Florida Assessment - Full Entity Name	Amount
Legislative Premium Tax Discount of 1.75% pursuant to section 624.5108(1)(a), F.S.	\$ -64.66
Legislative Fire Marshall Assessment Disc. of .25% pursuant to sect. 624.5108(1)(b), F.S.	\$ -9.24
2024 Florida Insurance Guaranty Association (FIGA) Assessment 5	\$ 36.94
Florida Emergency Management Preparedness, and Assistance Trust Fund Assessment	\$ 2.00
Total Florida Assessments	\$ -34.96

Your building code effectiveness grading schedule adjustment can range from a surcharge of 1% to a credit of 8%.

Hurricane Deductible Notice

Hurricane Deductibles may be per calendar year. There is also a possibility that the deductible applied at the time of hurricane loss may be different than the amount shown. Refer to the applicable hurricane deductible and/or hurricane coverage endorsement attached to this policy. Please contact your State Farm agent if you have any questions.

State Farm® works hard to offer you the best combination of price, service, and protection. The amount you pay for homeowners insurance is determined by many factors such as the coverages you have, the type of construction, the likelihood of future claims, and information from consumers reports.

Other limits and exclusions may apply - refer to your policy

Your policy consists of these Declarations, the Homeowners Policy shown above, and any other forms and endorsements that apply, including those shown above as well as those issued subsequent to the issuance of this policy.

This policy is issued by the State Farm Florida Insurance Company.

Participating Policy

You are entitled to participate in a distribution of the earnings of the company as determined by our Board of Directors in accordance with the Company's Articles of Incorporation, as amended.

In Witness Whereof, the State Farm Florida Insurance Company has caused this policy to be signed by its President and Secretary at Bloomington, Illinois.

Michelle Mancias
Secretary

Angus Watts
President

Your coverage amount....

It is up to you to choose the coverages and limits that meet your needs. We recommend that you purchase a coverage limit at least equal to the estimated replacement cost of your home. Replacement cost estimates are available from building contractors and replacement cost appraisers, or, your agent can provide an Xactware estimate using information you provide about your home. We can accept the type of estimate you choose as long as it provides a reasonable level of detail about your home. State Farm® does not guarantee that any estimate will be the actual future cost to rebuild your home. Higher limits are available at higher premiums. Lower limits are also available, which if selected may make certain coverages unavailable to you. We encourage you to periodically review your coverages and limits with your agent and to notify us of any changes or additions to your home.

THIS POLICY CONTAINS A SEPARATE DEDUCTIBLE FOR HURRICANE LOSSES, WHICH MAY RESULT IN HIGH OUT-OF-POCKET EXPENSES TO YOU.

LAW AND ORDINANCE: LAW AND ORDINANCE COVERAGE IS AN IMPORTANT COVERAGE THAT YOU MAY WISH TO PURCHASE. PLEASE DISCUSS WITH YOUR INSURANCE AGENT.

FLOOD INSURANCE: YOU SHOULD CONSIDER THE PURCHASE OF FLOOD INSURANCE. YOUR HOMEOWNER'S INSURANCE POLICY DOES NOT INCLUDE COVERAGE FOR DAMAGE RESULTING FROM FLOOD EVEN IF HURRICANE WINDS AND RAIN CAUSED THE FLOOD TO OCCUR. WITHOUT SEPARATE FLOOD INSURANCE COVERAGE, YOUR UNCOVERED LOSSES CAUSED BY FLOOD ARE NOT COVERED. PLEASE DISCUSS THE NEED TO PURCHASE SEPARATE FLOOD INSURANCE COVERAGE WITH YOUR INSURANCE AGENT.

YOUR POLICY PROVIDES COVERAGE FOR A CATASTROPHIC GROUND COVER COLLAPSE THAT RESULTS IN THE PROPERTY BEING CONDEMNED AND UNINHABITABLE. OTHERWISE, YOUR POLICY DOES NOT PROVIDE COVERAGE FOR SINKHOLE LOSSES. YOU MAY PURCHASE ADDITIONAL COVERAGE FOR SINKHOLE LOSSES FOR AN ADDITIONAL PREMIUM.

01F131A

FEB 04 2025

NOTICE OF AVAILABILITY

Hurricane Deductible

A hurricane deductible is a special deductible that applies only to a covered loss caused by hurricane.

We offer hurricane deductibles of 2%, 5%, 10% or 15% on qualifying Homeowners, Renters or Condominium Unitowners policies that include hurricane coverage. Percentage hurricane deductibles are determined by multiplying the deductible percentage by your Coverage A – Dwelling limit if you have a Homeowners Policy, or by your Coverage B – Personal Property limit if you have a Renters or Condominium Unitowners Policy.

The following chart illustrates how a percentage hurricane deductible is applied to a single loss in a calendar year. Let's assume your home has a coverage limit of \$100,000 (Coverage A for Homeowners, or Coverage B for Renters and Condominium Unitowners), and you have a covered hurricane loss of \$20,000.

HURRICANE DEDUCTIBLE:	2%	5%	10%
Amount of covered hurricane loss:	\$20,000	\$20,000	\$20,000
Deductible amount (Your responsibility – Hurricane deductible percentage multiplied by \$100,000)	\$2,000	\$5,000	\$10,000
Amount State Farm® pays:	\$18,000	\$15,000	\$10,000

If you request a change in your hurricane deductible, the request for change must be made prior to the expiration date of your current policy term. All changes to hurricane deductibles are made effective only at the policy renewal date. Mid-term requests for a hurricane deductible change will be made at the next policy renewal date.

Based on Florida statute 627.701, if you have a hurricane loss or have already had a hurricane loss during the calendar year, prior to the renewal date, and you select a lower hurricane deductible, the lower hurricane deductible will not apply until January 1 of the following year. If you have not had a covered hurricane loss during the calendar year, the lower deductible will be effective on your renewal date.

Keep in mind that by accepting a larger hurricane deductible your premium may be lower; however, you will be responsible for a greater portion of each covered loss. Some lenders may not allow a percentage hurricane deductible higher than 2%. Check with your lenders to see if they have any restrictions.

'Other Losses' Deductible

'Other losses' deductible is a deductible that applies:

- to all covered losses from perils other than hurricane, and,
- to all covered losses from hurricane if the hurricane deductible is exhausted, or,
- if the remaining hurricane deductible is less than the amount of the 'other losses' deductible.

We offer an 'other losses' deductible equal to \$500. Higher 'other losses' deductibles are also available. Keep in mind that by accepting a larger deductible your premium may be lower; however, you will be responsible for a greater portion of each covered loss. We do not offer an 'other losses' deductible in an amount greater than the hurricane deductible.

Your policy Declarations Page reflects your current 'other losses' deductible and hurricane deductible. These deductibles will apply unless you choose different deductibles.

Please contact your State Farm agent if you would like more information, or would like to change your hurricane or 'other losses' deductibles.

(CONTINUED)

Important Notice Regarding Your Right to a Mediation Conference

The Chief Financial Officer for the State of Florida has adopted a rule to facilitate the fair and timely handling of residential property insurance claims. The rule gives you the right to attend a mediation conference with your insurer to settle any claim you have with your insurer. An independent mediator, who has no connection with your insurer, will oversee the mediation conference.

You can start the mediation process by calling the Florida Department of Financial Services at 877-693-5236. The parties will have 21 days from the date you notify the Department of your request for mediation to otherwise resolve the dispute before a mediation hearing can be scheduled.

You may request mediation by:

- Contacting the Department at 877-693-5236;
- Faxing a request to the Department at 850-488-6372;
- Or by writing to the Florida Department of Financial Services, Mediation Section, Bureau of Education, Advocacy, and Research, 200 East Gaines Street, Tallahassee, Florida 32399-0322.

You may be requested to provide the following information to the Department, if known:

- a. Name, address, email address and daytime telephone number of the insured, and location of the property if different from the address given.
- b. The claim and policy numbers for the insured.
- c. A brief description of the nature of the dispute.
- d. The full name of the insurer and the name, address, email address, and phone number of the contact person for scheduling mediation.
- e. Information with respect to any other policies of insurance that may provide coverage of the insured property for named perils such as flood or windstorm.

You may also choose to request mediation through State Farm®. If you wish to request mediation through State Farm and would like us to initiate the process, please call or write to the claim handler assigned to your claim.

Upon receipt of your request for mediation, we will initiate the process by contacting the Department. Please note that if you and State Farm cannot come to an agreement within 21 days from the date you notify the Department of your request for mediation, the Department will assign a mediator. At any time, a party may move to disqualify a mediator for good cause. Good cause consists of a conflict of interest between a party and the mediator, that the mediator is unable to handle the conference competently, or other reasons which would reasonably be expected to impair the mediation process.

Complaints concerning a mediator shall be written and submitted to the Department at the Florida Department of Financial Services, Mediation Section, Bureau of Education, Advocacy, and Research, 200 East Gaines Street, Tallahassee, Florida 32399-0322. You are to notify the mediator 14 days before the mediation conference if you will bring representation to the conference unless State Farm agrees to waive our right to the notice of representation. Upon receipt of such notice from you, the mediator shall provide notice to State Farm that you will be represented at the mediation conference.

If you have any questions or need additional information, please contact your assigned claim handler at the address or phone number contained in their written correspondence, or by contacting the Department at the contact number/address above. Please include your claim number on all correspondence and faxes concerning your claim.

As a State Farm customer, you can enjoy the benefits of online registration if you have a claim. Benefits include 24/7 access to your claim progress and staying connected to State Farm. Just go to statefarm.com® and select Manage Your Claim to get registered. All you need to complete the process is some initial information, which may include your claim number, email address and/or your State Farm policy or account number. It only takes a few minutes.

Important information regarding your policy premium

Your policy premium may include one or more of the following assessments:

Citizens Property Insurance Corporation

Under state law, Citizens Property Insurance Corporation (Citizens) may assess all property insurance companies to cover any deficit resulting from losses, including hurricane losses. Insurance companies are permitted to recoup this assessment from their policyholders. These assessments may be imposed for more than one deficit year, and may be in the form of a "regular" assessment or an "emergency" assessment. If your premium includes a Citizens assessment, your renewal notice will indicate the applicable assessment (for example, 2005 CITIZENS-REG, 2005 CITIZENS-EM, etc.) and the assessment amount.

The Florida Insurance Guaranty Association

The Florida Insurance Guaranty Association (FIGA) was created by the Florida legislature to administer the claims of insolvent property and casualty insurance companies. Under state law, the FIGA may secure funds to pay covered claims and expenses by assessing property and casualty insurers. Insurance companies are permitted to recoup this assessment from their policyholders. These assessments may be imposed for more than one deficit year, and may be in the form of a "regular" assessment or an "emergency" assessment. If your premium includes any FIGA assessments, your renewal notice will indicate the applicable assessment (for example, 2009 FL GUARANTY-REG, 2007 FL GUARANTY-EM, etc.) and the assessment amount.

