

1350 Baldwin Avenue
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DeFuniak Springs, FL 32435



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www.defuniaksprings.net

**COMMUNITY REDEVELOPMENT AGENCY (CRA)
REGULAR MEETING AGENDA
1350 BALDWIN AVENUE, CITY HALL
WEDNESDAY, OCTOBER 29, 2025
5:00 PM**

- 1. CALL TO ORDER**
 - A. Invocation
 - B. Pledge of Allegiance
- 2. WELCOME COMMISSIONER DONALD GRAHAM**
- 3. APPROVAL OF MINUTES**
 - A. September 24, 2025
- 4. FINANCIAL REPORT**
 - A. Item
- 5. GROWTH AND DEVELOPMENT ASSISTANCE GRANT TRACKING SHEET**
 - A. Item
- 6. NEW BUSINESS**
 - A. Request direction on debt issuance RFP
 - B. Update on Lake Yard Amphitheater project
 - C. Presentation of 2nd Draft Historic Preservation Standards and request to approve Invoice 6-270113 for payment
 - D. Request direction on proposed changes to the Hazardous Tree Removal Grant Guidelines
 - E. Request direction on Executive Director applications
 - F. Update on Fire Station renovations
 - G. Update on 27 Crescent Drive and request to approve Invoice 24-0255 for payment.
 - H. Update on Baldwin Avenue restriping project and request to approve Invoice 14761 for payment
 - I. Update on Downtown Alleyway Improvement Project
 - J. Update on MOU and MOA for code lien reduction and abatement
 - K. Request direction on the allocation of unspent revenues from FY 25
- 7. REQUEST TO BE ON THE AGENDA**
- 8. BOARD MEMBER COMMENTS**
 - A. Comm. R. Hamilton – Special Presentation

9. CITIZEN COMMENTS

10. ADJOURNMENT

Florida Statute 286.0105. Notices of meetings and hearings must advise that a record is required to appeal. Each board, commission, or agency of this state or of any political subdivision thereof shall include in the notice of any meeting or hearing, if notice of the meeting or hearing is required, of such board, commission, or agency, conspicuously on such notice, the advice that, if a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The requirements of this section do not apply to the notice provided in s. 200.065(3). In accordance with Section 286.26, F.S., persons with disabilities may contact the City Clerk at cityclerk@defuniaksprings.net or 850-892-8500 ext. 1103.

**Community Redevelopment Agency
Regular Meeting Minutes
Council Chambers
September 24, 2025
5:00 PM**

1. Call To Order

Chair R. Henderson called the Community Redevelopment Agency meeting to order at 5:00 PM.

Present: Reynolds Henderson, Cathy Mosley, Rob Hamilton, and Bruton Campbell-Work.

Absent:

Also in attendance: City Attorney Clay Adkinson, Executive Director Josh Ervin, and Rafael Ali, City Clerk.

2. APPROVAL OF THE MINUTES

A. August 6, 2025

A motion was made to approve the August 6, 2025 Meeting Minutes by Mr. Hamilton and seconded by Mr. Campbell-Work; the motion passed without objection.

3. FINANCIAL REPORT

A. Item

Mr. Ervin presented the financial report.

A motion was made to accept the financial report by Mrs. Mosley and seconded by Mr. Campbell-Work; the motion passed without objection.

4. GROWTH AND DEVELOPMENT ASSISTANCE GRANT TRACKING SHEET

A. Item

Mr. Ervin presented the Growth and Development Tracking Sheet.

He noted that he included a chart in the tracking sheet showing the items for the Board's review.

5. NEW BUSINESS

A. Request to approve Income-based Roofing Improvement Grant for 221 Loftin Street

Mr. Ervin presented the request to approve the Income-Based Roofing Improvement Grant for 221 Loftin Street.

He noted that the applicant is present and has submitted two quotes.

A motion was made to approve the request to approve Income-based Roofing Improvement Grant for 221 Loftin Street by Mr. Campbell-Work and seconded by Mr. Hamilton; the motion passed without objection.

F. Request direction on Fire Station renovations Task Order 25-06-CRA design proposal

Mr. Ervin reported that he received a quote for the renovation of the fire department.

Mr. Ervin reported that a structural engineer from Macon, Georgia provided an estimate.

He noted that the total cost for design is \$77,050.

Mr. Henderson noted that if another proposal is desired, the City would need to go out to bid.

Mr. Ervin confirmed that if neither of the engineering consultants is used, a Request for Proposal (RFP) would need to be issued.

He added that he can reach out to Anchor to see if they can provide a proposal for the project.

Mr. Hamilton suggested consulting with the City Council to determine if they want to move forward.

He added that another proposal from Anchor could be obtained to confirm whether the Council wishes to proceed.

Mr. Campbell-Work asked if there is any work that can be started immediately.

Mr. Ervin replied that unfortunately, there is not.

He further explained that the building is an iron structure and may not be wind-rated.

Mr. Hamilton asked whether Anchor's proposal would differ significantly from the current estimate.

Mr. Ervin responded that he is unsure if the cost would be lower or higher.

He added that the person he reached out to suggested that constructing a new building might be more cost-effective.

Mr. Henderson asked whether a new building could be constructed.

Mr. Adkinson stated that the main issue is identifying a location for the building.

He added that there would be benefits if a new building could be constructed at the current site and noted that the fire department is included in the CIP.

Mr. Hamilton asked whether the CRA could legally build a fire station.

Mr. Adkinson confirmed it could, but it would need to be removed from the CIP for three years and would require permission from the taxing authorities.

Mr. Hamilton asked whether it would be possible to build a fire station on the current land within five years.

He stated that he wants a proposal from Anchor and to bring it back to the City Council.

Mr. Henderson asked whether a proposal could be obtained before the next City Council meeting.

Mr. Ervin replied that he will do his best and will follow up with the Council to obtain a quote from Anchor.

Mr. Campbell-Work asked if any needs could be addressed prior to engineering.

Mr. Ervin stated that it would be best to wait so as not to do double work.

He asked if he should get a proposal from Anchor first and then go to the Council.

Mr. Henderson answered yes.

B. Request to approve Invoice 25064_0825 for John V Lawson Amphitheater Concept Design

Mr. Ervin presented the request to approve Invoice 25064_0825 for the John V. Lawson Amphitheater Concept Design.

Mr. Ervin stated that this is totaling \$5,620.

A motion was made to approve the invoice by Mr. Hamilton and seconded by Mr. Campbell-Work; the motion passed without objection.

C. Request direction on Baldwin Avenue restriping project

Mr. Ervin requested direction on the Baldwin Avenue Restriping Project.

He noted that the Council requested a review of the head-in parking and to consider returning to angle parking.

Mr. Campbell-Work asked about the difference in parking.

Mr. Ervin explained that the current plan would add 6 new parking spots.

Mr. Hamilton commented that he could justify spending \$12,000 per spot.

He noted there was concern that head-in parking could be unsafe.

He added that after discussions with the public, it would be important to inform them that this is the best use of the space.

Mr. Hamilton mentioned that an engineer could confirm it is safe to add the head in parking spots.

He recommended going back to the Council to explain that this plan provides the best return on investment and stated he does not think the CRA should waste funds on this.

Mr. Hamilton concluded that the project should proceed with head-in parking.

Mr. Vallee added that drivers can back up safely by shifting lanes, and the only business requesting handicapped spots in the middle was Fiscal, which is leaving.

He noted that handicapped parking is available in many places around the City.

Mr. Mosley asked why head-in parking was considered unsafe.

Mr. Vallee explained that people were concerned about backing up, though traffic naturally slows down, making it safer.

He added that the solution was to encourage proper use of the parking spaces.

Councilmember Bierbaum requested eliminating the handicapped parking in the middle of the street.

He emphasized wanting to maximize parking availability and noted there are plenty of handicapped spots downtown.

Mr. Ervin confirmed that the handicapped parking in the middle would be removed.

Mr. Campbell-Work asked whether a visual concept is needed to present to the Council.

Councilmember Bierbaum answered yes.

D. Request direction on Debt Issuance RFP

Mr. Ervin presented the request for direction on the Debt Issuance RFP.

He noted that there are many components to the bid award.

He added that the consultant will review the bid for the Board at the October meeting.

A motion was made to allow PFM to issue the Debt Issuance RFP by Mr. Campbell-Work and seconded by Mr. Hamilton; the motion passed without objection.

E. Request direction on Dog Park Task Order 25-05-CRA design proposal

Mr. Ervin presented the request for direction on Dog Park Task Order 25-05-CRA Design Proposal.

A motion was made to approve the task order by Mr. Campbell-Work and seconded by Mr. Hamilton; the motion passed without objection.

F. Request direction on Fire Station renovations Task Order 25-06-CRA design proposal

A motion was made to approve the Fire Station renovations Task Order 25-06-CRA design proposal by Mrs. Mosley and seconded by Mr. Campbell-Work; the motion passed without objection.

G. Request to approve Invoice 5-269029 for Historic District Design Standards

H. Request direction on the October, November, and December CRA Board meetings

Mr. Ervin stated that he needs direction on the October, November, and December CRA meetings.

Mr. Henderson asked if we need the December Meeting.

The committee stated no.

A motion was made to approve the October 29th and November 19th CRA meetings reschedule and to cancel the December CRA meeting by Mrs. Mosley and seconded by Mr. Hamilton; the motion passed without objection.

I. Update on Circle Drive Lighting

Mr. Ervin presented an update on the Circle Drive Lighting Project.

He noted that none of the lighting selected was dark-sky compliant.

Mr. Hamilton asked why dark-sky compliance is required.

Mr. Adkinson explained that it is for Eglin Air Force Base.

Mrs. Wennerberg asked about the purpose of the lighting.

Mr. Ervin responded that he received a request from a business owner who complained about the lack of lighting.

Mrs. Wennerberg asked if the plan includes uplighting.

Mr. Vallee noted that there is an effort at the City level to make lighting consistent.

He also mentioned that the Main Street Plan may include relevant information.

Mr. Adkinson explained that uplighting on structures cannot exceed 80% of the structure.

He referenced a similar issue in Freeport where a member of the military attended a meeting and stated that a development's lights were too bright.

Mr. Vallee added that horizontal light close to the ground can be used and that pathways can also be illuminated.

6. REQUEST TO BE ON THE AGENDA

7. BOARD MEMBER COMMENTS

8. CITIZEN COMMENTS

Melinda Henderson mentioned that the City has held workshops on historic preservation standards.

Mrs. Henderson noted that the third workshop is scheduled for December 15.

Mrs. Henderson commented that the Council seems to be blocking proposals they initially requested.

Councilmember Bierbaum shared that while he was downtown, a citizen pointed out that the lights were not operational.

Councilmember Townsend said the City is still experiencing issues with the downtown lighting.

Councilmember Bierbaum explained that the City received a quote from Jubilee and opted for a self-install approach.

He added that at that point, it takes the responsibility out of the City's hands.

Mr. Henderson suggested that if upgrades are made, they should improve the overall condition and appearance of the streets.

Councilmember Bierbaum noted that from the City's perspective, there are ongoing challenges in keeping the lights operational.

9. ADJOURNMENT

Meeting adjourned at 6:05 PM.

Approved:

Chair Reynolds. Henderson

ATTEST:

Minutes taken by Rafael Ali
City Clerk
Proper notice having been duly given

DRAFT



DeFuniak Springs, FL

Detail Report Account Detail

Date Range: 10/01/2025 - 09/30/2026

Account	Name	Beginning Balance	Total Activity	Ending Balance
Fund: 660 - Community Redevelopment Area				
660-000-515-1200 CRA - Salaries		0.00	3,812.86	3,812.86
Post Date	Packet Number	Source Transaction	Pmt Number	Description
10/10/2025	PYPKT01379	PYPKT01379 - 10/10/2...		PYPKT01379 - 10/10/2025 PAYROLL - Pa...
				Vendor
				Project Account
				Amount
				Running Balance
				3,812.86
				3,812.86
				Activity for October, 2025:
				3,812.86
660-000-515-1225 CRA-Bonus		0.00	1,624.25	1,624.25
Post Date	Packet Number	Source Transaction	Pmt Number	Description
10/17/2025	PYPKT01383	PYPKT01383 - 10/17/2...		PYPKT01383 - 10/15/2025 Bonus - Pay 1...
				Vendor
				Project Account
				Amount
				Running Balance
				1,624.25
				1,624.25
				Activity for October, 2025:
				1,624.25
660-000-515-2100 CRA - FICA Taxes		0.00	415.94	415.94
Post Date	Packet Number	Source Transaction	Pmt Number	Description
10/10/2025	PYPKT01379	PYPKT01379 - 10/10/2...		PYPKT01379 - 10/10/2025 PAYROLL - Pa...
10/17/2025	PYPKT01383	PYPKT01383 - 10/17/2...		PYPKT01383 - 10/15/2025 Bonus - Pay 1...
				Vendor
				Project Account
				Amount
				Running Balance
				291.69
				291.69
				124.25
				415.94
				Activity for October, 2025:
				415.94
660-000-515-2200 CRA - Retirement		0.00	1,267.39	1,267.39
Post Date	Packet Number	Source Transaction	Pmt Number	Description
10/10/2025	PYPKT01379	PYPKT01379 - 10/10/2...		PYPKT01379 - 10/10/2025 PAYROLL - Pa...
				Vendor
				Project Account
				Amount
				Running Balance
				1,267.39
				1,267.39
				Activity for October, 2025:
				1,267.39
660-000-515-4300 CRA - Insurance		0.00	6,390.75	6,390.75
Post Date	Packet Number	Source Transaction	Pmt Number	Description
10/03/2025	APPKT01709	2526-1522-Q1-1	13945	GENERAL, CYBER, & COMM LIABILITY IN...
				Vendor
				Project Account
				Amount
				Running Balance
				6,390.75
				6,390.75
				Activity for October, 2025:
				6,390.75
660-000-515-8200 CRA - Incentive Grants		0.00	5,000.00	5,000.00
Post Date	Packet Number	Source Transaction	Pmt Number	Description
10/16/2025	POPKT12342	GRANT250038	13999	Commercial Site and Building Improvem...
				Vendor
				Project Account
				Amount
				Running Balance
				5,000.00
				5,000.00
				Activity for October, 2025:
				5,000.00

Detail Report

Date Range: 10/01/2025 - 09/30/2026

Account						Beginning Balance	Total Activity	Ending Balance
660-101-200-0000						1,945,520.03	-14,572.69	1,930,947.34
Cash								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/10/2025	GLPKT13095	JN09704		AP Clearing Input 10/10/25 Payables			-7,452.25	1,938,067.78
10/10/2025	GLPKT13096	JN09705		PR Clearing Input 10/10/25 Payroll			-5,371.94	1,932,695.84
10/16/2025	GLPKT13140	JN09720		PR Clearing Input 10/17/25 Bonus			-1,748.50	1,930,947.34
Activity for October, 2025:							-14,572.69	
660-207-810-0000						-1,061.50	-3,938.50	-5,000.00
Transfer to AP Clearing								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/03/2025	APPKT01709	2526-1522-Q1-1	13945	GENERAL, CYBER, & COMM LIABILITY IN...	02446 - FLORIDA MUNICIPAL INSURANCE T...		-6,390.75	-7,452.25
10/10/2025	GLPKT13095	JN09704		AP Clearing Input 10/10/25 Payables			7,452.25	0.00
10/16/2025	POPKT12342	GRANT250038	13999	Commercial Site and Building Improvem...	18034 - GSF VALLEY PROPERTIES, LLC		-5,000.00	-5,000.00
Activity for October, 2025:							-3,938.50	
660-207-813-0000						0.49	0.00	0.49
Due to Payroll Clearing								
Post Date	Packet Number	Source Transaction	Pmt Number	Description	Vendor	Project Account	Amount	Running Balance
10/10/2025	PYPKT01379	PYPKT01379 - 10/10/2...		Packet PYPKT01379: 10/10/2025 PAYRO...			-5,371.94	-5,371.45
10/10/2025	GLPKT13096	JN09705		PR Clearing Input 10/10/25 Payroll			5,371.94	0.49
10/16/2025	GLPKT13140	JN09720		PR Clearing Input 10/17/25 Bonus			1,748.50	1,748.99
10/17/2025	PYPKT01383	PYPKT01383 - 10/17/2...		Packet PYPKT01383: 10/17/2025 Bonus -.			-1,748.50	0.49
Activity for October, 2025:							0.00	
Total Fund: 660 - Community Redevelopment Area:						Beginning Balance: 1,944,459.02	Total Activity: 0.00	Ending Balance: 1,944,459.02
Grand Totals:						Beginning Balance: 1,944,459.02	Total Activity: 0.00	Ending Balance: 1,944,459.02

Fund Summary

Fund	Beginning Balance	Total Activity	Ending Balance
660 - Community Redevelopment Area	1,944,459.02	0.00	1,944,459.02
Grand Total:	1,944,459.02	0.00	1,944,459.02



DeFuniak Springs, FL

Budget Report Account Summary

For Fiscal: 2025-2026 Period Ending: 10/31/2025

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 660 - Community Redevelopment Area								
Revenue								
660-311-100-0000	CRA - County Ad Valorem	722,569.00	722,569.00	0.00	0.00	0.00	-722,569.00	100.00 %
660-311-200-0000	CRA-City Ad Valorem Taxes	1,111,645.00	1,111,645.00	0.00	0.00	0.00	-1,111,645.00	100.00 %
660-331-300-0000	CRA - Prior Year Carry Over	878,003.00	878,003.00	0.00	0.00	0.00	-878,003.00	100.00 %
	Revenue Total:	2,712,217.00	2,712,217.00	0.00	0.00	0.00	-2,712,217.00	100.00%
Expense								
660-000-515-1200	CRA - Salaries	115,500.00	115,500.00	3,812.86	3,812.86	0.00	111,687.14	96.70 %
660-000-515-1225	CRA-Bonus	0.00	0.00	1,624.25	1,624.25	0.00	-1,624.25	0.00 %
660-000-515-2100	CRA - FICA Taxes	11,691.00	11,691.00	415.94	415.94	0.00	11,275.06	96.44 %
660-000-515-2200	CRA - Retirement	48,241.00	48,241.00	1,267.39	1,267.39	0.00	46,973.61	97.37 %
660-000-515-2300	CRA - Health Insurance	14,471.00	14,471.00	0.00	0.00	0.00	14,471.00	100.00 %
660-000-515-2400	CRA - Worker Compensation	1,500.00	1,500.00	0.00	0.00	0.00	1,500.00	100.00 %
660-000-515-3130	CRA - Other Professional Services	100,000.00	100,000.00	0.00	0.00	0.00	100,000.00	100.00 %
660-000-515-3200	CRA - Financial Audit	10,000.00	10,000.00	0.00	0.00	0.00	10,000.00	100.00 %
660-000-515-4100	CRA - Telephone & Utilities	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	100.00 %
660-000-515-4200	CRA - Fees, Memberships & Subscriptions	2,365.00	2,365.00	0.00	0.00	0.00	2,365.00	100.00 %
660-000-515-4300	CRA - Insurance	35,000.00	35,000.00	6,390.75	6,390.75	0.00	28,609.25	81.74 %
660-000-515-4400	CRA - Office Lease	15,000.00	15,000.00	0.00	0.00	0.00	15,000.00	100.00 %
660-000-515-4900	CRA - Travel Expense	3,500.00	3,500.00	0.00	0.00	0.00	3,500.00	100.00 %
660-000-515-4902	CRA - Marketing	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	100.00 %
660-000-515-5100	CRA - Office Supplies	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	100.00 %
660-000-515-5200	CRA - Operating Supplies	9,947.00	9,947.00	0.00	0.00	0.00	9,947.00	100.00 %
660-000-515-5310	CRA - Streetscape/Alleyway	723,818.00	723,818.00	0.00	0.00	0.00	723,818.00	100.00 %
660-000-515-5420	CRA - Education & Training	3,000.00	3,000.00	0.00	0.00	0.00	3,000.00	100.00 %
660-000-515-5599	CRA - Fines and Abatements	50,000.00	50,000.00	0.00	0.00	0.00	50,000.00	100.00 %
660-000-515-5600	CRA-Equipment Maintenance	2,500.00	2,500.00	0.00	0.00	0.00	2,500.00	100.00 %
660-000-515-6620	CRA- Blighted Parcel Acquisition	120,000.00	120,000.00	0.00	0.00	0.00	120,000.00	100.00 %
660-000-515-6630	CRA - Ampitheater Project	954,184.00	954,184.00	0.00	0.00	0.00	954,184.00	100.00 %
660-000-515-6640	CRA - 27 Crescent Dr Redevelopment	226,500.00	226,500.00	0.00	0.00	0.00	226,500.00	100.00 %
660-000-515-8200	CRA - Incentive Grants	150,000.00	150,000.00	5,000.00	5,000.00	0.00	145,000.00	96.67 %

Budget Report

For Fiscal: 2025-2026 Period Ending: 10/31/2025

[660-000-515-8210](#)

	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)	Percent Remaining
CRA - Income Based Incentive Grants	100,000.00	100,000.00	0.00	0.00	11,100.00	88,900.00	88.90 %
Expense Total:	2,712,217.00	2,712,217.00	18,511.19	18,511.19	11,100.00	2,682,605.81	98.91%
Fund: 660 - Community Redevelopment Area Surplus (Deficit):	0.00	0.00	-18,511.19	-18,511.19	-11,100.00	-29,611.19	0.00%
Report Surplus (Deficit):	0.00	0.00	-18,511.19	-18,511.19	-11,100.00	-29,611.19	0.00%

Budget Report

For Fiscal: 2025-2026 Period Ending: 10/31/2025

Group Summary

Account Typ...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance	
						Favorable (Unfavorable)	Percent Remaining
Fund: 660 - Community Redevelopment Area							
Revenue	2,712,217.00	2,712,217.00	0.00	0.00	0.00	-2,712,217.00	100.00%
Expense	2,712,217.00	2,712,217.00	18,511.19	18,511.19	11,100.00	2,682,605.81	98.91%
Fund: 660 - Community Redevelopment Area Surplus (Deficit):	0.00	0.00	-18,511.19	-18,511.19	-11,100.00	-29,611.19	0.00%
Report Surplus (Deficit):	0.00	0.00	-18,511.19	-18,511.19	-11,100.00	-29,611.19	0.00%

Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Encumbrances	Variance Favorable (Unfavorable)
660 - Community Redevelopmen	0.00	0.00	-18,511.19	-18,511.19	-11,100.00	-29,611.19
Report Surplus (Deficit):	0.00	0.00	-18,511.19	-18,511.19	-11,100.00	-29,611.19

COMING SOON

260001 1754 BALDWIN AVENUE

JUNK & DEBRIS REMOVAL



DEFUNIAKSPRINGS CRA.COM



CRA
COMMUNITY
REDEVELOPMENT
AGENCY



COMMERCIAL SITE & BUILDING IMPROVEMENT
40 N 9TH STREET
250038-NEW ROOF

**\$5,000
AWARD**



BEFORE



AFTER

(850) 951-3054


cradirector@defuniakspringscra.com

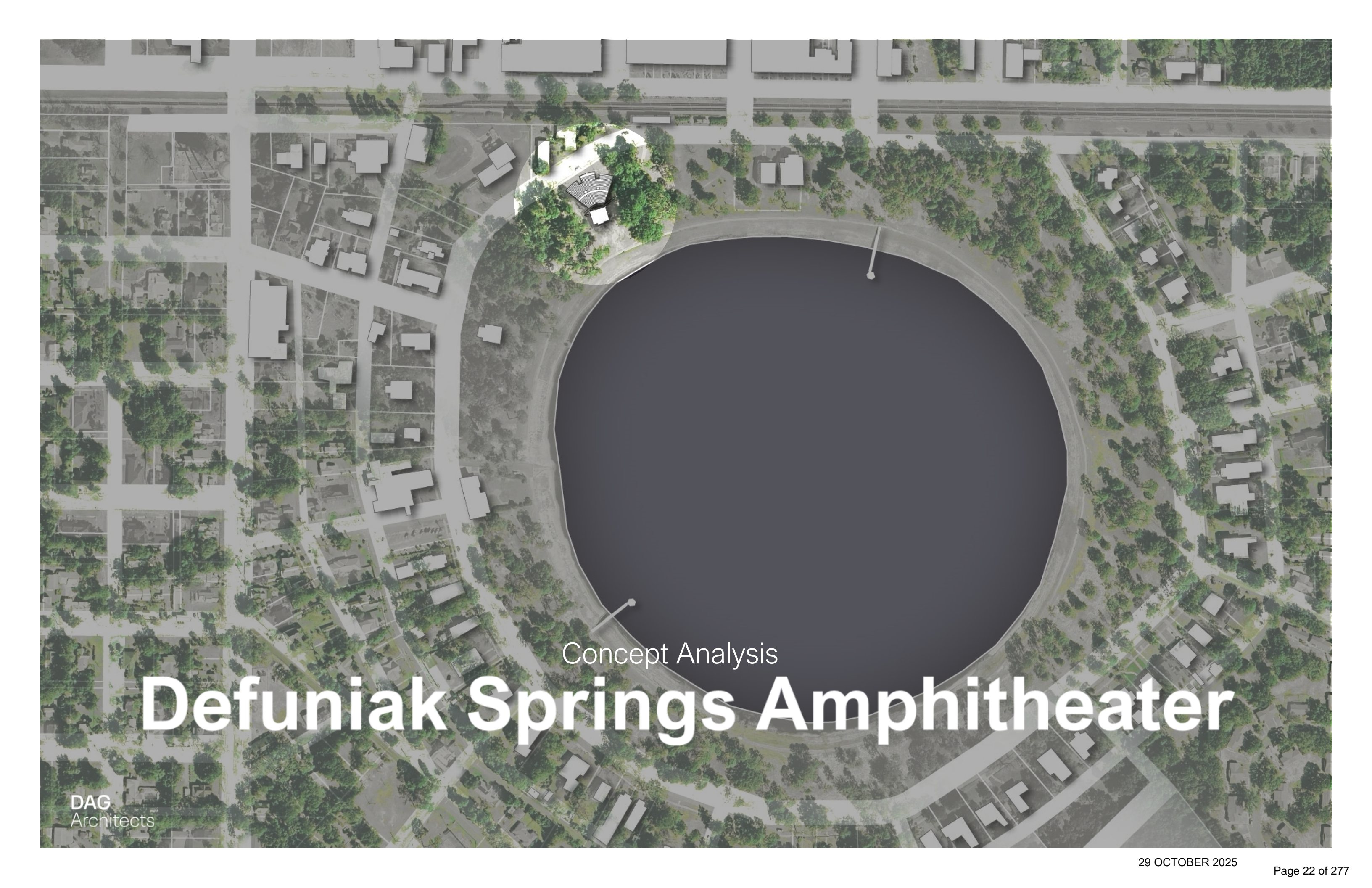
www.defuniakspringscra.com



MAIN ENTRANCE
Located at Back of Building



	DEFUNIAK SPRINGS COMMUNITY REDEVELOPMENT AGENCY	1234
PAY TO THE ORDER OF:	<i>GSF Valley Properties, LLC</i>	DATE: <i>10-17²⁰ 25</i>
<i>Five thousand & 00/100</i>	\$ <i>5,000⁰⁰</i>	DOLLARS
FOR: <i>250038</i>	<i>QL</i>	
:1234567890	:123456787654321	:1234

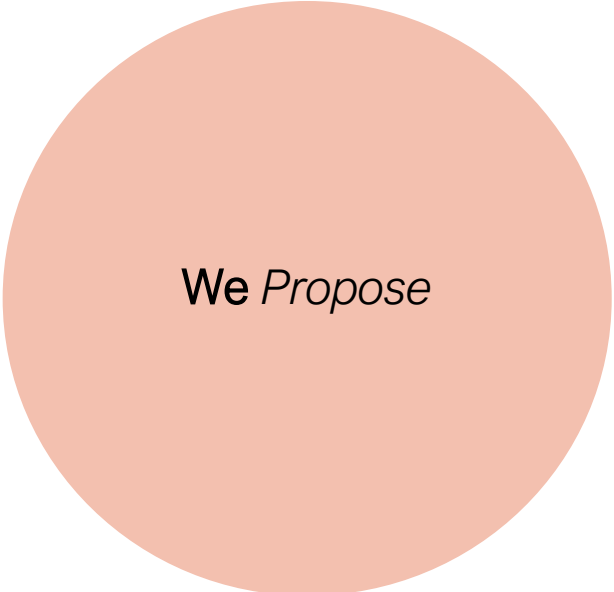
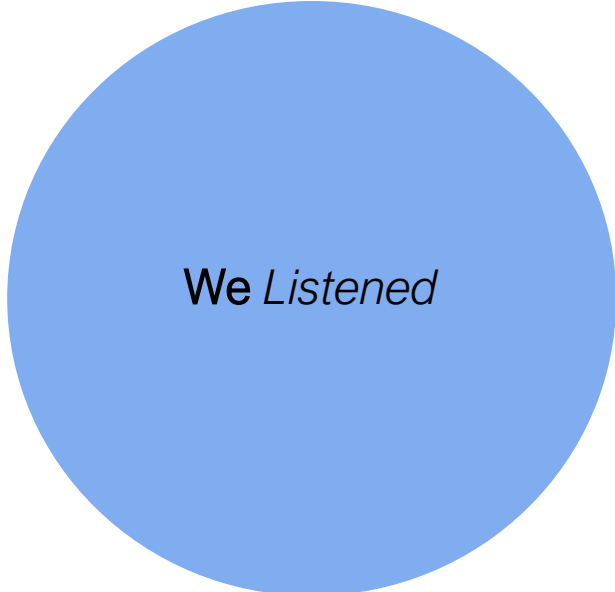


Concept Analysis

Defuniak Springs Amphitheater

DAG
Architects

What we'll cover.