Florida Hurricane Catastrophe Fund

The Florida Hurricane Catastrophe Fund (FHCF) was created in 1993 during a special legislative session after Hurricane Andrew. The fund protects the state's interest in maintaining insurance capacity in Florida by providing reimbursements to insurers for a portion of their catastrophic hurricane losses. The assessments shall continue until the Office of Insurance Regulation is directed by the Board to issue an Order superseding or terminating the Order levying the assessment. If your premium includes this assessment, your renewal notice will indicate the applicable assessment (FHCF ASSESSMENT) and the assessment amount.

Florida Emergency Management Preparedness and Assistance

Florida statute established the Emergency Management, Preparedness and Assistance (EMPA) Trust Fund, which is funded by an annual surcharge of \$2.00 on residences of every home-owner, mobile homeowner, tenant homeowner, and condominium unit owner, and a \$4.00 surcharge on commercial fire, commercial multiple peril, and business owner property insurance policies. Money in the fund may not be used to supplant existing funding. The rules for the allocation of funds are: 60% to implement and administer state and local emergency management programs (training, specified percentages of which go to counties and local agencies), 20% for state relief assistance for non-federally declared disasters, and 20% for grants and loans to state or regional agencies, local governments, and private organizations to implement projects that will further state and local emergency management objectives. If your premium includes this assessment, your renewal notice will indicate the applicable assessment (FL EMPA ASSESSMENT) and the assessment amount.

Florida Trust Fund

The funds received from the Insurance Regulatory Trust Fund shall be used by the staff of the Florida State Fire College to provide all necessary services, training, equipment, and supplies to carry out the college's responsibilities, including, but not limited to, the State Fire Marshal Scholarship Grant Program and the procurement of training films, videotapes, audiovisual equipment, and other useful information on fire, firefighting, and fire prevention, including public fire service information packages. If your premium includes this assessment, your renewal notice will indicate the applicable assessment (FL TRUST FUND) and the assessment amount.

If you have any questions regarding the information in this notice, please contact your State Farm* agent.

553-3299 FL (C)

(CONTINUED)

NOTICE OF AVAILABILITY

50% Building Ordinance or Law Coverage

Your State Farm® Florida Homeowners Policy provides Building Ordinance or Law coverage equal to 25% of the Coverage A – Dwelling limit of insurance. There may be changes in local building codes that regulate the construction, repair or demolition of your home. In the event of a loss, you may not be able to rebuild or repair your home with the same materials that were used when it was constructed. Building Ordinance or Law coverage provides an additional amount of coverage to help you comply with the changes in local building codes.

Building Ordinance or Law coverage of 50% is also available for an additional premium. If you do not currently carry Building Ordinance or Law coverage of 50% and are interested in purchasing this coverage, please contact your State Farm agent.

553-3369 FL (C)

PREMIUM ADJUSTMENT

Insurance premiums have been adjusted and continue to reflect the expected cost of claims. Some policyholders will see their premiums increase while other policyholders may see their premiums decrease or stay the same. The amount your premium changed, if at all, depends on several factors including the expected claim experience in your area, the coverage you have, and any applicable discounts or charges.

The enclosed Renewal Declarations reflects your new premium.

State Farm® works hard to offer you the best combination of cost, protection, and service. We will continue doing our best to make the most effective use of your premium dollars and give you superior service when you need it.

If you have any questions about your premium, or policy coverages, please contact your State Farm agent.

553-4156

IMPORTANT NOTICE ABOUT YOUR POLICY

With our Claim Record Rating Plan, your savings will typically increase the fewer claims you have and the longer you're insured with State Farm®. We adjust premiums based on the number of claims under the rating plan. Depending on your state, claims under the plan generally include those resulting in a paid loss and may include weather-related claims where permitted. In addition, any claims with your prior insurer resulting in property damage or injury may also influence your premium.

Our Loyal Customer Discount provides a premium discount based on the number of years that you have been with us.

For more information about whether the Claim Record Rating Plan applies in your state, the claims we consider for the plan, or whether the Loyal Customer Discount is in effect in your state, please contact your State Farm agent.

553-2798.1

(CONTINUED)

NOTICE TO POLICYHOLDER

For a comprehensive description of coverages and forms, please refer to your policy.

Policy changes that you requested before the "Date Prepared" on your Renewal Declarations are effective on the renewal date of this policy unless indicated otherwise by a separate endorsement, binder or Amended Declarations Page. Any coverage forms or endorsements included with your Renewal Declarations are effective on the renewal date of this policy.

Policy changes that you requested after the "Date Prepared" on your Renewal Declarations will be sent to you as an Amended Declarations Page or as an endorsement to your policy. You will be billed for any resulting premium increase later.

If you have acquired any valuable property items, made any improvements to your home, or have questions about your insurance coverage, please contact your State Farm® agent.

553-4157 (C)

IMPORTANT NOTICE . . . Information Regarding Your Premium

Consumer reports may be used to determine the price you are charged. We may also obtain and use a credit-based insurance score developed from information contained in these reports. We may use a third party in connection with the development of your insurance score.

You have the right to request, no more than once in a 12 month period that your policy be re-rated. Re-rating could result in a lower rate, no change in rate or a higher rate.

553-3144 (C) (10/09)

Copy B - To Be Filed With Employee's		41-0852411 OMB No. 1545-0008	
Wages, tips, other comp. 42528.93		2 Federal income tax withheld 2350.27	
Social security wages 43869.50		4 Social security tax withheld 2719.97	
Medicare wages and tips 43869.50		6 Medicare tax withheld 636.07	
c Employer's name, address, and ZIP code			
WALTON COUNTY BOARD OF COUNTY COMMISSIONERS P.O. BOX 1260 DEFUNIAK SPRINGS, FL 32435			
d Control number			
e Employee's name, address, and ZIP code Suff. SHANNON RENEE' BEXLEY 432 SOUTH 19TH STREET DEFUNIAK SPRINGS, FL 32435			
7 Social security tips 0.00	8 Allocated tips 0.00	9	
10 Dependent care benefits 0.00	11 Nonqualified plans 0.00	12a Code See inst. for box 12	
13 Statutory employee	14 Other RETIREMENT - 1340.57	12b Code	
Retirement plan X		12c Code	
Third-party sick pay		12d Code	
15 State Employer's state ID number	16 State wages, tips, etc.	17 State income tax	
18 Local wages, tips, etc.	19 Local income tax	20 Locality name	

Form W-2 Wage and Tax Statement **2024** Dept. of the Treasury -- IRS
This information is being furnished to the Internal Revenue Service www.irs.gov/efile

Employee's State, return.		41-0852411 OMB No. 1545-0008	
Wages, tips, other comp. 42528.93		2 Federal income tax withheld 2350.27	
Social security wages 43869.50		4 Social security tax withheld 2719.97	
Medicare wages and tips 43869.50		6 Medicare tax withheld 636.07	
c Employer's name, address, and ZIP code			
WALTON COUNTY BOARD OF COUNTY COMMISSIONERS P.O. BOX 1260 DEFUNIAK SPRINGS, FL 32435			
d Control number			
e Employee's name, address, and ZIP code Suff. SHANNON RENEE' BEXLEY 432 SOUTH 19TH STREET DEFUNIAK SPRINGS, FL 32435			
7 Social security tips 0.00	8 Allocated tips 0.00	9	
10 Dependent care benefits 0.00	11 Nonqualified plans 0.00	12a Code See inst. for box 12	
13 Statutory employee	14 Other RETIREMENT - 1340.57	12b Code	
Retirement plan X		12c Code	
Third-party sick pay		12d Code	
15 State Employer's state ID number	16 State wages, tips, etc.	17 State income tax	
18 Local wages, tips, etc.	19 Local income tax	20 Locality name	

Form W-2 Wage and Tax Statement **2024** Dept. of the Treasury -- IRS

RECORDS (See back of Copy B.)		41-0852411 OMB No. 1545-0008	
Wages, tips, other comp. 42528.93		2 Federal income tax withheld 2350.27	
Social security wages 43869.50		4 Social security tax withheld 2719.97	
Medicare wages and tips 43869.50		6 Medicare tax withheld 636.07	
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WALTON COUNTY BOARD OF COUNTY COMMISSIONERS P.O. BOX 1260 DEFUNIAK SPRINGS, FL 32435			
d Control number			
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7 Social security tips 0.00	8 Allocated tips 0.00	9	
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13 Statutory employee	14 Other RETIREMENT - 1340.57	12b Code	
Retirement plan X		12c Code	
Third-party sick pay		12d Code	
15 State Employer's state ID number	16 State wages, tips, etc.	17 State income tax	
18 Local wages, tips, etc.	19 Local income tax	20 Locality name	

Form W-2 Wage and Tax Statement **2024** Dept. of the Treasury -- IRS
This information is being furnished to the IRS. If you are required to file a tax return, a negligence penalty or other sanction may be imposed on you if this income is taxable and you fail to report it.

Employee's State, return.		41-0852411 OMB No. 1545-0008	
Wages, tips, other comp. 42528.93		2 Federal income tax withheld 2350.27	
Social security wages 43869.50		4 Social security tax withheld 2719.97	
Medicare wages and tips 43869.50		6 Medicare tax withheld 636.07	
c Employer's name, address, and ZIP code			
WALTON COUNTY BOARD OF COUNTY COMMISSIONERS P.O. BOX 1260 DEFUNIAK SPRINGS, FL 32435			
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15 State Employer's state ID number	16 State wages, tips, etc.	17 State income tax	
18 Local wages, tips, etc.	19 Local income tax	20 Locality name	

Form W-2 Wage and Tax Statement **2024** Dept. of the Treasury -- IRS

11.30.24 - 12.13.24

Advice Amount: \$1,340.79

EMP NO	EMPLOYEE NAME	DEPARTMENT	TYPE	ADVICE DATE	PERIOD ENDING	ADVICE NO
2358	SHANNON RENEE' BEXLEY	HUD SECTION 8 (4000)	REGULAR	12/20/2024	12/13/2024	100077743