We listened.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Interviews *Response Synopsis* – 13 participants

Shade & Weather Protection (audience + performers)

Stakeholders: Brut Campbell, Cathy Mosely, Kim Wennerberg, Anthony Vallee, Tim Jackson, Danny Glidwell, Glen Harrison, Mayor Campbell, Kelli Misner & Poole, Multiple Others

Frequency: High

Mix of shade sails, natural shade trees, stage canopy; partial coverage to preserve lake view.

Clear View of Lake

Stakeholders: Brut Campbell, Kim Wennerberg, Anthony Vallee, Danny Glidwell, Glen Harrison, Mayor Campbell, Reynolds Henderson, Kelli Misner & Poole

Frequency: High

Raise roof height, open back stage design, transparent/partial backdrop materials.

Integration with Lake Yard Uses

Stakeholders: Mayor Campbell, Kelli Misner & Poole

Frequency: Low-Med

Flexible lake yard for vendors, markets, rentals; manage without compromising views.

Backstage / Greenroom & Storage

Stakeholders: Cathy Mosely, Tim Jackson, Jennifer Steele

Frequency: Medium

Compact indoor backstage; storage for equipment; power for lighting and sound.

Acoustics & Sound Quality

Stakeholders: Cathy Mosely, Anthony Vallee, Glen Harrison, Reynolds Henderson, Mayor Campbell

Frequency: High

Dedicated, tuned sound system; design stage shape/materials for sound clarity; noise ordinance compliance.

Management & Programming Plan

Stakeholders: Kim Wennerberg, Anthony Vallee, Tim Jackson, Danny Glidwell, Glen Harrison, Jennifer Steele, Reynolds Henderson, Todd Bierbaum, Kelli Misner & Poole

Frequency: High

Identify operating partner; year-round programming; balance ticketed and free events.

Historical & Aesthetic Sensitivity

Stakeholders: Anthony Vallee, Kim Wennerberg, Reynolds Henderson, Todd Bierbaum

Frequency: Medium

Victorian/classical imagery; natural materials; integrate with historic surroundings.

Downtown Connection

Stakeholders: Brut Campbell, Anthony Vallee, Danny Glidwell, Mayor Campbell, Reynolds Henderson

Frequency: Medium

Pedestrian bridge/crossing over tracks; apply for reconnecting communities grant.

ADA & Senior Access

Stakeholders: Cathy Mosely, Kim Wennerberg, Anthony Vallee, Tim Jackson, Glen Harrison

Frequency: High

Accessible paths, ADA seating zones, artist ramps on both stage sides, minimal walking distance.

Seating Comfort & Capacity

Stakeholders: Kim Wennerberg, Anthony Vallee, Danny Glidwell, Glen Harrison, Reynolds Henderson, Kelli Misner & Poole

Frequency: High

Mix of fixed + open seating; tiered terraces; capacity 1,000–1,500 seats; historically sensitive materials.

Economic & Tourism Impact

Stakeholders: Brut Campbell, Danny Glidwell, Glen Harrison, Jennifer Steele

Frequency: Medium

Track economic metrics; tie events to downtown traffic; market as regional draw.

Low Maintenance & Durability

Stakeholders: Anthony Vallee, Kim Wennerberg, Danny Glidwell, Glen Harrison, Reynolds Henderson, Todd Bierbaum

Frequency: High

Durable materials, synthetic turf, low-maintenance landscaping, weather-resistant finishes.

Restroom Improvements

Stakeholders: Cathy Mosely, Anthony Vallee, Danny Glidwell, Glen Harrison, Reynolds Henderson, Kelli Misner & Poole

Frequency: High

Add restrooms; ensure safety, accessibility, and service for both events and lake patrons.

Security & Lighting

Stakeholders: Cathy Mosely, Anthony Vallee, Danny Glidwell, Glen Harrison, Mayor Campbell, Reynolds Henderson

Frequency: High

Integrate low-profile, historic-compliant lighting; security plan for events.

Multipurpose / Flexible Use

Stakeholders: Cathy Mosely, Anthony Vallee, Tim Jackson, Glen Harrison, Mayor Campbell, Jennifer Steele, Todd Bierbaum, Kelli Misner & Poole

Frequency: High

Stage & seating layout adaptable for music, theater, movies, civic events, festivals, markets.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

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1. Stage Roof Preference

Most participants (9 of 12) preferred a stage with a fixed roof and operable backdrop, allowing open and closed configurations toward the lake.

Prioritize a fixed operable roof to balance shade, acoustics, and scenic lake views while maintaining flexibility for performances.

2. Seating Type

Nine respondents supported a mixed fixed and terraced lawn seating arrangement for adaptability and comfort.

Combine permanent seating tiers with open terraced lawns for an inclusive, flexible audience experience.

3. Shade and Weather Protection

Responses were evenly divided between natural shade from trees, removable fabric sails, and permanent roof coverage.

Blend natural tree shading with light removable fabric structures to create a comfortable yet visually open environment.

4. Amphitheater Capacity

Nearly all participants (11 of 12) preferred a capacity of 500–1,000 seats, suitable for community-scale events.

Maintain a mid-size capacity to preserve intimacy while accommodating festivals and local performances.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Online Survey Response Synopsis – almost 200 participants!

1. Shade and Weather Protection

Most respondents rated shade as very important, emphasizing comfort and usability. Top preferences included removable fabric sails, permanent roof structures, and natural shade from trees.

Incorporate a combination of removable fabric sails and natural shading to provide adaptable protection while maintaining an open-air aesthetic.

2. Lake View Priority

Enhancing the lake view from seating areas was rated very important by the majority.

Maintain clear sightlines toward the lake through tiered seating, minimal obstructions, and low-profile structures.

3. Stage Roof Preference

The most favored option was a fixed roof with an operable backdrop, allowing flexible visibility of the lake. Secondary choices included no backdrop or a tensile roof structure.

Use an operable or transparent backdrop system to balance weather protection, acoustics, and scenic views.

4. Acoustics and Sound Quality

Sound performance was ranked very important by nearly all respondents.

Integrate acoustic design early, using angled roof planes, sound-reflective materials, and appropriate speaker placement to enhance clarity for both large and small gatherings.

5. Flexibility for Events

Respondents prioritized versatility, with most rating it very important.

Create a multipurpose layout adaptable to concerts, festivals, community events, and private functions, allowing flexible stage configurations and open lawn space.

6. Event Types Desired

Concerts, theater performances, movies in the park, community gatherings, and festivals were the most requested event types.

Ensure adequate power access, lighting, and infrastructure to support both cultural and recreational programming.

7. Seating Arrangement

The preferred option was a mix of fixed and lawn seating to allow flexibility and comfort.

Combine terraced permanent seating with open lawn areas for casual viewing and adaptable capacity.

8. Material Preferences

Composite seating materials were favored for comfort and durability, with additional support for natural grass or concrete terracing.

Use composite and natural materials to create a comfortable, low-maintenance, and cohesive aesthetic.

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LAKE YARD AMPHITHEATER

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Online Survey Response Synopsis – almost 200 participants!

9. Capacity Expectations

Most respondents favored a capacity between 500 and 1,000 people, aligning with community-scaled events.

Plan for mid-sized gatherings that maintain intimacy while accommodating festivals and concerts.

10. Restroom Facilities

Improved restroom facilities were a top priority. Traditional men's and women's restrooms were most preferred, followed by unisex and family options.

Include clean, accessible restrooms close to the amphitheater with family-friendly layouts.

11. Restroom Location

Top preference: Top of the hill along Circle Dr for better accessibility and security. Secondary option: Across Circle Dr in old office buildings, if feasible to renovate. Third preference: Along the side of the stage for visibility from seating areas. Least chosen: Back of the stage facing the Lake Yard.

Prioritize the Circle Dr hilltop site for accessibility and visibility while exploring adaptive reuse opportunities across Circle Dr. Maintain stage-adjacent visibility options as a lower-priority consideration.

12. Multipurpose Use

Nearly all respondents supported a multipurpose design for uses such as markets, yoga sessions, weddings, and small performances.

Emphasize flexible layouts, durable surfaces, and open access to utilities for a variety of community uses.

13. Backstage and Support Spaces

Most respondents favored including backstage areas, green rooms, and storage facilities.

Integrate discreet service zones that support performers while maintaining visual continuity with the site.

14. Historical and Aesthetic Character

Respondents widely agreed that maintaining the town's historical and visual integrity is very important.

Incorporate local materials and architectural references to ensure the amphitheater complements DeFuniak Springs' heritage.

15. Economic and Tourism Impact

Supporting local tourism and the downtown economy was rated highly important.

Strengthen physical and visual connections to nearby businesses and public spaces to enhance community activity.

16. Additional Comments and Overall Tone

Respondents expressed that the amphitheater should feel like an extension of the town's historical fabric, blending tradition with function.

Maintain a balance between heritage aesthetics and modern adaptability, reinforcing the site's role as a cultural and community anchor.

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Responses Comparison

Design Focus	Stakeholder Interviews	Public Workshop	Public Survey
Stage Roof Preference	Recommended operable or transparent backdrop for sound control and views.	Majority preferred fixed roof with operable backdrop for scenic flexibility.	Preferred fixed roof with operable backdrop for flexibility and lake visibility.
Seating Configuration	Advocated for terraced lawn with some permanent seating for capacity control.	Mixed fixed and terraced lawn seating chosen by nearly all participants.	Mixed fixed and lawn seating preferred for flexibility and comfort.
Shade and Weather Protection	Supported combining natural tree cover and sail structures to maintain openness.	Equal support for trees, removable sails, and fixed coverage: flexibility valued.	Favored a mix of natural shade and removable fabric sails for comfort.
Capacity	Community-level capacity reinforced as optimal for programming and maintenance.	Nearly unanimous support for 500–1,000 seats as ideal size.	Ideal range between 500–1,000 for community-scale events.
Historical Character & Materials	Highlighted use of local materials and town-scale architecture.	Supported preserving lake view and town identity through scale and openness.	Strong emphasis on aligning design with DeFuniak Springs' heritage.

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Summary of Input: *Design Assumptions & Implications*

Stage Design



Seating Design



Shade Design



Services Design

Fixed roof with operable backdrop preferred, size flexibility for small and festival sized events year –round use.

Mix of fixed and lawn seating favored.

Shade distribution is essential and flexible/disassemble preferred.

Prefer Circle Dr hilltop or nearby location for all time use.

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We learned.

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Key Design Characteristic *Flaws* in Existing Amphitheater



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Key Design Characteristic Improvements *Design Score Card*

Design Score Card	
10 possible points, 1 point per design category.	
Category	Goal for Success
Use & Activation	Amphitheater actively used year-round by community and visitors.
Heat Mitigation - Comfort & Shade	Visitors remain comfortable during events; adequate shade throughout.
Sound Quality	Clear, balanced acoustics for both small and large audiences.
Seating Quality	Mix of permanent and flexible seating accommodating different event types.
Amenities	Sufficient on-site concessions, storage, and support spaces.
Stage Size & Functionality	Stage proportioned for local and regional performances, adaptable in scale.
Accessibility	Full Accessibility compliance for audience, staff, and performers.
Restrooms	Accessible, sufficient capacity, clean, and located conveniently.
Lighting & Sound Infrastructure	Functional, safe, and flexible lighting and sound systems for all event types.
Lake View & Visual Connection	Stage and seating maintain strong visual connection to the lake.

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Work Completed

Phase 1

Task 1 – Kickoff & Listening Session

Surveying Consultant

Nova (Geotech)

Completed

Task 2 – Site Evaluation & Due Diligence

Task 3 – Conceptual Design & Programming

Current Task

Task 4 – Stakeholder Engagement

Task 5 – Conceptual Design Clarification

MEP, S (Allowance for narrative and design input)

Branding, Wayfinding & Graphics Designer

Left to Complete

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We researched.