EARNINGS	RATE	DAYS / HOURS	CURRENT	YTD	FYTD	DEDUCTIONS	CURRENT	YTD	FYTD	EMPLR	EMPLR YTD	EMPLR FYTD
REG FT NEX	\$22.23	10.00	\$222.30	\$35,591.01	\$8,958.69	FICA	\$107.91	\$2,719.97	\$661.24	\$107.91	\$2,719.97	\$661.24
REG FT NEX	\$22.23	10.00	\$222.30			MEDICARE	\$25.24	\$636.07	\$154.66	\$25.24	\$636.07	\$154.66
REG FT NEX	\$22.23	10.00	\$222.30			FED TAX	\$126.15	\$2,350.27	\$782.77	\$0.00	\$0.00	\$0.00
REG FT NEX	\$22.23	10.00	\$222.30			DENTAL	\$29.36	\$674.76	\$176.16	\$0.00	\$0.00	\$0.00
REG FT NEX	\$22.23	10.00	\$222.30			VISION	\$8.56	\$205.44	\$51.36	\$0.00	\$0.00	\$0.00
REG FT NEX	\$22.23	10.00	\$222.30			PA FRS	\$53.35	\$985.74	\$326.77	\$242.40	\$4,472.41	\$1,484.70
REG FT NEX	\$22.23	10.00	\$222.30			ACCHIGH	\$6.31	\$151.44	\$37.86	\$0.00	\$0.00	\$0.00
REG FT NEX	\$22.23	10.00	\$222.30			HIPH	\$12.21	\$293.04	\$73.26	\$0.00	\$0.00	\$0.00
PTO	\$0.00	0.00	\$0.00	\$4,539.63	\$822.51	CRITICAL ILL	\$17.55	\$421.20	\$105.30	\$0.00	\$0.00	\$0.00
ADM LEAVE	\$0.00	0.00	\$0.00	\$285.66	\$222.30	HA FRS	\$0.00	\$354.83	\$0.00	\$0.00	\$1,604.96	\$0.00
JURY/FUNER	\$0.00	0.00	\$0.00	\$633.60	\$0.00	STD	\$8.80	\$192.34	\$52.80	\$0.00	\$0.00	\$0.00
HOLIDAY	\$0.00	0.00	\$0.00	\$3,634.80	\$889.20	LTD	\$0.00	\$0.00	\$0.00	\$4.72	\$130.68	\$30.06
BONUS	\$0.00	0.00	\$0.00	\$65.00	\$0.00	HY	\$0.00	\$0.00	\$0.00	\$3.29	\$19.74	\$19.74
TOTAL		80.00	\$1,778.40	\$44,749.70	\$10,892.70	BASIC LIFE	\$0.00	\$0.00	\$0.00	\$0.94	\$23.64	\$5.64
						ADD LIFE EE	\$37.60	\$902.40	\$225.60	\$0.00	\$0.00	\$0.00
						BAS LF DEP	\$0.73	\$17.52	\$4.38	\$0.20	\$4.80	\$1.20
						AD LIC \$25K	\$3.84	\$92.16	\$23.04	\$0.00	\$0.00	\$0.00
						TOTAL	\$437.61	\$9,997.18	\$2,675.20	\$384.70	\$9,612.27	\$2,357.24

DEPOSITS

REGIONS BANK \$1,340.79

W4	MULTIPLE JOBS	DEPENDENTS	OTHER INCOME	DEDUCTIONS
Federal	N	\$0.00	\$0.00	\$0.00

LEAVE	BEGINNING	EARNED	USED	BALANCE	YTD EARNED	YTD USED
PTO	97.0000	8.0000	0.0000	105.0000	200.0000	203.0000

WITHHOLDING ALLOWANCES

FILING STATUS	EXEMPTIONS	EXTRA AMOUNT
Federal	S	0
State	0	0

ADVICE TOTALS

TYPE	CURRENT	YTD
Taxable Pay	\$1,687.13	\$42,528.93
Gross Pay	\$1,778.40	\$44,749.70
Deductions	\$437.61	\$9,997.18
Net Pay	\$1,340.79	\$34,752.52



WALTON COUNTY
 BOARD OF COUNTY COMMISSIONERS
 PO BOX 1260
 DEFUNIAK SPRINGS, FL 32435

Advice Date: 12/20/2024
 Advice Number: 100077743

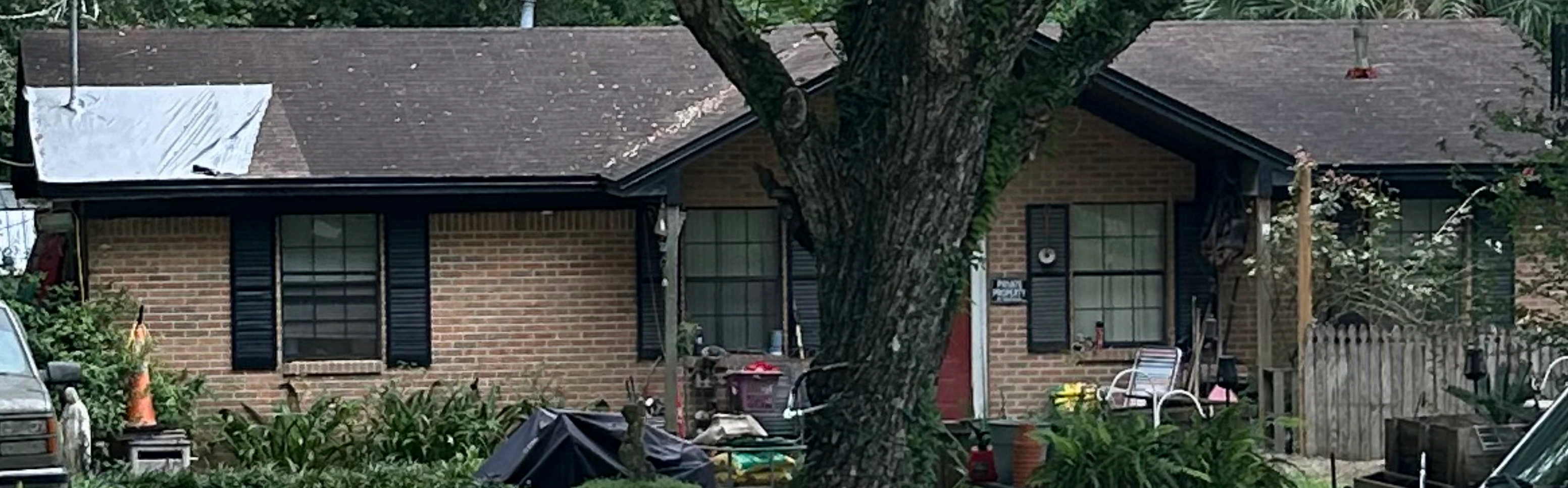
*** One Thousand Three Hundred And Forty Dollars And Seventy-Nine Cents ***

\$1,340.79

Pay To
 The
 Order Of
 4000
 SHANNON RENEE' BEXLEY
 432 SOUTH 19TH STREET
 DEFUNIAK SPRINGS, FL 32435

**DIRECT DEPOSIT
 NON-NEGOTIABLE**











This Instrument Prepared by: Jewell Rushing
An Officer of Associated Land Title Group, Inc.,
619 Nelson Avenue East, DeFuniak Springs, Florida 32433,
For Purposes of Title Ins.
File # 370-36884
Parcel ID # 25-3N-19-19070-001-8957

FILED AND RECORDED
DATE 05/18/2001 TM 09:07

MARTHA INGLE CLERK
CO:WALTON ST:FL

DOC STAMPS 364.00
INTANG TAX .00

RECORD VERIFIED
BY [Signature] DC

FL 670159 B 2325 P 1367
CO:WALTON ST:FL

Warranty Deed

(The terms "grantor" and "grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

Made May 14, 2001 BETWEEN

Raymond Gainey, as single man
whose post office address is 537 Millard Gainey Lane, Defuniak Spgs, FL 32433
of the County of Walton, State of Florida, grantor, and

Shannon R. Bexley
whose post office address is 432 19th St. Defuniak Spgs, FL 32433
of the County of Walton, State of Florida, grantee,

WITNESSETH: That the said grantor, for and in consideration of the sum of Ten (\$10.00) Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Walton County, Florida to-wit:

Beginning at the Northeast corner of the South Half of Block 1895 according to the map of the Vicinity of Defuniak Springs, Florida drawn by W. J. Vankirk, a copy of said map being on file in the Office of the Clerk of Circuit Court of Walton County, Florida; said point lying also on the West right of way line of 19th Street; thence run N56°17'30"W a distance of 200.0 feet; thence run S34°20'W a distance of 100.0 feet; thence run S56°17'30"E a distance of 200.0 feet; thence run N34°20'E, along the West right of way line of 19th Street, a distance of 100.0 feet to the Point of Beginning.

Subject to easements and restrictions of record, if any, which are specifically not extended or reimposed hereby. Subject to 2001 taxes and assessments.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
WITNESS SIGNATURE

Raymond Gainey
Raymond Gainey

Witness #1 Cynthia Murphy
WITNESS PRINTED NAME

[Signature]
WITNESS SIGNATURE

Witness #2 Jewell Rushing
WITNESS PRINTED NAME

STATE OF Florida

COUNTY OF Walton

I HEREBY CERTIFY, that on May 14, 20001, before me personally appeared Raymond Gainey who is personally known to me or has produced the identification identified below, who is the person described in and who executed the foregoing instrument, and who after being duly sworn says that the execution hereof is her free act and deed for the uses and purposes herein mentioned.

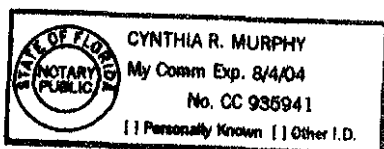
SWORN TO AND SUBSCRIBED before me the undersigned Notary Public by my hand and official seal, the day and year last aforesaid.

To me personally known () Identified by Driver's License () Identified by _____

My Commission Expires: _____

Commission No.: _____

[Signature]
Notary Public
Cynthia Murphy
PLEASE PRINT OR TYPE NAME AS IT APPEARS



FL 670159 B 2325 P 1368
CO:WALTON ST:FL



RHONDA SKIPPER TAX COLLECTOR - WALTON COUNTY TAX COLLECTOR

P.O. Box 48, Freeport, FL 32439
(850) 892-8121

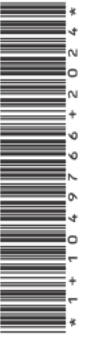
Website: www.waltontaxcollector.com

NOTICE OF AD VALOREM TAX AND NON-AD VALOREM ASSESSMENTS

2024 PAID REAL ESTATE

BEXLEY SHANNON R
432 S 19TH ST
DEFUNIAK SPRINGS, FL 32433

FOLIO NUMBER: 1049766
ACCOUNT NUMBER: 25-3N-19-19070-001-8957
EXEMPTIONS APPLIED: HB, HX
PAYOR CODE/NAME:
ACREAGE: 0.459
LEGAL DESCRIPTION: 432 S 19TH ST



Paid

TOWN OF DEFUNIAK 200 FT E & W
BY 100 FT N & S IN NE COR OF
S1/

See Additional Legal on Tax Roll

<u>AD VALOREM TAXES</u>	<u>MILLAGE RATE</u>	<u>ASSESSED VALUE</u>	<u>EXEMPTION AMOUNT</u>	<u>TAXABLE VALUE</u>	<u>TAXES LEVIED</u>
<u>TAXING AUTHORITY</u>					
COUNTY					
GENERAL FUND	3.6000	50,467	25,467	25,000	90.00
SCHOOL DISCRETIONARY	2.6410	50,467	25,000	25,467	67.26
SCHOOL LOCAL REQUIRED EF	1.6470	50,467	25,000	25,467	41.94
CITY OF DEFUNIAK SPRINGS	5.5000	50,467	25,467	25,000	137.50
NW FLORIDA WATER MGMT	0.0218	50,467	25,467	25,000	0.55
NORTH WALTON MOSQUITO A	0.4410	50,467	25,467	25,000	11.03

TOTAL MILLAGE 13.8508

AD VALOREM TAXES \$348.28

NON AD VALOREM ASSESSMENTS

<u>LEVYING AUTHORITY</u>	<u>RATE</u>	<u>AMOUNT</u>
NON AD VALOREM ASSESSMENTS		\$0.00

REMARKS:
PAYMENTS MUST BE MADE IN US FUNDS.