WHAT WE RESEARCHED

LAKE YARD AMPHITHEATER

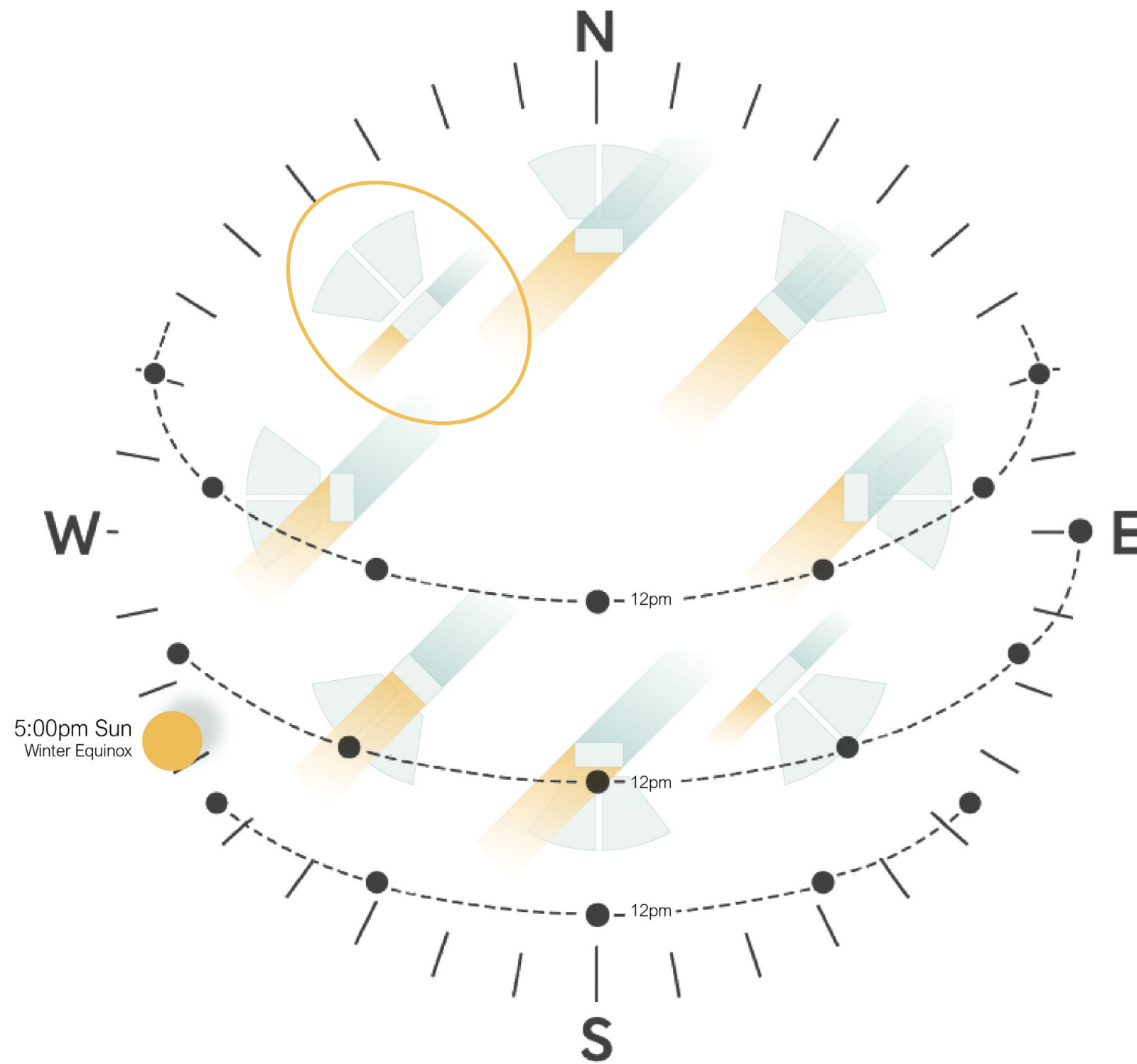
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Stage Orientation



After analyzing the various stage orientations (left), we verified that orienting the stage toward the Northwest provides the most balanced sun exposure throughout the day.

By studying solar paths from morning to evening across seasonal conditions, it became clear that a Northwest facing stage minimizes direct glare on both the performers and the audience during afternoon and evening events, particularly around the 5:00 p.m. winter sun position when glare risk is highest.

This orientation also offers softer indirect lighting during most performance hours, improving visibility and comfort without the need for excessive shading structures. It preserves flexibility for future stage lighting and sound design since the main performance area remains shaded while the audience benefits from gradual ambient daylight.

Overall, the Northwest orientation achieves an optimal balance of comfort, functionality, and visual quality, supporting both daytime community use and evening performances with minimal solar interference.

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LAKE YARD AMPHITHEATER

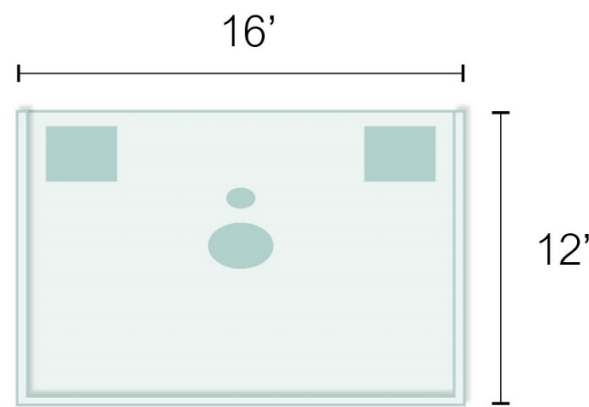
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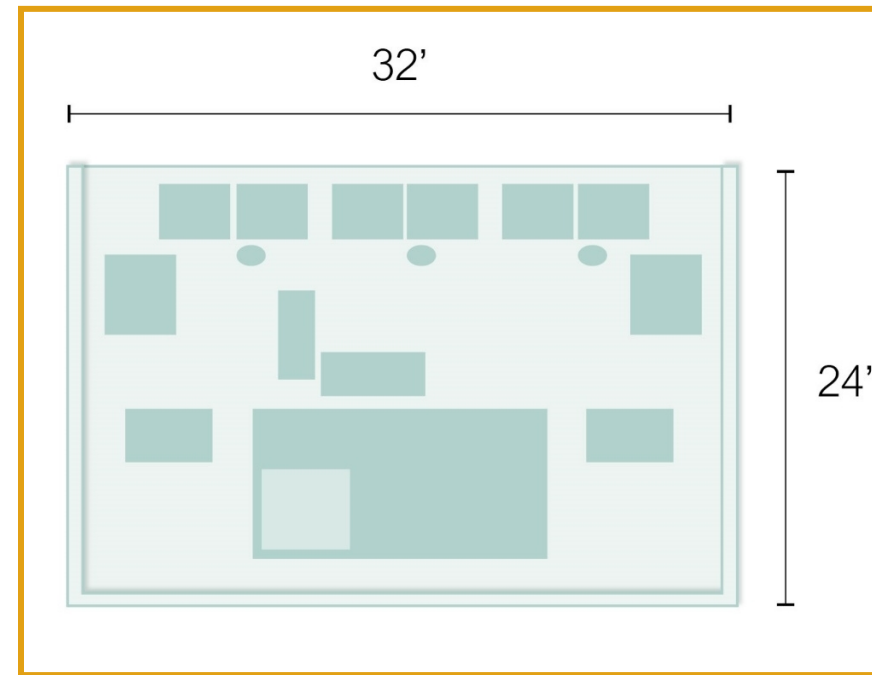
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Stage Size



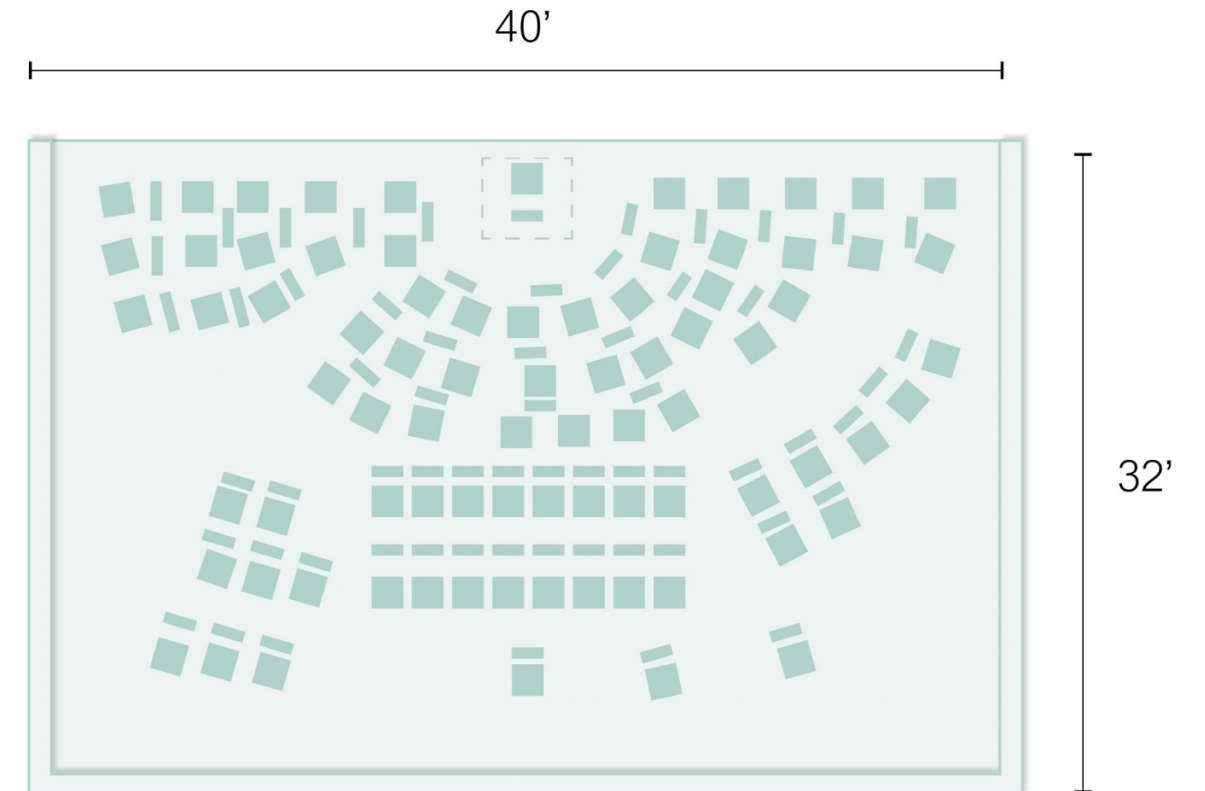
Small Stage

Fitting for a single performer, around 200 SF of stage area.



Medium Stage

Fitting for a 6-to-8-piece band, around 775 SF of stage area.



Large Stage

Fitting for an orchestra size performance, around 1,300 SF of stage area.

The stage should be adaptable to support a variety of performances and community events.

While the small and large stages serve specific needs, the medium stage offers the most versatility. With around 775 square feet, it comfortably accommodates local bands, small theater acts, and public gatherings. This size provides the best balance between function, flexibility, and scale for the community.

WE RESEARCHED

LAKE YARD AMPHITHEATER

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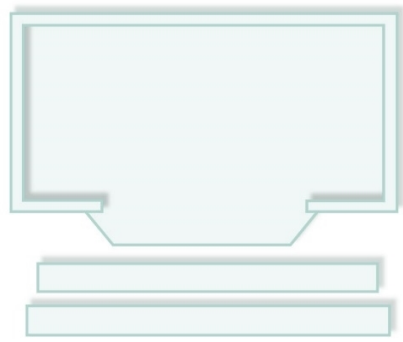
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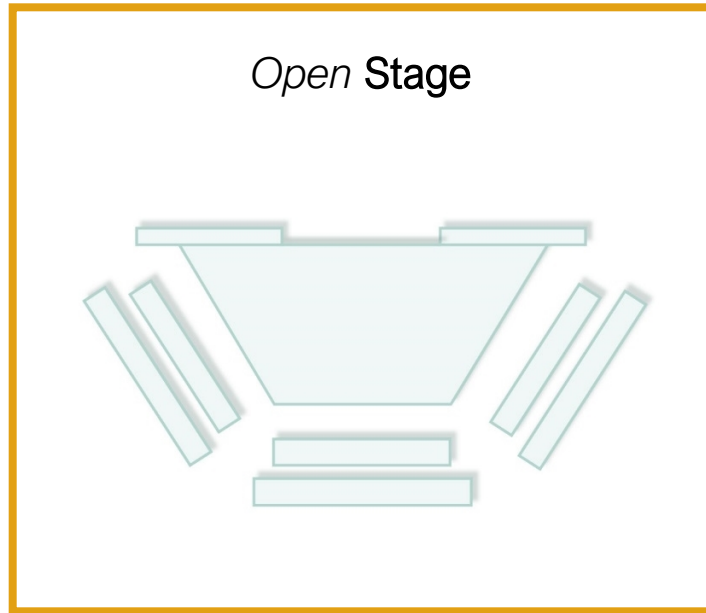
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Stage Types

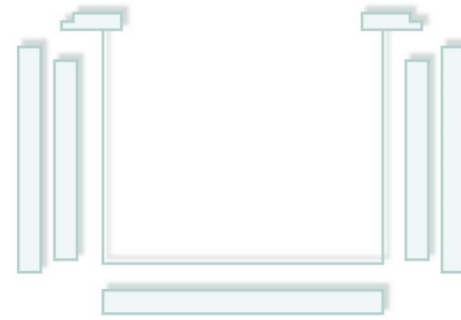
Proscenium Stage



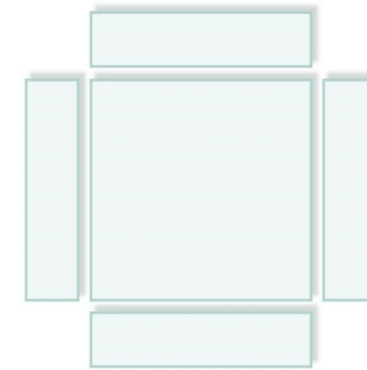
Open Stage



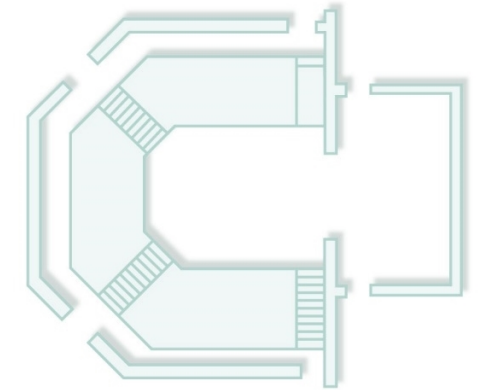
Trust Stage



All Around Stage



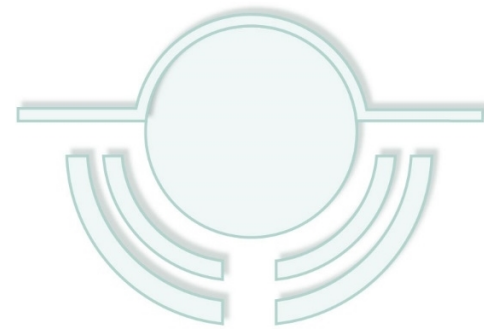
Thrust Stage



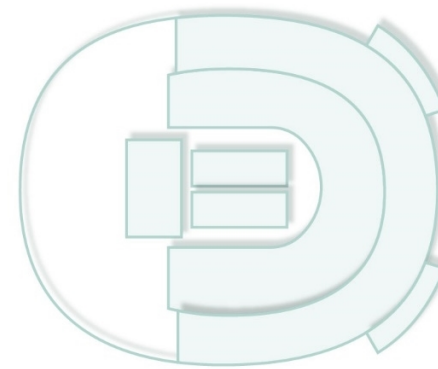
Arena Stage



Open Stage



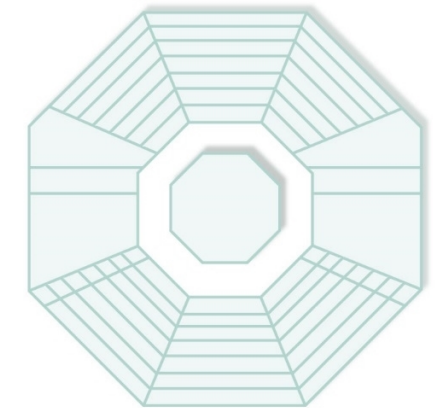
End Stage



Traverse Stage



Flex Stage



Each stage type offers unique advantages depending on performance style and audience experience.