If Received By	Apr 30, 2025				
Please Pay	\$0.00				

MAKE CHECK PAYABLE TO: RHONDA SKIPPER WALTON COUNTY TAX COLLECTOR

RETURN THIS PORTION WITH YOUR PAYMENT

WALTON COUNTY 2024 PAID REAL ESTATE

FOLIO NUMBER: 1049766
ACCOUNT NUMBER: 25-3N-19-19070-001-8957
PAYOR CODE/NAME:
TAX DISTRICT: 1



OWNER BEXLEY SHANNON R
432 S 19TH ST
DEFUNIAK SPRINGS, FL 32433

Visit us or pay online at
www.waltontaxcollector.com
Facebook and Instagram



Scan to Pay

If Received By	Please Pay
Apr 30, 2025	\$0.00
IF PAYING BY CREDIT CARD A CONVENIENCE FEE WILL APPLY	

Paid

DO NOT WRITE BELOW THIS AREA
Paid \$358.73 04/22/2025

Receipt # NW-07-25-00150190

Paid By BEXLEY, SHANNON RENEE'

1 1049766 2024 4

ESTIMATE



Prepared For

Josh Irvin

Broadway Home Services, LLC

2005 Bear Bay Flats Road
Laurel Hill, FL 32567
Phone: (850) 546-1532
Email: ericbroadway73@gmail.com

Estimate # 1280
Date 08/19/2025
Business / Tax # 274967990

Description	Total
432 S 19th street Defuniak Springs	\$6,400.00
1. Remove one layer of shingles and underlayment	
2. Inspect decking and nail off to current code	
3. Install new eve metal	
4. Install new GAF Feltbuster synthetic underlayment	
5. Install new GAF Stormguard peel and seal in valleys	
6. Install new GAF pro start starter shingles	
7. Install new GAF Timberline HDZ shingles	
8. Install new plumbing boots and exhaust vent	
9. Install new GAF Seal a Ridge hip and ridge caps	
10. Install new GAF Cobra shingle over ridge vents.	
11. Clean job of all debris	
Rotted wood allowance	\$1,000.00
Subtotal	\$7,400.00
Total	\$7,400.00

We appreciate your business!

Terms and conditions:

1. Full payment is required when job is complete.
2. Broadway Home Services will provide a lifetime workmanship warranty and standard manufacturer warranty.
3. Contractor shall process and furnish all the necessary work, permits, tools, equipment and other necessary means and materials for the commencement of the roofing project

Josh Irvin

5:08

Regions



Welcome, SHANNON BEXLEY | Log Out

Last login: July 28, 2025 10:35 PM CT



Summary as of July 28, 2025



Loan	Payment Due Date	Principal Balance
0016056427 432S 19TH ST	08/03/2025 Make a Payment	\$14,834.23*
Total		\$14,834.23*

* This is not a payoff quote. For a payoff quote, call [1-800-986-2462](tel:1-800-986-2462) or fill out our [online form](#).

NOTE: Balances may be adjusted if funds previously received were rejected by the depository institution, any advances, preauthorized transactions have not posted or if other fees or shortages have been incurred.



5:08
Regions



Welcome, SHANNON BEXLEY ▾ | Log Out

Last login: July 28, 2025 10:35 PM CT



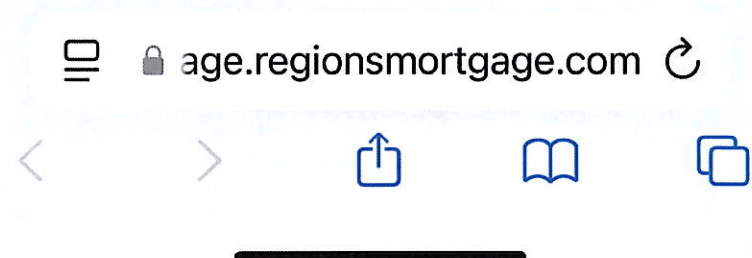
Summary as of July 28, 2025

Recent Activity Alerts **1** ▾

7/7/2025
Payment was received for Loan 0016056427.

Loan	Payment Due Date	Principal Balance
0016056427 432S 19TH ST	08/03/2025 Make a Payment	\$14,834.23*
Total		\$14,834.23*

* This is not a payoff quote. For a payoff quote, call 1-800-986-2462 or fill out our online form



5:10
Regions



Welcome, SHANNON BEXLEY | Log Out

Last login: July 29, 2025 05:07 PM CT



Enrollment Status

- ✗ Autodraft Payments
- ✓ Electronic Documents
- ✗ Electronic IRS Documents

Loan Detail *6427 *as of July 28, 2025*

PRINCIPAL BALANCE
\$14,834.23*

AMOUNT DUE
\$593.56

DUE DATE
08/03/2025

[Make a Payment](#)

age.regionsmortgage.com





Johnson Roofing Solutions
1383 Jackson Ave ,
Chipley, FL. 32428
Phone: (850) 658-4341

Company Representative
Gary Harris
Phone: (850) 598-2662
gary@johnsonroofingsolutions.com

Shannon Bexley
CRA
432 South 19th Street
DeFuniak Springs, FL 32435
(850) 830-0863

Job: Shannon Bexley

Shingle Section

Johnson Roofing Solutions proposes to furnish material, obtain necessary permits, and perform all labor as follows:

Quote includes Replacing up to 20 LF Of 1x4 wooden fascia
Quote includes replacing up to 1 full sheet of soffit

- All work is to be completed Per Current Florida Building Code
- Remove 1 layer of existing shingles down to deck and inspect decking to identify any compromised areas. (Additional layers will incur additional costs)
- This quote includes removing and replacing up to (1) sheets decking.
- Renail decking with 2 3/8" ring shank decking nails per current Florida Building Code.
- Install Ice & Water Shield self adhered underlayment in all valleys.
- Install Double Layer Of Half-Lapped Synthetic Underlayment over entire roof.
- Install new (unless otherwise specified) white 26 gauge eave drip along all edges of roof lines.
- Apply roof cement along roof side of eave drip.
- Install GAF ProStart Starter Shingles along all eave drip and rake edges.
- Install GAF Architectural Shingles with (6 nails) per specifications using 1 1/4" Electro Galvanized roofing nails.
- Install new galvanized steel base pipe flashings and slant back hood vents matching shingle color as close as possible.
- Install GAF Cobra Ridge Vent for attic ventilation as needed.
- Install GAF Seal-A-Ridge Hip & Ridge Shingles.
- Clean up all job related debris, haul off all trash, and magnet sweep entire yard for nails.

This is a summer special price and is only good through August 31, 2025.

JRS will price match legitimate competitor quotes with same scopes of work.

JRS will provide a wind mitigation report with each full reroof.

JRS would also provide a 15 year in house workmanship warranty against active water intrusion.

Wood Addendum

- Compromised decking will be removed and replaced at additional \$2.75 per square foot.
- Compromised Framing Boards (2x6)(2x4) will be removed and replaced at additional \$15 per linear foot.
- Compromised Facia Boards (1x4)(1x6) will be removed and replaced at additional \$10 per linear foot.

	Price
GAF Timberline HDZ Limited Lifetime Architectural Shingles (50 Year)	\$6,745.00
1x4 Wooden Fascia and Soffit Work	\$300.00
\$1,000 Allowance added for just in case. (The city of Defuniak asked for this for grant purposes)	\$1,000.00

TOTAL **\$8,045.00**

Payment. JRS may require a 33% deposit prior to commencing work or ordering materials for said project. Customer shall pay the contract price plus any additional charges for changed or extra work no later than ten (10) days after substantial completion of the work day. Customer is entitled to withhold 5% of the contract price as retainage payment of which may be conditioned upon entry of any required certificates, inspection reports, or notices by a

government entity necessary to close or complete Contractor's permit of work. Failure to pay all remaining amounts at substantial completion is a material breach of this contract. A delay by the manufacturer in the processing and formal issuance of manufacturer's warranty document shall not be cause to delay the Customer's payment to Contractor. Registered manufacturer warranties expressed in the above contract will be provided upon JRS receiving full payment of invoice total. This agreement represents the entire agreement between the parties and supersedes any prior agreements. **If financing through JRS is chosen Administrative Fees Will Be Applied To Contract Price Unless Specified In Contract.**

Non-payment. All sums not paid in full when due shall earn interest at the rate of 1-1/2% per month until paid (ANNUAL PERCENTAGE RATE OF 18%), unless otherwise required by law. Payments received shall be applied first to interest on all outstanding invoices and then to the principal amount of the oldest outstanding invoices. If Customer does not make payment, Contractor shall be entitled to recover from Customer all costs of collection incurred by Contractor, including attorney's fees, costs, and expenses. Collection matters may be processed through litigation or arbitration at the sole discretion of Contractor. The failure of Customer to make proper payment to Contractor when due shall entitle Contractor, at its discretion, to suspend all work, shipments and/or warranties until full payment is made or terminate this contract.

Availability of Site. Contractor shall be provided with direct access to the work site for the passage of vehicles and materials and direct access to the roof. Contractor shall not be required to begin work until underlying areas are ready and acceptable to receive Contractor's work. A wind mit report is available to customers with full reroofs and it is customers responsibility to coordinate this inspection with IPA Inspections & Property Appraisals. They can be reached by phone at 850-687-1275 or via email at Inspections@home-ipa.com.

Customer's Default. Customer shall be in default of this Agreement upon any of the following occurrences (a) Customer fails to provide access to the job site or materially interferes with construction; (b) Customer fails to make timely payment under the terms of this Agreement; or (c) Customer otherwise violates a material provision of this Agreement

Disclaimer. Contractor disclaims all liability for all claims, disputes, rights, losses, damages, causes of action or controversies ("Claims") pertaining to Mold, including Claims arising out or relating to the detection, removal, disposal, or remediation of Mold, whether those Claims arise in law, equity, contract, warranty, tort, or federal or state statutory claims, and whether those Claims are based on the acts or omissions of Contractor or individuals or entities under Contractor's control. The Customer is solely liable and responsible for all damages, whether actual or consequential, caused by Mold and incurred by Customer, Contractor or third parties

Site Conditions. Contractor shall not be responsible for additional costs required due to the existence of utilities, wet insulation, deteriorated deck or other subsurface or latent conditions that are not disclosed in writing to Contractor. In some cases existing gutters are required to be removed during installation of roof. Contractor will dispose of gutters accordingly unless notified in writing (customers responsibility) that removed gutters are to stay on property prior to removal. Contractor is not responsible for reattaching said gutters. Contractor is not responsible for damages done to gutters. If satellite dish is present on roof it will be removed by JRS and homeowner will be responsible to coordinate and pay for reinstallation to fascia board or a pole with their provider. During new construction JRS is not responsible for damaged eave drip due to fascia board/metal installed after roof by other trades/companies. A remobilization fee will be incurred if additional roof planes, or penetrations are added after JRS's completion of its work. The raising, disconnection, re-connection or relocation of any mechanical equipment on the roof that may be necessary for Contractor to perform the roofing work shall be performed by others or treated as an extra. Should concealed or unknown conditions in an existing structure be at variance with conditions indicated in the description of the work to be performed from those ordinarily encountered and generally recognized as inherent in work of the character provided for in this Agreement, the Agreement price shall be equitably adjusted upon notice thereof from the Contractor to the Customer.