For this site, maximizing lake views and accommodating community events are key priorities. The open stage layout provides the best flexibility for concerts, cultural programs, and civic gatherings while maintaining strong visual and physical connections to the surrounding landscape. This configuration supports inclusive viewing and engagement from multiple directions, making it the most suitable option for this location.

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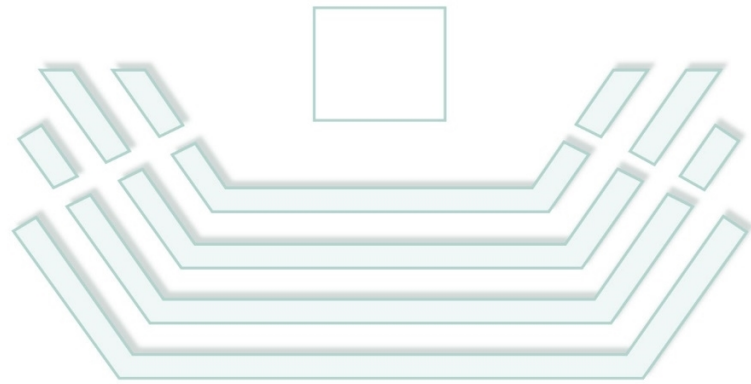
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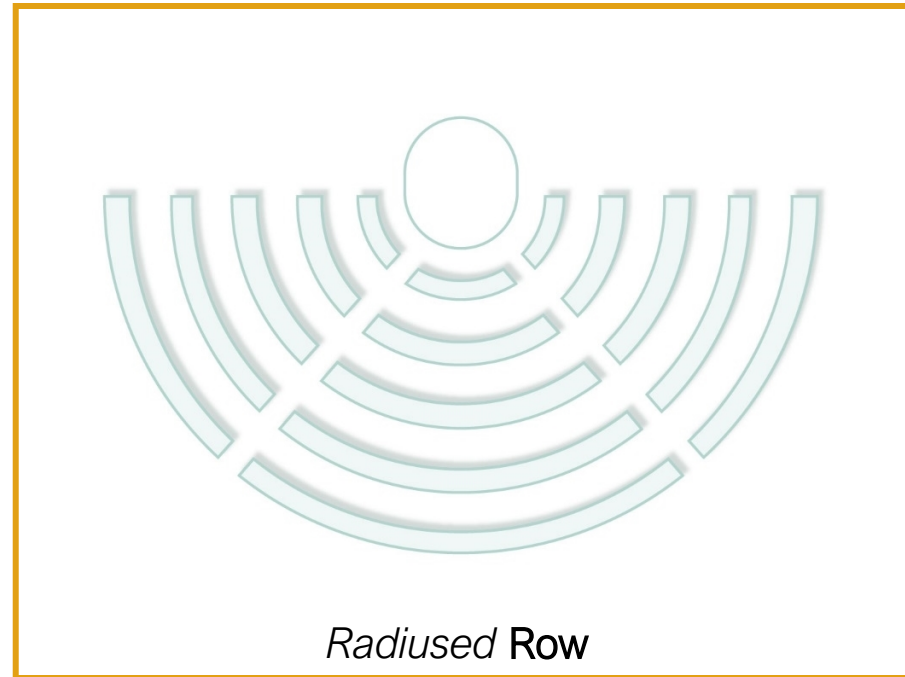
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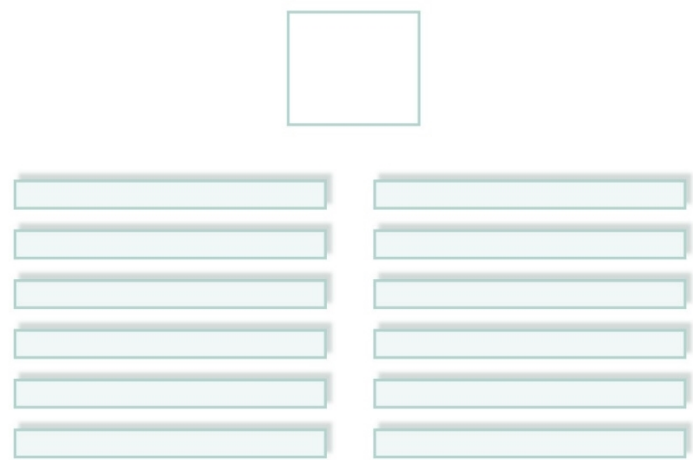
Seating Types



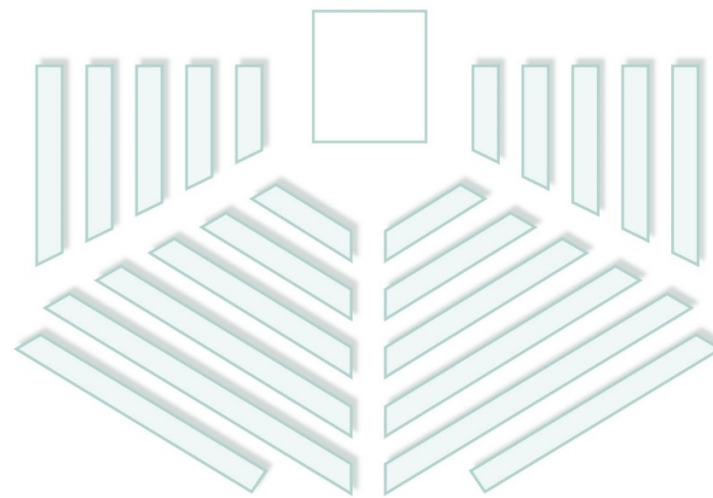
Truncated Row



Radiused Row



Straight Row



Angled Row

To maximize seating potential and enhance audience experience, the radiused row configuration offers the best sightlines to the stage.

This layout creates a natural focus toward the performance area and improves visibility from every seat. It also removes the need for a central aisle, which many performers find distracting. Overall, it provides an efficient and engaging arrangement for both audience and performer.

WE RESEARCHED

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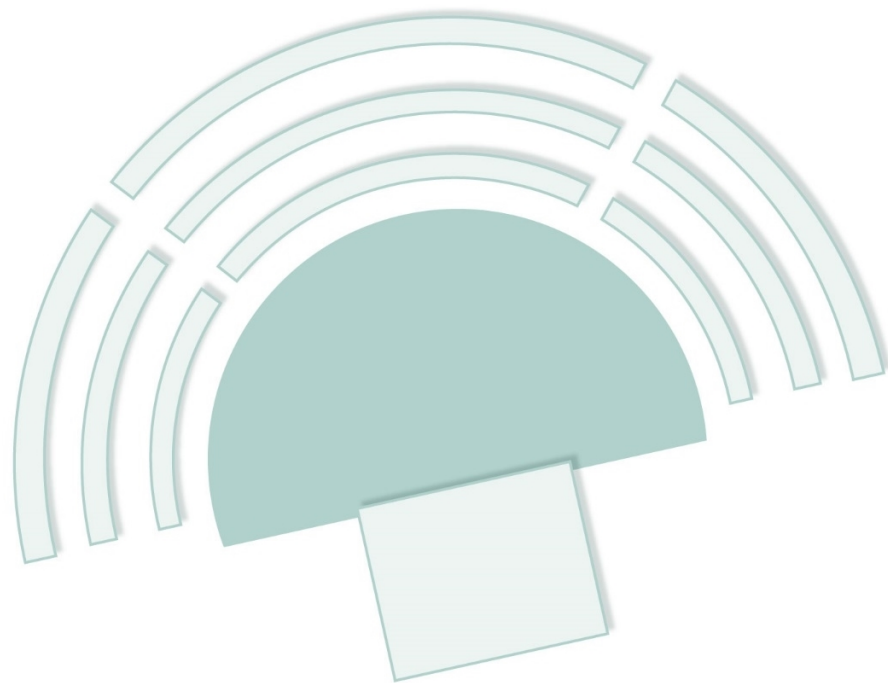
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Lawn Front, Fixed Back



Fixed Front, Lawn Back



Fixed and Lawn Mixed



The lawn front, fixed back configuration provides the most balanced and functional layout for this site. Placing lawn seating at the front allows for a more casual and flexible gathering space near the stage, encouraging community use and interaction.

Fixed seating at the back offers structure, accessibility, and defined viewing areas for larger performances. This arrangement enhances comfort, visibility, and inclusivity while maintaining open space near the stage. A ratio of approximately 25 percent fixed seating and 75 percent lawn seating is recommended to best serve a variety of events and audience sizes.

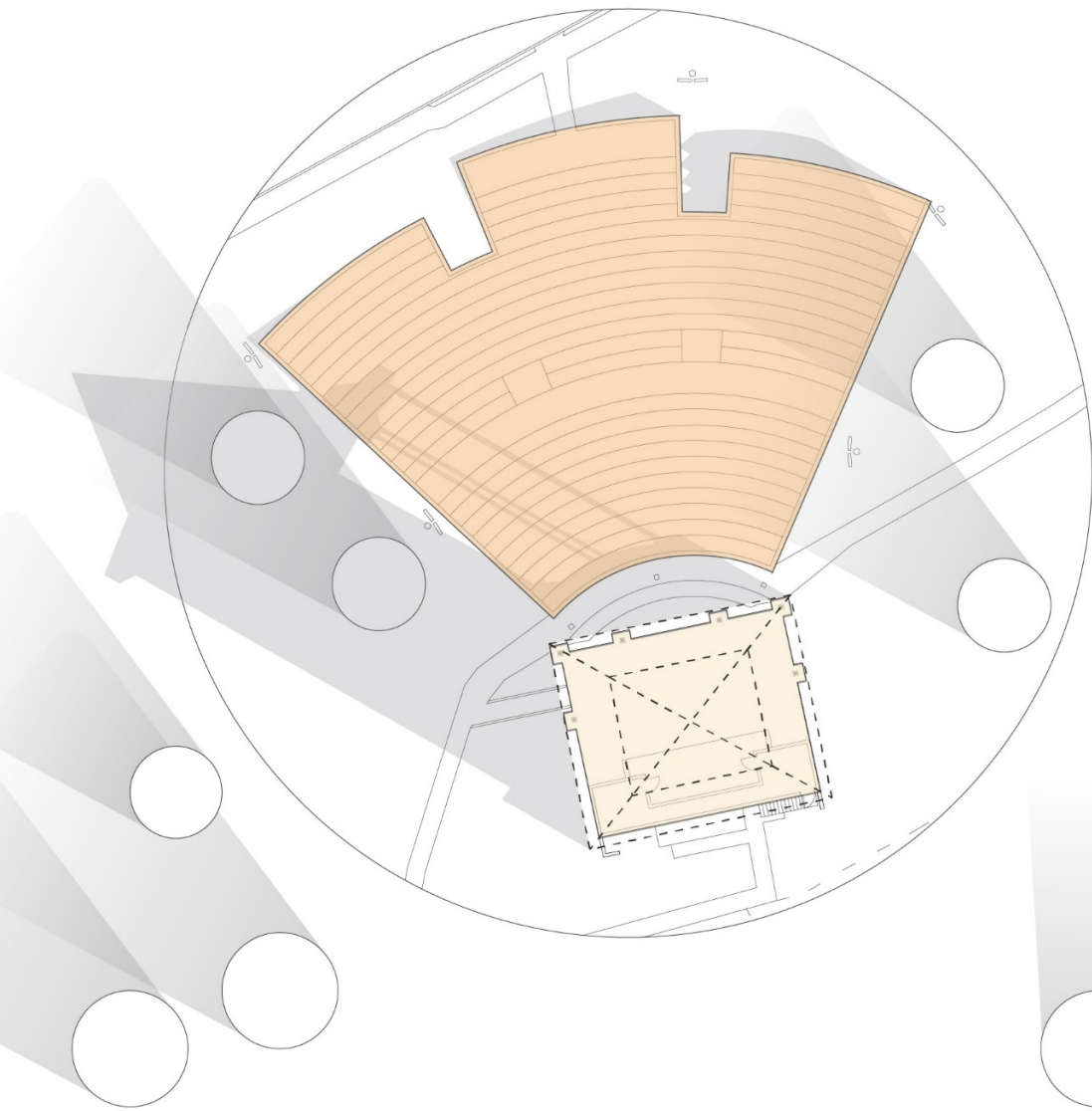
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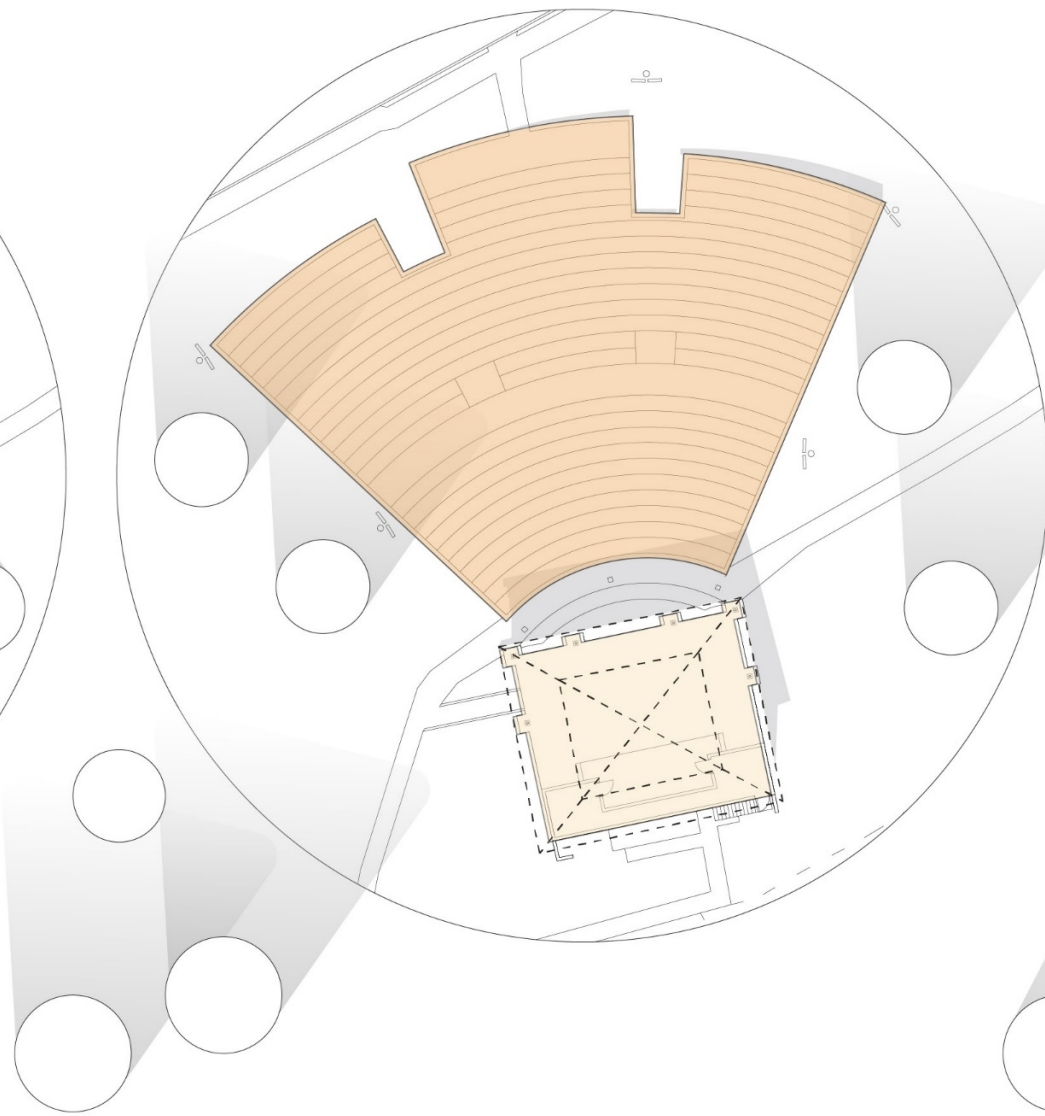
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Sun Shading Mitigation Methods

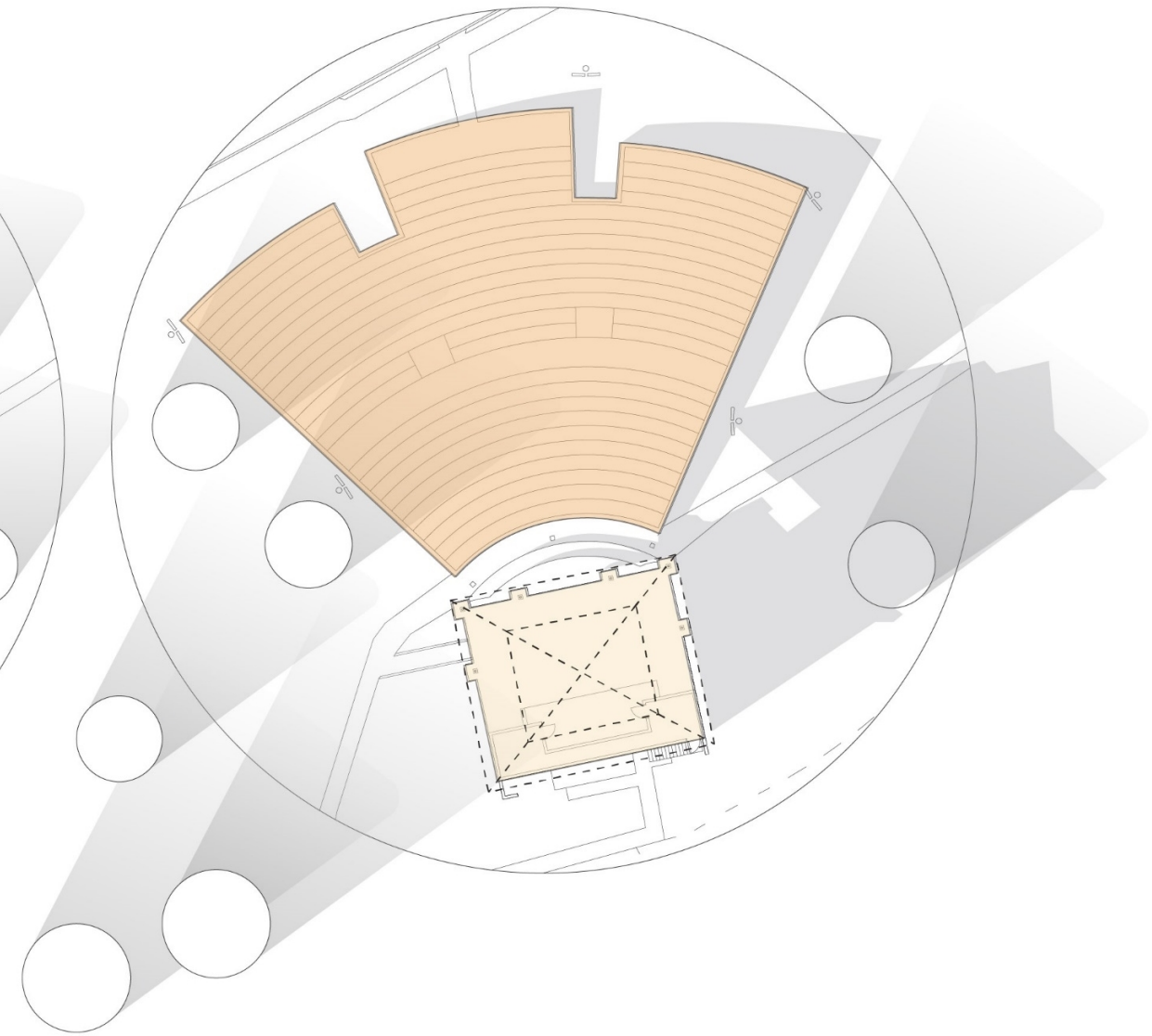
Morning Shade



Noon Shade



Afternoon Shade



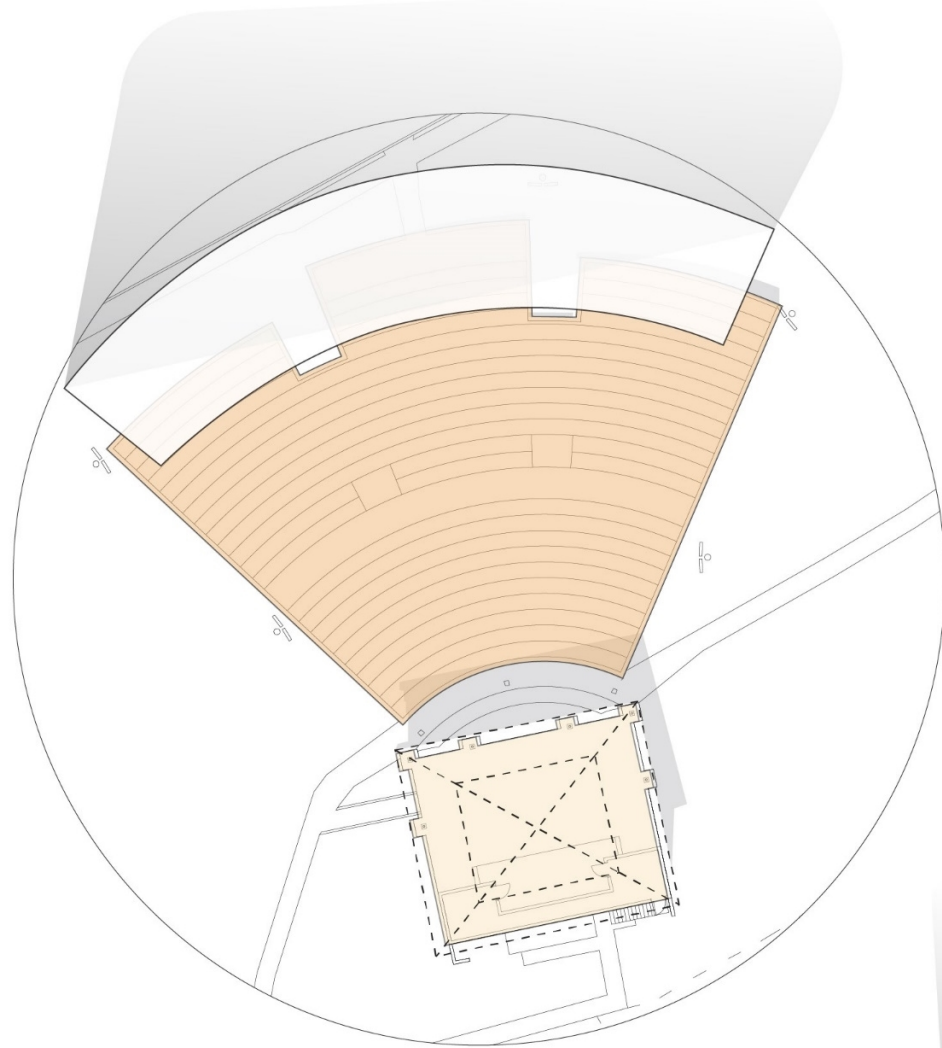
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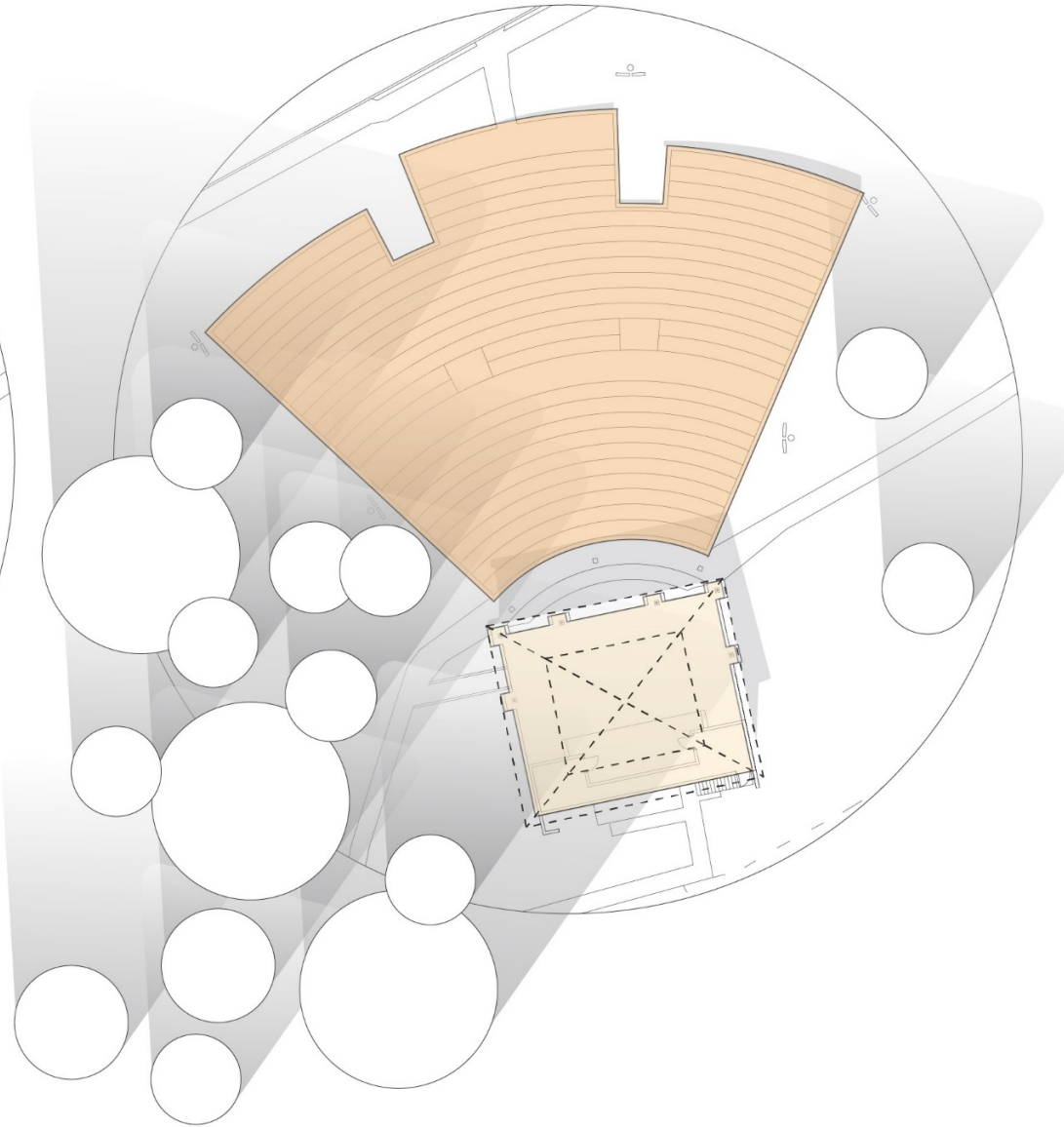
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Sun Shading Mitigation Methods