Protection of Work. Customer acknowledges that re-roofing of an existing building may cause disturbance or dust to fall into the interior. Customer agrees to remove or protect property directly below the roof in order to minimize potential interior damage. Contractor shall not be responsible for disturbance, damage, clean-up or loss to interior property that Customer did not remove or protect prior to commencement of roofing operations.

Materials. Metal roofing and especially lengthy flat span sheet metal panels will often exhibit waviness, commonly referred to as "oil-canning." Oil-canning pertains to aesthetics and not the performance of the panels and is not controlled by the Contractor. Contractor is not responsible for claims of customer related to oil-canning or aesthetics. Oil-canning shall not be grounds to withhold payment or reject panels of the type specified. Surface mount flashing is allowed by manufacturer and will be utilized by JRS in some cases, this is not a reasonable cause for rejection.

Damages and Delays. Contractor will not be responsible for damage done to Contractor's work by others. Any repairing of the same by Contractor will be charged at regular scheduled rates over and above the amount of this proposal. Contractor shall not be liable for damages, including liquidated damages or penalties, resulting from any delay in completion of the Project. Contractor shall not be responsible for loss, damage or delay caused by circumstances beyond its reasonable control, including but not limited to acts of God, weather, accidents, fire, vandalism, federal, state or local law, regulation or order; strikes, jurisdictional disputes, failure or delay of transportation, shortage of or inability to obtain materials, equipment or labor; changes in the work and delays caused by others or government regulations including government-imposed shutdown, events related to pandemic (including all current and future guidelines related to COVID-19 pandemic), delays or failure of delivery from a third party. In no event, whether based on contract, warranty (express or implied), tort, federal or state statute or otherwise arising from or relating to the work and services performed under the Agreement, shall Contractor be liable for special, consequential, incidental or indirect damages, including loss of use or loss of profits. Contractor and Customer agree to allocate certain of the risks so that, to the fullest extent permitted by law, Contractor's total aggregate liability to Customer is limited to the dollar amount of this Agreement for any and all injuries, damages, claims, expenses or claim expenses including attorneys' fees, costs and expenses arising out of or relating to this Agreement regardless of whether it is based in warranty, tort, contract, strict liability, negligence, errors, omissions, or from any other cause or causes. **WAIVER OF JURY TRIAL: EACH PARTY AGREES THAT AS A MATERIAL PART OF THE CONSIDERATION HEREUNDER AND AS AN INDUCEMENT TO ENTER INTO THIS AGREEMENT, EACH PARTY HEREBY WAIVES THE RIGHT TO A JURY TRIAL**

Warranty. CONTRACTOR SHALL NOT BE LIABLE FOR SPECIAL, PUNITIVE, INCIDENTAL OR CONSEQUENTIAL DAMAGES OR LOST PROFITS. A manufacturer's warranty shall be furnished to Customer if a manufacturer's warranty is called for on the face of this contract. It is expressly agreed that in the event of any defects in the materials furnished pursuant to this contract, Customer shall have recourse only against the manufacturer of such material. Unless otherwise specifically provided in this Agreement: **THERE ARE NO EXPRESS OR IMPLIED WARRANTIES WHATSOEVER INCLUDING BUT NOT LIMITED TO THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.** All warranties/guarantees provided by Contractor, if any, shall be deemed null and void if Customer fails to strictly adhere to the payment terms contained in the Agreement. All warranties and guarantees if any, provided under the Agreement are solely for the original Customer and are non-transferable, unless otherwise agreed to by Customer and Contractor in writing. Any express warranty provided, if any, by Contractor is the sole and exclusive remedy for alleged construction defects, in lieu of all other remedies, implied or statutory.

Customer Protection of Property. Due to the nature of the construction to be done at Customer's request, the Customer takes sole responsibility for any damage done to curbs, walkways, driveways, structures, septic tanks, HVAC, utility lines, pipes, landscaping, appurtenances at the job location. Contractor is not responsible/liable for any hairline cracks, or any cracks, in the ceiling due to the removal and reinstalling of the roof or any damage caused by dust or debris caused by Contractor's work. Contractor is not liable for damage to person or property caused by nails.

Price Volatility. The parties understand that the construction industry is currently experiencing price and availability volatility with regard to the materials used for this Project. Because of market fluctuations, the prices of these materials are subject to sudden and significant changes and firm prices cannot be obtained from suppliers. Asphalt, polyiso and other roofing products are sometimes subject to unusual price volatility due to conditions that are beyond the control or anticipation of Contractor. If there is a substantial increase in these or other roofing products between the date of this contract and the time when the work is to be performed, the amount of this contract may be increased to reflect the additional cost to Contractor, upon submittal of written documentation and advance notice to Customer.

Losses Beyond Contractor Control. Contractor shall not be responsible for loss, damage or delay caused by circumstances beyond its reasonable control, including but not limited to acts of God, pandemics, government restriction, including any such orders by any government entity for the protection of the public related to COVID-19, weather, accidents, fire, riot, vandalism, federal, state or local law, regulation or order; strikes, jurisdictional disputes, failure or delay of transportation, supply chain, shortage of or inability to obtain materials, equipment or labor; changes in the work and delays caused by others.

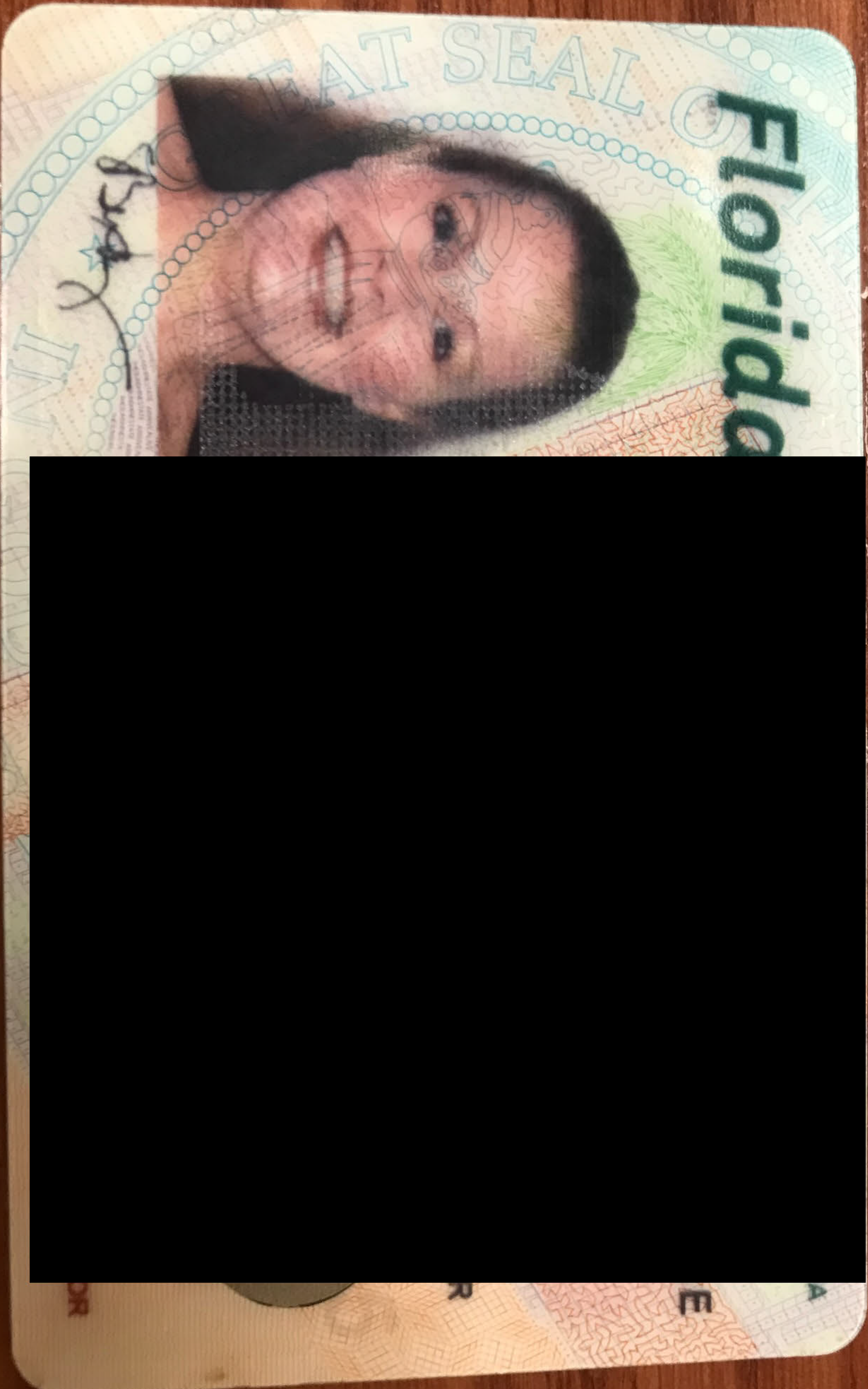
Legal Action. Should Contractor employ an attorney to institute litigation or arbitration to enforce any of the provisions hereof, to protect its interest in any matter arising out of or related to this Agreement, Contractor shall be entitled to recover from the Customer all of its attorney's fees and costs/expenses incurred therein, including attorney's fees, and costs/expenses incurred at mediation, administrative, appellate or bankruptcy proceedings.

Authority to Sign. The signors to this contract represent to each other that each signor has authority to sign this contract on behalf of the party for whom each is signing. Customer represents that he or she is an owner of the property or is an agent of the owner of the Property with authority to bind the owner of the Property to this contract. The signors to this contract (by signing) give Johnson Roofing Solutions permission to execute and authorize all permit applications, NTBO (Notice To Building Officials, and Notice Of Commencements on their behalf. Customer understands and agrees that JRS reserves right to utilize the services of third- party private provider inspectors for inspections.

Variations and Aesthetics. Customer has had opportunity to select color and style of materials used by Contractor and to inform Contractor of selections which are part of Contractor's agreed upon scope of work. Contractor is authorized to select any materials which are not contrary to any selections made by Customer and which will not affect the function of the roof system but are purely aesthetic in nature. In the event that the customer's selected materials to be used in the construction of the Project become unavailable, Contractor reserves the right to substitute substantially equivalent materials for the unavailable materials. Metal roofing and especially lengthy sheet metal panels will often exhibit waviness, commonly referred to as "oil-canning." Oil-canning pertains to aesthetics and not the performance of the panels and is not controlled by the Contractor. Contractor is not responsible for claims of customer related to oil-canning or aesthetics. Oil-canning shall not be grounds to withhold payment or reject panels of the type specified. Uneven decks, button caps, existing shingles, nails etc. may telescope (show through) metal roofing panels and is a common occurrence (especially in darker colors). By signing below customer understands telescoping does not constitute a defect and is not grounds to withhold payment or reject work as it does not affect functionality. Both parties understand scratches of metal paint are not grounds for rejection and can be touched up with manufacturer touch up paint and are not grounds to withhold payment. JRS typically uses 1" Nail Strip Snap Lock for its standing seam panels. It is customers responsibility to notify contractor, in writing, if a different profile type is requested. Options are available to upgrade to a clip system for an additional charge especially in open soffit homes.