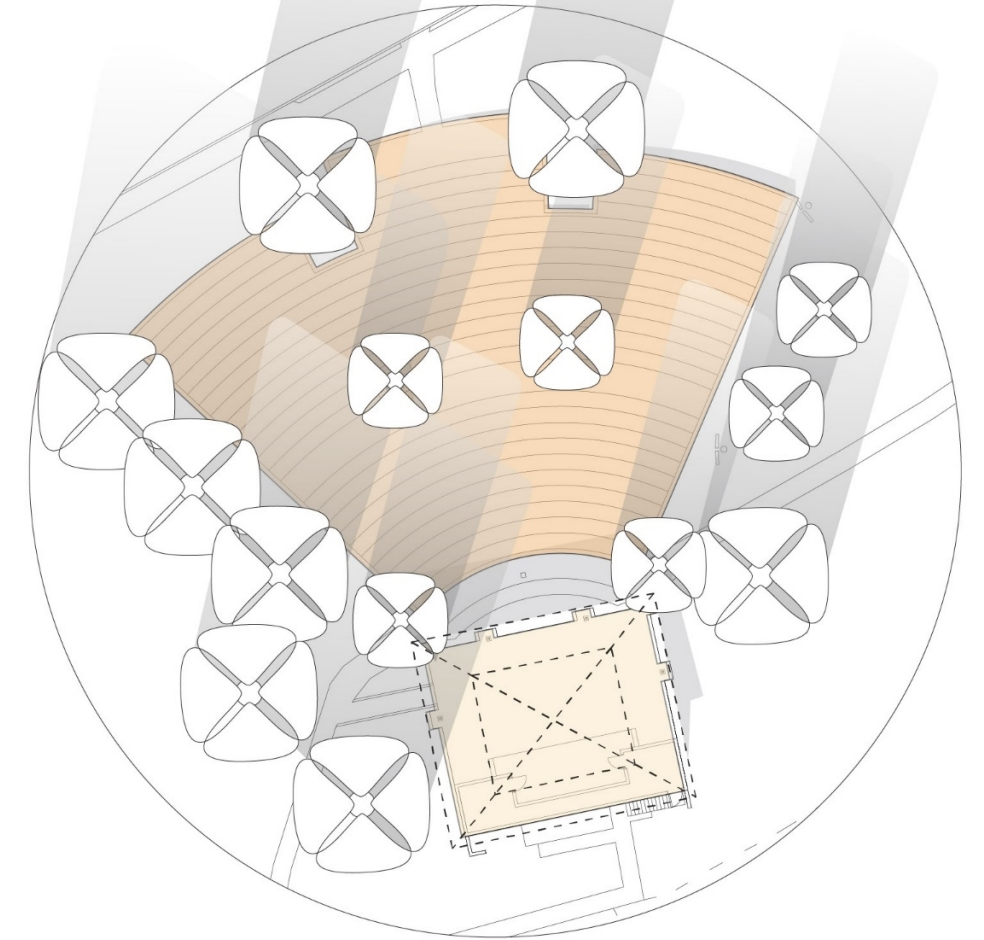
Uphill Cantilever Sail Shading Mitigation



Increased West Natural Shading Mitigation



Dispersed Architectural Structure Shading Mitigation



A mix of cantilever shading and natural west-side vegetation provides the most effective balance of coverage and comfort. This combination reduces glare on the stage, enhances audience shading, and maintains an open, natural feel. It offers both function and visual harmony for the site.

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LAKE YARD AMPHITHEATER

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1) Occupancy / Assumptions

Use Group: Assembly A-5 (outdoor amphitheater). Risk Category III (public assembly OL>300). Design per FBC-Building Chapter 16 and ASCE 7-22 for wind and structural loads.

2) Accessibility (FBC Accessibility)

Provide an accessible route from accessible parking and public way to all seating areas, stage/performance areas, dressing/green rooms, toilets, concessions, and ticketing. Disperse wheelchair spaces for comparable lines of sight, provide companion seating, and include an Assistive Listening System when amplified sound is provided.

Scenario	Total Seats	Wheelchair Spaces	Companion Seats	ALS Receivers (Total / HAC)
A	1,200	11	11	39 / 10
B	1,500	13	13	45 / 12

3) Occupant Load Split

Total Fixed Seats: 400

Men: 200

Women: 200

Required Plumbing Fixtures

Fixture Type	Requirement	Calculation	Minimum Required Fixtures
Water Closets (Men)	1 per 75 ($\leq 1,500$)	$200 \div 75 = 2.7 \rightarrow$ round up = 3	3 (≤ 2 urinals; ≥ 1 WC)
Water Closets (Women)	1 per 40 ($\leq 1,500$)	$200 \div 40 = 5$	5
Lavatories	1 per 200 (per sex)	$200 \div 200 = 1$ each	1 Men, 1 Women
Drinking Fountains / Bottle Fillers	1 per 1,000 ($\leq 50\%$ may be dispensers)	$400 \div 1,000 = 0.4 \rightarrow 1$	1
Service Sink	1 per facility	—	1
Family/Assisted-Use Toilet (recommended)	Optional under 6 total WCs	—	Recommendation (1)

4) Wind / Structural (FBC-B Ch.16, ASCE 7-22)

Risk Category III. Determine site-specific Vult using the ASCE Hazard Tool and document on drawings with Exposure Category, Kd, Kzt, topography, enclosure, and component & cladding zones. Given the small fetch and surrounding tree/building cover at Lake DeFuniak, Exposure B is likely but must be verified. All open structures (stage roofs, canopies, bleachers) require full ASCE 7-22 wind design. ASCE 7-22 tornado load provisions apply for Risk Category III structures statewide.

5) Lake / Flood / Local Coordination

Lake DeFuniak is an inland spring-fed lake (not a Coastal Dune Lake). Coordinate with the City of DeFuniak Springs Land Development Regulations and Development Technical Manual for shoreline setbacks, stormwater, and park improvements. Check FEMA flood maps to determine if the amphitheater site lies within Zone AE; if so, design per FBC §1612 and ASCE 24 for flood-resistant construction and elevation.

6) Stormwater Management

New development projects are usually required to manage and treat the first inch of rainfall that falls on the project site. This project includes some existing paved areas that were built before current rules ("grandfathered" areas). The design team will meet with the Northwest Florida Water Management District (NFWFMD) on Wednesday, October 29, 2025, to confirm whether these existing areas can be treated as part of the current conditions, or if they must meet new redevelopment requirements. Stormwater from the new development is proposed to be captured and treated by an underground exfiltration system.

The project site is in a low-lying area with no natural outlet for very large storms (a "closed basin"). The team will also confirm with NFWFMD whether special rules for closed basins will apply, since the applicant owns the nearby receiving water body and the basin is fully contained.

Normally, new developments must control the speed and volume of stormwater leaving the site to prevent flooding downstream. Because the City of DeFuniak Springs owns the receiving water body and it is large enough to handle any additional runoff without problems, the design team is requesting permission to waive this requirement.

If NFWFMD staff do not agree, the project will need to provide additional stormwater control, which may require more storage than the planned underground exfiltration system.

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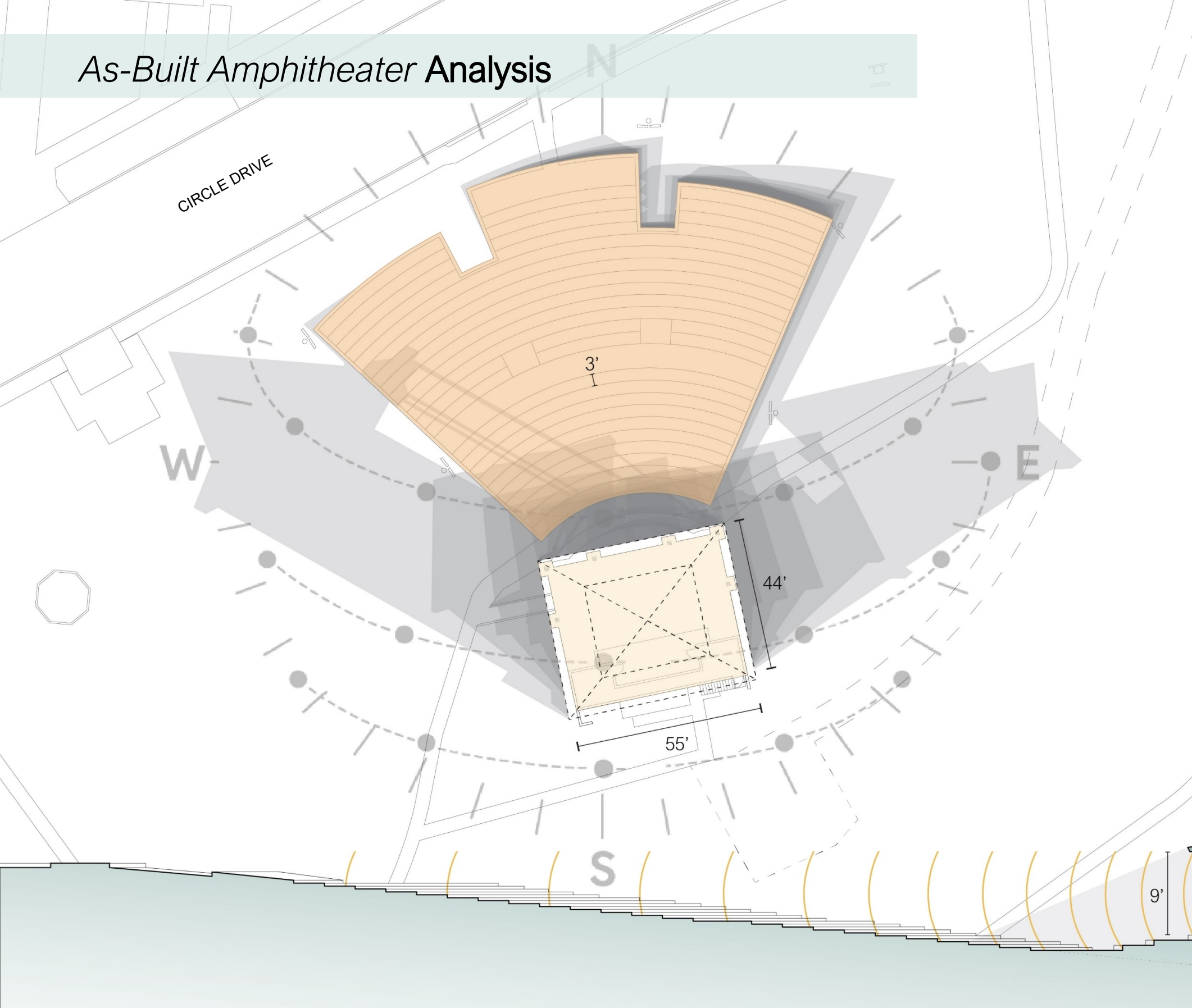
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As-Built Amphitheater Analysis



The Stage

How big is it? **55' x 44'**
2,148 SF

How tall is it? **9' under roof**

The Seating

What type is it? **Radiused Row**

Fixed vs. lawn ratio? **0 designated lawn seating, fully fixed seating.**

Current seating area? **9,768 SF**

Current seat count? **Approximately 1,133 - 1,510 assuming 6' to 8' of area per person.**

The Services

How big are the bathrooms? **11' 6" x 9' 10"**
110 SF each

How big are the stage buildings? **12' 10" x 11' 8"**
147 SF each

The Shading

The shading consists of natural tree shading dispersed around the site with the main shade produced by the amphitheater roof.

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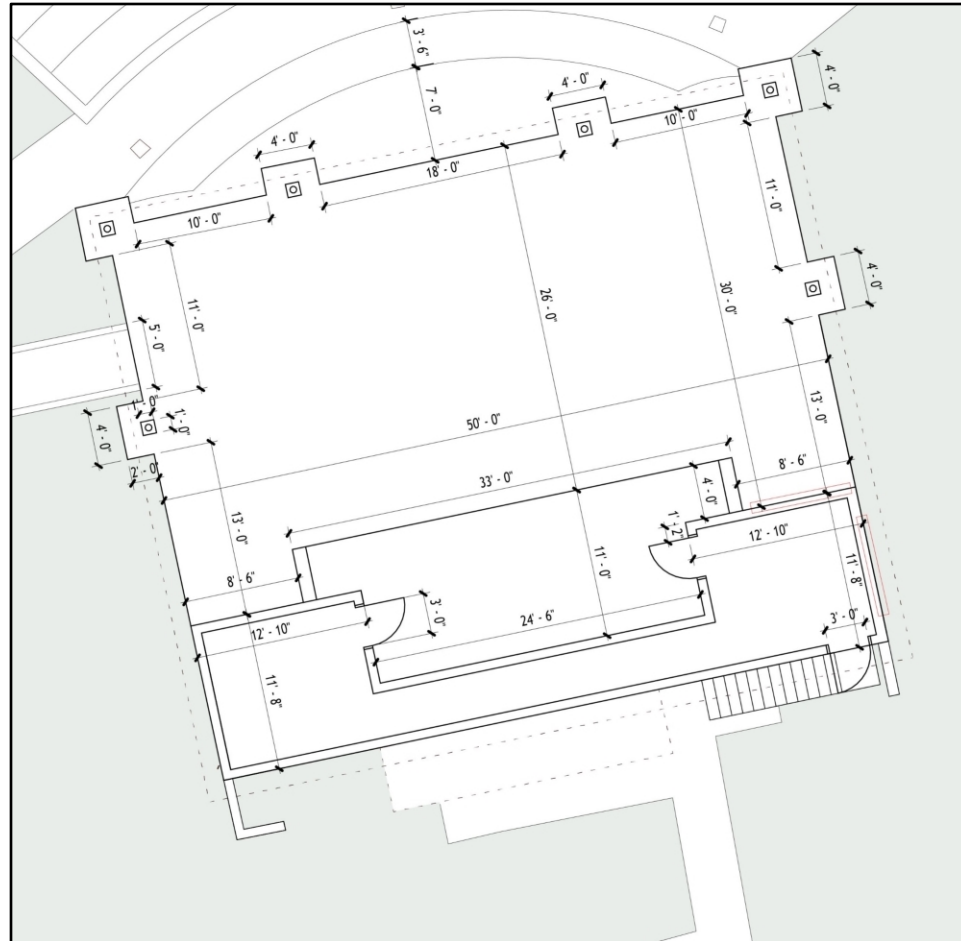
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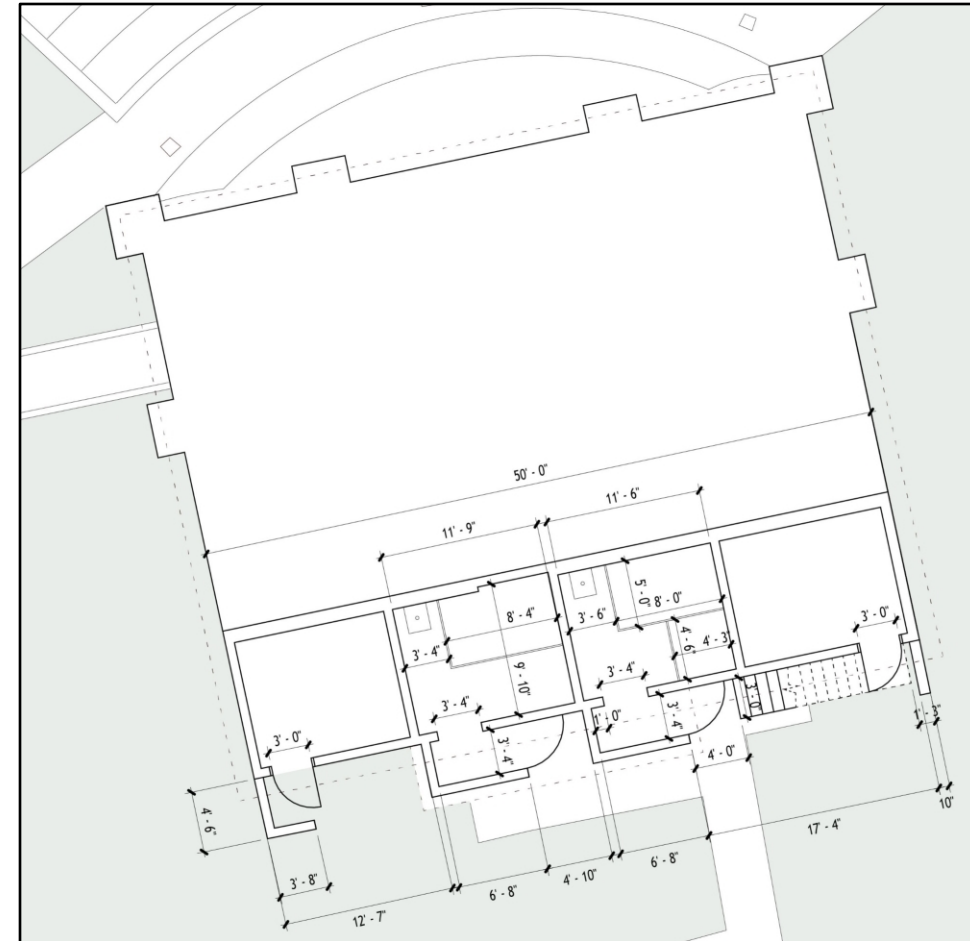
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Stage Level