Wood Addendum. Customer understands and acknowledges that Contractor may replace compromised wood without notice to Customer. Customer further understands and agrees that charges for replacement of wood as provided in this contract will be added to the price of the work via the final invoice provided by Contractor.

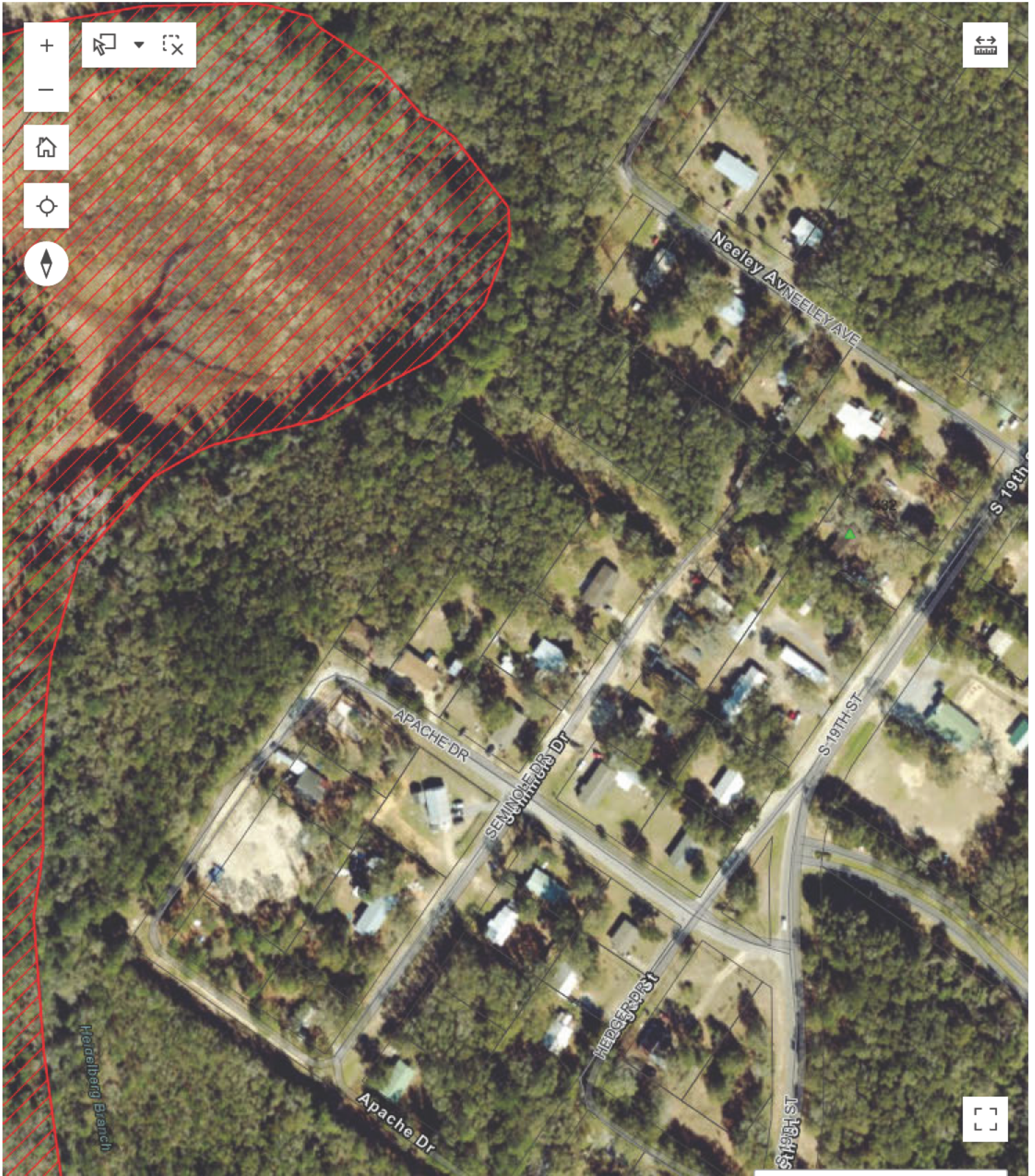
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[Handwritten signature]

Florida

AT SEAL



Selected features: 0

200 ft

Walton County Property Appraiser

Combination/Split Form

Parcel Summary

Parcel ID 25-3N-19-19070-001-8957
Location Address 432 S 19TH ST
 DEFUNIAK SPRINGS 32435
Brief Tax Description (Note: Not to be used on legal documents)
 TOWN OF DEFUNIAK 200 FT E & W BY 100 FT N & S IN NE COR OF S1/2 OF BLK 1895 OR 2205 51 OR2325 1367
(Note: Not to be used on legal documents.)
Property Use Code SINGLE FAMILY (0100)
Sec/Twp/Rng 25-3N-19
Tax District DEFUNIAK (1)
Millage Rate 13.8508
Acreage 0.459
Homestead Y

[View Map](#)

Owner Information

Primary Owner
 BEXLEY SHANNON R
 432 S 19TH ST
 DEFUNIAK SPRINGS, FL 32433

Values

	2024 Certified Values
Building Value	\$74,083
Extra Features Value	\$832
Land Value	\$15,000
Land Agricultural Value	\$0
Agricultural (Market) Value	\$0
Just (Market) Value	\$89,915
Assessed Value	\$50,467
Exempt Value	\$25,467
Taxable Value	\$25,000
Differential	\$39,448

Land Information

Land Use	Number of Units	Unit Type	Acres	Frontage
000100 SFR	1	LT	0.45	100

Building Information

Type	SINGLE FAMILY	Heat	AIR DUCTED
Total Area	1,193	Air Conditioning	CENTRAL
Heated Area	1,125	Bathrooms	1.5
Exterior Walls	COMMON BRK	Bedrooms	3
Roof Cover	COMP LIGHT	Stories	1
Interior Walls	DRYWALL	Actual Year Built	1980
Frame Type			
Floor Cover	CORK/VTILE		

Extra Features

Code	Description	Length x Width	Units	Unit Type
0490	CONCRETE	12 x 12 x	144	
0490	CONCRETE	0 x 0 x	1	
0505	BRICK WALKWAY	0 x 0 x	1	
0440	CHAIN L	0 x 0 x	360	
0430	WOOD FENCE	0 x 0 x	1	

Sales

Multi Parcel	Sale Date	Sale Price	Instrument	Book/Page	Qualification	Vacant/Improved	Grantor	Grantee
N	5/14/2001	\$52,000	WD	2325/1367	Qualified	Improved	GAINEY RAYMOND	BEXLEY SHANNON R
N	1/27/2000	\$33,000	MD	2205/0051	Unqualified	Improved	UNITED STATES V. ELIZABETH E LEDDON ET AL	GAINEY RAYMOND

Map



This map has been compiled from the most authentic information available and is to be used for assessment purposes only. Walton County Property Appraiser's Office assumes no responsibility for errors and/or omissions contained herein. THIS MAP IS NOT A SURVEY.

No data available for the following modules: Permits, Photos.

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Commercial Lease Agreement

CRA / Baldwin Avenue, LLC

THIS COMMERCIAL LEASE AGREEMENT (“Lease”) shall be effective as of October 1, 2025 (“Effective Date”) between **Baldwin Avenue, LLC**, a Florida limited liability company, whose address is 1745 Walton Road, DeFuniak Springs, Florida 32433 (the “Landlord”), and **DeFuniak Springs Community Redevelopment Agency**, a governmental agency, whose mailing address is 694 Baldwin Avenue, Suite 4, DeFuniak Springs, Florida 32435 (the “Tenant” or “CRA”) (Landlord and Tenant are sometimes collectively referred to as “Parties” or “parties”).

WHEREAS, Landlord is the owner of that certain property located at 694 Baldwin Avenue, DeFuniak Springs, Florida 32435 (parcel ID: 25-3N-19-19070-000-9010) consisting of 6,586 square feet and comprised of multiple offices or units (“Property”);

WHEREAS, Landlord desires to lease a portion of the Property (defined as the Premises below), and Tenant desires to lease the same from Landlord under the terms and conditions set forth below.

NOW THEREFORE, the Parties for and in consideration of the mutual covenants and agreements contained herein, and for other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, hereby agree as follows:

1. **DESCRIPTION OF PREMISES.** Landlord hereby leases to the Tenant a portion of the Property described as **SUITE 4**, consisting of approximately **240 square feet** located in the northeast corner of the Property (“Premises”).

Tenant has inspected and approved the Premises and agrees that Tenant shall accept delivery of the Premises “AS IS”. Tenant further acknowledges and agrees that neither Landlord nor any agent of Landlord has made any representation or warranty, express or implied, concerning the Premises or which have induced Tenant to execute this Lease, except as expressly contained in this Lease.

2. **TERM OF LEASE.** The term of this Lease is one (1) year beginning on October 1, 2025, and terminating at 11:59pm CST on September 30, 2026 (“Term”). In the event that Tenant and Landlord desire to renew the Lease, the Lease may be renewed for an additional one (1) year term at a monthly rental amount and upon terms negotiated between Landlord and Tenant. Tenant shall provide no less than thirty (30) days’ notice prior to the end of the Lease Term to Landlord of the desire to renew. Unless Landlord or Tenant provides notice no less than thirty (30) days’ prior to the expiration of the Term of its intent to terminate this Lease, this Lease will automatically extend on a month-to-month basis following the expiration of the Term or any extension thereof. The failure of Tenant to remove all property and fully quit and surrender premises to Landlord will subject Tenant to additional Rent as a holdover tenant.

3. **AGREEMENT TO PAY RENT AND RELATED EXPENSES.**

A) **Payment of Rent.** The Tenant will pay Landlord the sum of Nine Hundred Dollars and No Cents (**\$900.00**) monthly beginning on **October 1, 2025** and on the first (1st) of each month thereafter for the Term of this Lease or extension thereof without notice or demand and without abatement, deduction or setoff, plus Florida sales tax (if applicable) in advance (“Rent”). Unless otherwise notified in writing All payments of Rent shall be paid by Tenant to Landlord at **694 Baldwin Avenue, Suite 1, DeFuniak Springs, Florida 32435.**

B) **Rent Related Expenses.**

(i) **Lease Sales Tax.** At the time of signing this Lease, Tenant is a governmental agency and, therefore, exempt from sales tax. In the event Tenant becomes subject to sales tax for any reason, Tenant shall pay to Landlord the applicable State of Florida (2%) and Walton County (1%) (currently 3% total) lease tax per month on all Rent due under this Lease and for all other items required by Florida law (“Tax”). Such Tax payments shall be paid in addition to the monthly Rent or other periodic payments due on or before the 20th day of each month. Landlord shall not be responsible for repaying Tenant any dealer sales tax credit, which it may receive by early payment of such sales tax.

(ii) **Personal Property Tax.** If applicable, Tenant shall pay and discharge as they become due, promptly and before delinquency, all personal property tax assessments of every kind and nature including, but not limited to, Walton County personal property taxes assessed against any fixtures, equipment and personal property owned by Tenant.

(iii) **Utilities.** The Landlord will pay for all utilities associated with the use of the Premises, including, but not limited to electricity, gas, water, sewer, and internet service.

C) **Late Fees, Interest and Landlord’s Collection Expenses.** This Lease shall be subject to the Florida Local Government Prompt Payment Act, §§ 218.70-80, Fla. Stat.

4. **IMPROVEMENTS TO PREMISES.** All building remodeling, modifications, and improvements to be constructed by the Tenant on the Premises during the term of this Lease shall be approved in advance in writing by the Landlord. All alterations, improvements, changes, and additions made thereto shall be the property of the Landlord and the Tenant shall have only a leasehold interest therein subject to the terms hereof. Upon the termination of this Lease, whether by expiration or default of the Tenant, all alterations, improvements, changes, and additions shall remain unless the Landlord directs the Tenant to remove them and return the Premises to its original condition, which the Tenant shall do at his own expense.

5. **PAYMENT OF INSURANCE.**

A) **Public Liability Insurance & Contents Insurance.** The Tenant will obtain and maintain in good standing public liability insurance and contents insurance covering the Premises, its appurtenances and the sidewalks fronting thereon, and all fixtures, equipment and appliances located therein. The Tenant will maintain these policies at its own expense and shall not allow any policy to lapse for lack of payment or for failure to renew. Tenant shall not modify any such

insurance policy to reduce the current limits of coverage. **Each insurance company and the terms of the policy, including deductible amounts, are subject to Landlord's approval. All of these policies shall name the Landlord as an additional insured and loss payee.** No insurance provided under this Lease will be subject to cancellation or reduction of limits unless at least thirty (30) days' notice is given to Landlord.

i) Public Liability Insurance Policy Amount. Liability insurance covering all claims for which Tenant is responsible shall have a minimum limit of at least \$500,000.00, for the injury to or death of any one person, and a minimum of \$1,000,000.00 for the injury to or death of any number of persons in any one occurrence.

ii) Other Insurance Policy Amounts. The Tenant's Contents Insurance Policy covering the Premises and improvements shall be maintained in an amount sufficient to cover the value thereof.

B) Proof of Insurance. The Tenant will provide Landlord with certificates of the insurance within thirty (30) days of the Effective Date. Tenant shall notify Landlord immediately in the event any insurance policy lapses, is cancelled, or is modified. Tenant's failure to abide by this paragraph shall result in default of this Lease.

C) Fire, Hazard, & Casualty Insurance. The Landlord shall be responsible for obtaining and carrying Fire, Hazard, & Casualty Insurance policies covering the Property at Landlord's expense and in amounts determined by the Landlord in Landlord's sole, exclusive discretion.

6. UNCONDITIONAL AND FULL GENERAL RELEASE OF LIABILITY. Landlord shall not be liable for injury or damage to person or property occurring within or on the Premises, unless caused by or resulting from Landlord's gross negligence or intentional misconduct or that of its agents, servants, or employees in the operation or maintenance of the leased property or the building on such property. In consideration for permission to use the Premises, Tenant shall defend, indemnify, release, and hold Landlord harmless from and against any claim, loss, expense or damage to any person or property in or upon the demised Premises or any part of the Property allocated to or used exclusively by Tenant or its agents, employees, or invitees. Tenant understands that this waiver includes any claims based on negligence, action, or inaction of the above parties. As a result of this indemnification, Tenant guarantees that it will reimburse Landlord for all expenses and suits arising out of this Lease provision or Tenant's use of the Premises, including but not limited to judgments, attorney's fees, and court costs.

7. AGREEMENT FOR USE OF THE PREMISES.

A) Use of Premises. The parties have inspected the Premises and confirm the physical condition is suitable for the Tenant's use as an office only and for no other purposes whatsoever without the written approval of the Landlord, the approval or denial of which may be withheld at the sole discretion of the Landlord.

i) **Waste, Nuisance, and Illegal Purpose Prohibited.** The Tenant shall not, or suffer to be committed, any waste of the Premises or Property. The Tenant shall not use the Premises or Property for any illegal purposes, any purpose that will increase the rate of insurance, or any purpose that creates a nuisance for Landlord or neighbors.

ii) **Compliance With All Laws.** During the term of this Lease, Tenant shall comply with all applicable laws affecting the Premises and Property, the breach of which might result in any penalty on the Landlord or forfeiture of Landlord's title to the Property. Tenant shall comply with and abide by all federal, state, county, municipal and other governmental statutes, ordinances, laws, and regulations affecting the Premises, the improvements thereon and any activity or condition on or in such Premises or Property.

B) **Care of Premises.** The Tenant shall, at its own expense, make all necessary repairs, and maintain the interior and exterior of the building and all appurtenances thereto in good, sanitary, neat order and condition. Tenant shall be obligated to make any repairs, replacements, or renewals of any kind. Tenant shall comply with and abide by all federal, state, county, municipal and other governmental statutes, ordinances, laws, and regulations affecting the Premises, the improvements thereon and any activity or condition on or in such Premises.

C) **Abandonment of Premises.** Tenant shall not vacate or abandon the Premises at any time during the term thereof; if Tenant shall abandon, vacate, or surrender the Premises, or be dispossessed by process of law, or otherwise, any personal property belonging to the Tenant and left on the Premises shall be deemed to be abandoned, at the option of the Landlord.

D) **Re-delivery of Premises.** The Tenant will redeliver the Premises, at the end of the Lease term, in as good condition as when received and in broom-swept condition, together with any permanent improvements and fixtures unless otherwise directed or approved by the Landlord.

E) **Destruction of Premises.** Should the Premises be damaged or destroyed, Landlord may, at Landlord's option, terminate the remaining term of the Lease or repair or rebuild the Premises. Rent due pursuant to this Lease shall be abated for the time and only to the extent Tenant is prevented from the use of the Premises in its entirety.

F) **Exercise of Eminent Domain.** In the event such portion as would render the Premises unsuitable for the Tenant's intended use shall be appropriated or taken under the power of eminent domain by any public or quasi-public authority, this Lease shall terminate if agreed by the parties and expire as of the date of such taking, and Tenant shall thereupon be released from all liability thereafter accruing. In the event of the termination of this Lease by reason of the total or partial taking of the Premises by eminent domain as aforesaid, then in any such condemnation proceeding Landlord and Tenant shall be free to make claim against the condemning authority for the amount of any damage done to them, respectively as a result thereof.

G) **Landlord's Right of Entry.** Tenant shall permit Landlord and the agents and employees of Landlord to enter into and upon the Premises at all reasonable times with reasonable notice to Tenant for the purpose of inspecting the same, or for the purpose of posting notices of

non-responsibility for alterations, additions or repairs, without any rebate of Rent and without any liability to the Tenant for any loss of occupation or quiet enjoyment of the Premises thereby occasioned, and shall permit Landlord and his agents and employees, at any time within the last six (6) months prior to the expiration of this Lease, to place on the Premises any usual or ordinary "For Lease" or "For Sale" signs and exhibit the Premises to prospective Tenants or purchasers at reasonable hours.

H) Signs, Awnings, Marquees, Etc. Any and all signs, awnings, marquees, and all other forms of advertising placed on or around the Premises are subject to the express written consent of the Landlord the approval or denial of which may denied in the sole and absolute discretion of the Landlord. If approved by Landlord, Tenant shall be responsible for applying for and obtaining all necessary government approvals which shall strictly comply with the Landlord's approvals. Tenant shall remove any non-conforming sign, awning, or marquee, etc., within ten (10) days of receiving written notice from Landlord.

I) Tenant's License for Access. As partial consideration for Rent paid under this Lease, Landlord hereby grants Tenant a License in, under and across the Property for ingress, egress, and access to the Premises adequate for Tenant, its employees, and invitees to enter and exit the Premises at all times during the Term of this Lease (collectively, the "License"). The License provided hereunder shall have the same term as this Lease. Subject to the limits hereafter set forth, Tenant shall have a right to access to the Premises at all times during the Term of this Lease. Tenant acknowledges that the Premises being leased is located on the Property. Therefore, any access to the Premises shall be in accordance with the rules and regulations and policies of the Landlord regarding access to such Property.

8. MECHANIC'S LIENS. Tenant shall keep all of the Premises and every part thereof and all buildings and other improvements at any time located thereon free and clear of any and all mechanics', materialmen's or labor liens or other liens for and arising out of or in connection with the work or labor done, services performed, or materials or appliances used or furnished for or in connection with any operations of the Tenant, any alteration, improvement, or repairs or additions which Tenant may make or permit or cause to be made, or work or construction, by, for, or permitted by Tenant on or about the Premises, or any obligations of any kind incurred by Tenant, and at all times promptly and fully pay and discharge any and all claims on which any such lien may or could be based, and to indemnify Landlord and all of the Premises and all buildings and improvements thereon against any such liens and claims of lien and suits or other proceedings pertaining thereto. Any mechanic's lien filed against the Premises, or the building of which the same form a part, for work claimed to have been done for, or materials claimed to have been furnished to Tenant, shall be discharged by Tenant within fifteen (15) days after notice by Landlord or by record notice, at Tenant's expense. If Tenant fails to discharge any such Mechanic's lien within such period, then, in addition to any other right or remedy of Landlord, Landlord may, but shall not be obligated to, discharge the same either by payment of the amount claimed or by procuring discharge of such lien by deposit in court or giving of security or in such other manner as may be prescribed by law. Any amount paid by Landlord to discharge any such lien, including all necessary disbursements, expenses and reasonable legal fees, with interest thereon at the rate of ten percent (10%) from the date of any payment, shall be repaid by Tenant to Landlord on

demand and, if unpaid, may be treated as additional rent. Notice is hereby given that Landlord shall not be liable for any labor or materials furnished or to be furnished to Tenant upon credit, and that no lien for any such labor or materials shall attach to or affect the reversionary or other estate or interest of Landlord in and to the Premises or any part thereof or any of the appurtenances or equipment.

9. **LANDLORD'S LIEN.** In addition to any other lien conferred on Landlord by law, Tenant grants to Landlord a security interest in the personal property of Tenant brought onto the Premises, to secure payment of the Rent and performance by Tenant of all covenants of Tenant under this Lease.

A) **Perfection of Lien.** On demand of Landlord, Tenant must execute and deliver financing statements and do all things for the creation and perfection of Landlord's security interest as may be required under the Uniform Commercial Code.

B) **Enforcement of Lien.** This lien may be enforced in the manner provided for enforcement of security interests under the Uniform Commercial Code.

10. **SUBORDINATION OF LEASE.** Tenant accepts this Lease subject and subordinate to any mortgage, deed of trust, or other lien presently existing or hereafter arising upon the Premises, or upon the Property and to any renewals, refinancing and extensions thereof. Landlord is hereby irrevocably vested with full power and authority to subordinate this Lease. Tenant agrees that it will from time to time upon request of Landlord execute and deliver to such persons as Landlord shall request a statement that this Lease is unmodified and in full force and effect and further stating such other matters as Landlord shall require, including an acknowledgment that this Lease is subordinate to any mortgage, deed of trust, or other lien.

11. **LANDLORD'S REENTRY ON DEFAULT OR ABANDONMENT.** If Tenant abandons or vacates the Premises or is dispossessed for cause by Landlord before the termination of this Lease, or any renewal or extension of this Lease, Landlord may, on giving written notice to Tenant, declare this Lease forfeited and shall, in the event of forfeiture, make reasonable efforts to relet the Premises.

A) **Landlord's Damages.** Tenant shall be liable to Landlord for all damages suffered by reason of the forfeiture. Such damages shall include, but are not limited to, the following: (1) all actual damages suffered by Landlord until the Premises are relet, including reasonable expenses incurred in attempting to relet; and (2) the difference between the Rent received when the Premises are relet, and the Rent still owed under this Lease.

B) **Tenant's Promise to Pay for Damages.** Until the Premises have been relet, Tenant agrees to pay to Landlord, on the same day that Rent is due under this Lease, the actual damages suffered by Landlord after the last payment, either Rent or damages, was made. After the Premises have been relet, Tenant agrees to pay to Landlord, on the last day of each rental period, the difference between the Rent received for the period from reletting and the Rent reserved under this Lease for that period.

12. **HOLDING OVER.** If Tenant holds over after this Lease has terminated by cause of expiration of the term, Landlord will be entitled to twice the Rent for each calendar month or part of any calendar month included within the holdover period. If Tenant holds over after the Lease has terminated by cause other than expiration of the term, Tenant must pay the reasonable value for the use and occupancy of the Premises, calculated by the Rent, for each calendar month or part of any calendar month included within the holdover period. The obligations of Tenant under this Lease will apply during the holdover period regardless of termination of the Lease.

13. **DEFAULT OF LEASE.** Any of the following events shall be a default under this Lease:

A) Tenant's failure to pay the Rent agreed to be paid in whole or in part at the time specified and continuing for a period of ten (10) calendar days after the due date. The mere passage of time without payment by the due date will constitute a default, with no notice thereof being necessary.

B) Tenant's failure to observe and perform any covenant, condition, or agreement in this Lease, other than the payment of Rent, if such noncompliance continues five (5) calendar days after written notice from Landlord to Tenant specifying such failure and stating that failure to perform within fifteen (15) calendar days shall be a default under this Lease. If such noncompliance or essentially similar noncompliance occurs more than once within any Lease Year, then upon the second such noncompliance, Landlord may declare a default without further notice and opportunity to cure.

C) Tenant's default in any obligation to pay when due any debt to any person or entity arising out of the operation of the business or any money borrowed from any person or entity, if not cured within five (5) days after notice from Landlord.

D) The dissolution or liquidation of Tenant or disposal of all or substantially all of Tenant's assets.

E) Tenant's bankruptcy or insolvency or filing of any debt proceeding; Tenant takes or has taken against Tenant any petition in bankruptcy or for the appointment of a receiver for all or a portion of Tenant's assets, or Tenant files a petition for corporate reorganization or makes any assignment for the benefit of creditors, or if in any other manner Tenant's interest under the Lease shall pass to another by operation of law.

F) Any other event specified in this Lease to be an event of default.

14. **REMEDIES FOR DEFAULT.**

A) **Landlord's Remedies for Default.** In the event of default by the Tenant, Landlord will have the following cumulative rights, privileges, and options in addition to all other remedies now or hereafter provided by law:

i) Landlord may declare all Rent installments for the remainder of the Lease Term to be immediately due and payable.

ii) To perform any act or do anything required under this Lease to be performed by the Tenant, and to recover the cost thereof from Tenant.

iii) To recover from the Tenant all expenses including reasonable costs and charges for repairs to the Premises, which amounts will become due when incurred and will become payable to Landlord on demand.

iv) Landlord, without terminating this Lease, may reenter and take possession of the Premises and sublease the Premises for the account of the Tenant, holding the Tenant liable for the difference in the Rent and other amounts actually paid by such sub-Tenant and the amount payable by Tenant under this Lease. Landlord may exclude and remove Tenant and all persons and contents from the Premises by force, summary proceedings or otherwise, without being liable to Tenant. Tenant shall remain liable for any damages sustained by Landlord, all reasonable costs, professional fees, and expenses incurred by Landlord in leasing the Premises to another tenant, and in collecting rentals from Tenant.

v) The Landlord may take whatever action at law or in equity may appear necessary or desirable to collect the Rent and other amounts then due and thereafter to become due, or to enforce performance and observance of any obligation, agreement or covenant of the Tenant under this Lease, including utilization of all provisions of applicable laws respecting the speedy recovery of lands and tenements held over by Tenant and proceedings in forcible entry and detainer.

vi) The Landlord may terminate this Lease and exercise any right or remedy it may have in law or equity, or pursuant to the terms of this Lease.

No notice shall be necessary to entitle the Landlord to exercise any remedy reserved to it, except as expressly required by this Lease. No remedy conferred upon or reserved to the Landlord is intended to be exclusive of any other available remedy or remedies, but each and every such remedy shall be cumulative and shall be in addition to every other remedy given under this Lease or now or hereafter existing at law or in equity or by statute.

B) The Tenant's Remedies for Default. In the event of default by Landlord, the Tenant will have the following cumulative remedies, rights, privileges, and options in addition to all other remedies now or hereafter provided by law:

i) After ten (10) days from giving Landlord notice of any default by Landlord in writing, to perform any act or do anything required under this Lease to be performed by Landlord.

ii) To set off from the Rent any sum that the Tenant may reasonably incur to cure any breach of this Lease by Landlord so long as Landlord was given ten (10) days to cure the breach prior to Tenant's incurred expenses.

15. ASSIGNMENT OF LEASE.

A) Assignment Generally Prohibited; Landlord's Right of Approval. Tenant shall not assign this lease in whole or in part or sublet the whole or any part of the Premises or permit the use of the whole or any part of the Premises by any licensee or concessionaire, or encumber this Lease, without first obtaining the written consent of Landlord. Landlord enters this lease because of his or her confidence in Tenant to operate a first-class business on the Premises and Landlord reserves the right to disapprove, in Landlord's sole discretion, any assignment or sublease for any reason. Any assignment or sublease made without the Landlord's approval is void ab initio. Any approval given by Landlord does not waive the right to approve any future assignment or sublease of this Lease.

B) Tenant's Continuing Liability. Tenant will remain liable for the performance of this Lease regardless of any assignment, sublease, or license with or without the consent of Landlord.

16. WAIVER OF NOTICE. The Tenant specifically waives all notice to which they may be entitled under the laws of the State of Florida, including, but not limited to "the three (3) days' notice, in writing," requiring the payment of the Rent or possession of the Premises.

17. MANNER OF GIVING NOTICE. The parties agree that all notices under this Lease shall be effective when sent in writing, postage prepaid by U.S. mail as follows:

TO TENANT: DeFuniak Springs Community Redevelopment Agency
694 Baldwin Avenue, Suite 4
DeFuniak Springs, Florida 32435

TO LANDLORD: Baldwin Avenue, LLC
1745 Walton Road
DeFuniak Springs, Florida 32433

18. GOOD TITLE AND QUIET ENJOYMENT. Landlord represents that it has good title to the Premises and lawful authority to lease it. If the Tenant performs all agreements of this Lease that it is to perform, the Landlord agrees that the Tenant shall quietly hold and enjoy the Premises, subject to restrictions and easements of record and zoning regulations of any governmental authority.

19. SURRENDER OF LEASE. The voluntary or other surrender of this Lease by Tenant or a mutual cancellation thereof, shall not work a merger, and shall, at the option of the Landlord, terminate all or any existing subleases or subtenancies, or may, at the option of the Landlord, operate as an assignment to it of any or all such subleases or subtenancies.

20. WAIVER WITHOUT EFFECT. The waiver by either party of, or the failure of either party to take any action with a respect to any breach of any term, covenant, or condition herein contained shall not be deemed to be a waiver of such term, covenant, or condition, or subsequent

breach of the same, or any other term, covenant or condition herein contained. The subsequent acceptance of Rent hereunder by Landlord shall not be deemed to be a waiver of any preceding breach by Tenant of any term, covenant, or condition of this Lease, other than the failure of the Tenant to pay the particular rental so accepted, regardless of Landlord's knowledge of such preceding breach at the time of the acceptance of such Rent.

21. **AGREEMENT TO PAY LEGAL FEES.** The parties agree that in the event any action shall be taken by suit or otherwise for the enforcement of any rights under this Lease, the prevailing party shall be entitled to recover from the non-prevailing party all costs incurred therein, including attorney's fees.

22. **SEVERABILITY AND INTERPRETATION OF PROVISIONS.** The provisions of this Lease are severable. If any provision of this Lease is held invalid, the remaining provisions continue in effect. Wherever possible, each provision of this Lease shall be interpreted in such a manner as to be effective and valid under applicable law.

23. **PARTIES BOUND BY AGREEMENT.** The parties agree that this Lease shall bind and inure to the benefit of the parties and their respective heirs, legal representatives, successors, and assigns when permitted by this Lease.

24. **GOVERNING LAW.** Florida law governs this Lease.

25. **DETERMINATION OF VENUE.** In the event any dispute arises concerning this Lease, the parties agree that any lawsuit ensuing from such dispute must be filed in the circuit court in and for Walton County, Florida. The parties to this Lease herein expressly waive the right to contest any issues regarding venue or in personam jurisdiction and agree in the event of litigation to submit to the jurisdiction of the circuit court in and for Walton County, Florida.

26. **MODIFICATION OF LEASE.** The Lease may not be modified except in a writing signed by both parties.

27. **USE OF CAPTIONS IN LEASE.** Captions in this Lease are included for convenience only and are not to be taken into consideration in any construction or interpretation of this Lease or any of its provisions.

28. **RADON GAS NOTIFICATION.** **RADON GAS:** Radon is a naturally occurring radioactive gas that, when it has accumulated in a building in sufficient quantities, may present health risks to persons who are exposed to it over time. Levels of radon that exceed federal and state guidelines have been found in buildings in Florida. Additional information regarding radon and radon testing may be obtained from your county health department.

29. **ACKNOWLEDGMENT OF NOTICE.** By signing this Lease agreement, the parties acknowledge full receipt and understanding of all lease provisions of the Lease.

IN WITNESS WHEREOF, we have hereunto set our hands and seals on the date and year first written above.

TENANT:

Witness

Printed Name of Witness

DeFuniak Springs Community
Redevelopment Agency

By: Joshua R. Ervin
Its: Executive Director

Witness

Printed Name of Witness

LANDLORD:

Witness

Printed Name of Witness

Baldwin Avenue, LLC, a Florida limited
liability company

By: Letha Hinote
Its: Managing Member

Witness

Printed Name of Witness

CRA Secretary

CRA Chairman