Lower Stage – 1,368 SF
Upper Stage – 776 SF
Support Rooms - 147 SF each
Connecting Walkway – 98 SF

Bathroom Level



Bathrooms – 110 SF each
Storage Rooms – 128 SF each

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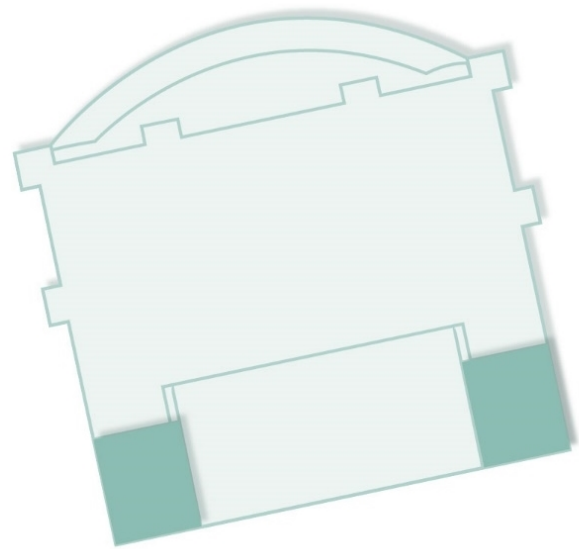
We propose.

WE PROPOSE

LAKE YARD AMPHITHEATER

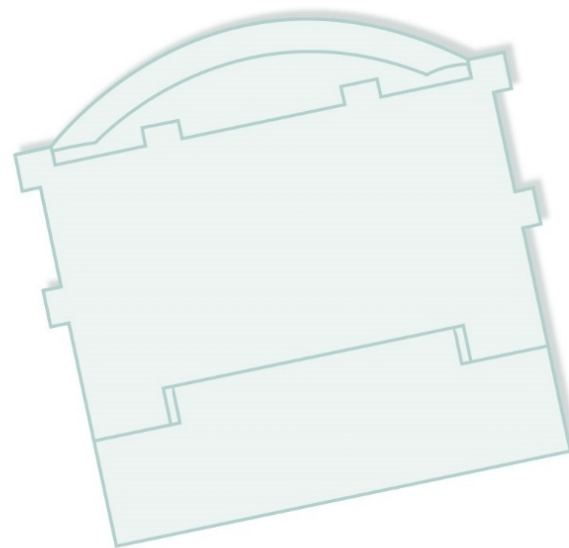
DEFUNIAK SPRINGS, FL

Saddle Bags Remain



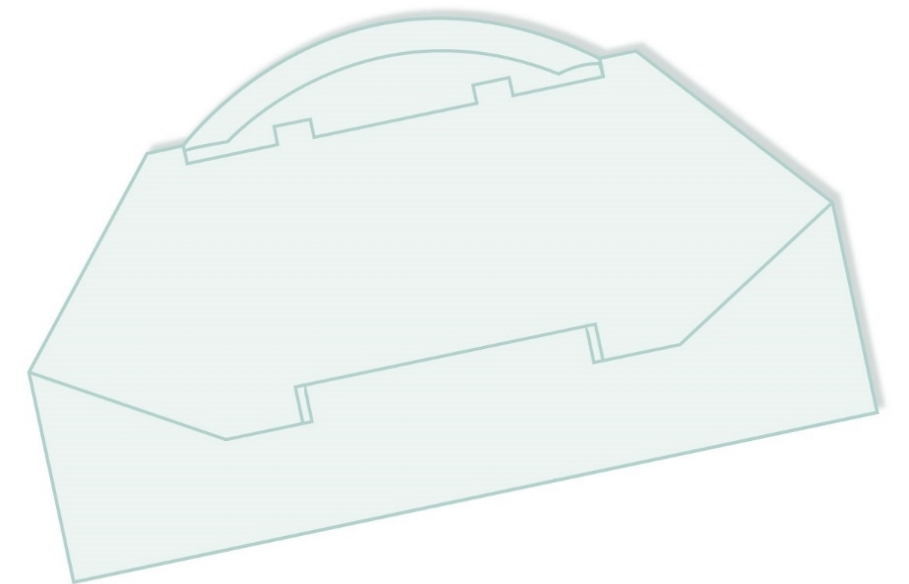
This option keeps the existing side enclosures, maintaining storage and utility areas but limiting stage visibility and flexibility. The enclosed sides create visual barriers and restrict natural airflow across the performance zone.

Clear



Removing the side enclosures opens sightlines and improves cross ventilation, enhancing audience engagement and comfort. However, it reduces enclosed space for backstage functions and equipment storage.

Enlarged



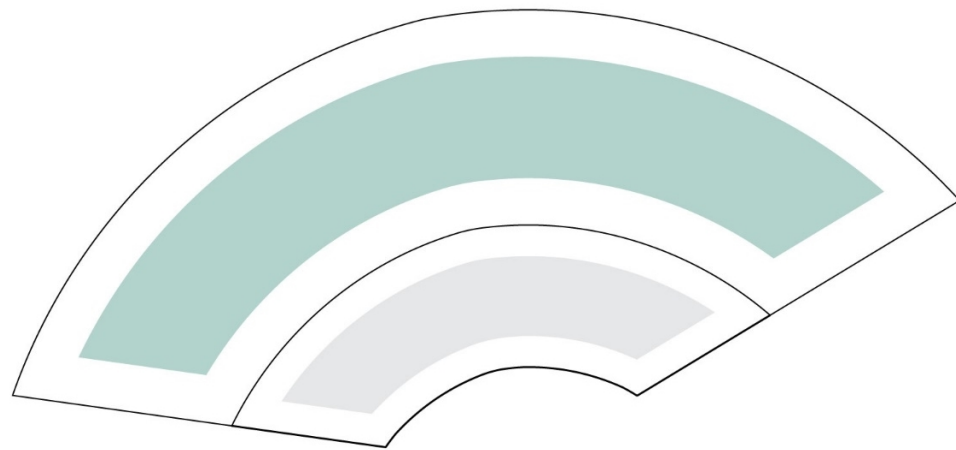
Expanding the stage footprint increases performance flexibility and accommodates larger acts or community events. The tradeoff is a greater structural footprint and reduced surrounding open space for circulation.

WE PROPOSE

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Fixed Front, Lawn Back



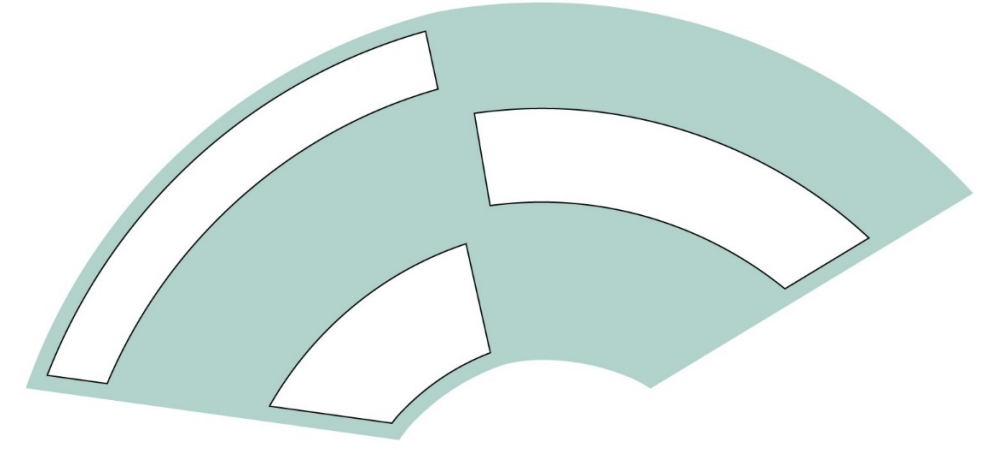
Flex Lawn Seating = 4113 SF
Fixed Seating = 1307 SF

Fixed Back, Lawn Front



Flex Lawn Seating = 2724 SF
Fixed Seating = 2812 SF

Dispersed Fixed and Lawn



Flex Lawn Seating = 7415 SF
Fixed Seating = 3573 SF

WE PROPOSE

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL



Move to other side of road

Separates service functions from the event area, reducing noise but increasing distance and access issues. Least efficient for operations.

Move to the top of the hill next to the road

Improves visibility and access while keeping services out of view. Requires added infrastructure and grading.

Remove and rebuild to the sides

Keeps services close and clears the central view toward the stage. Slightly impacts circulation on the edges.

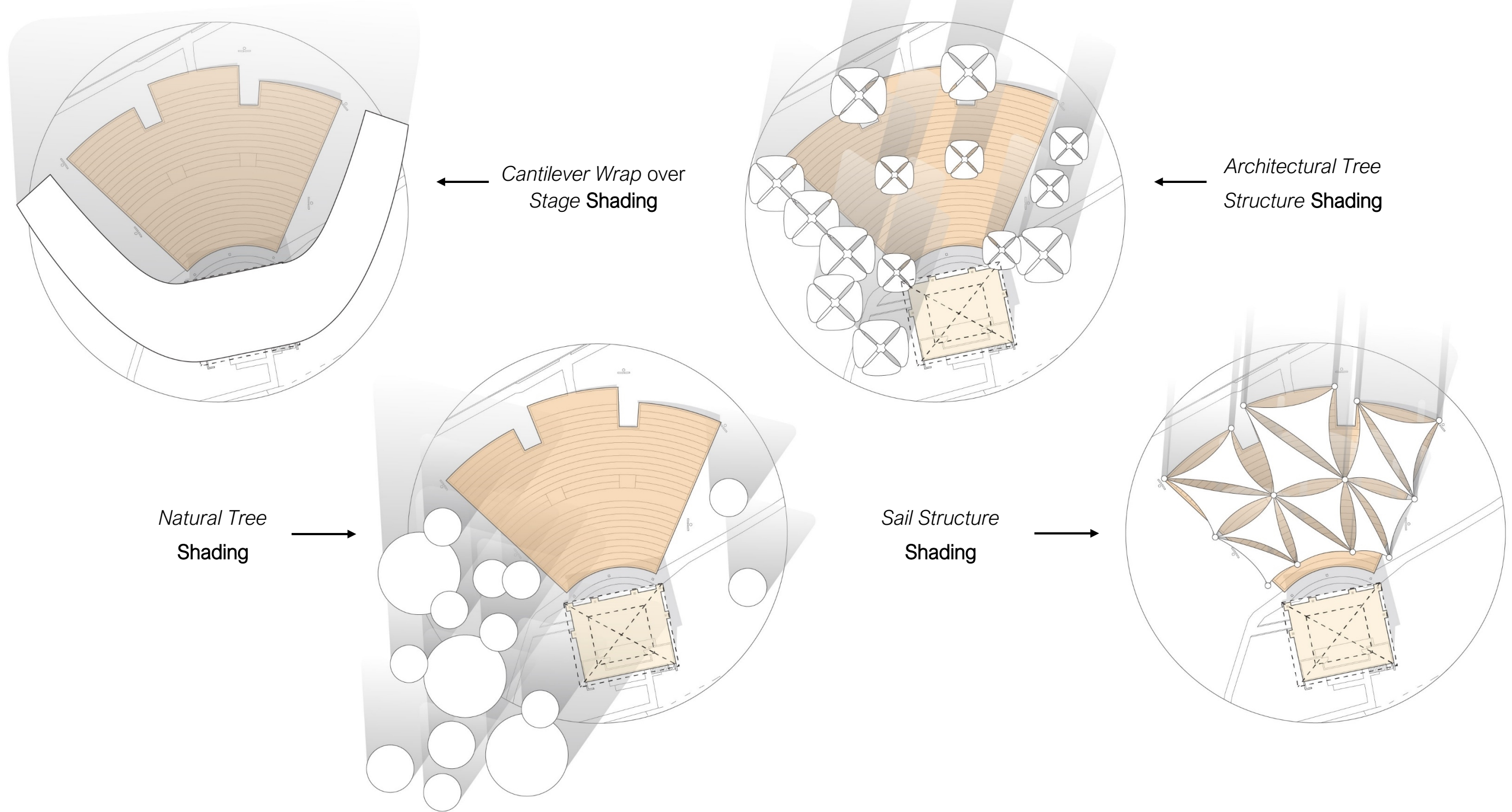
Leave on stage

Provides direct performer access but reduces stage area. Creates visual and functional clutter.

WE PROPOSE

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

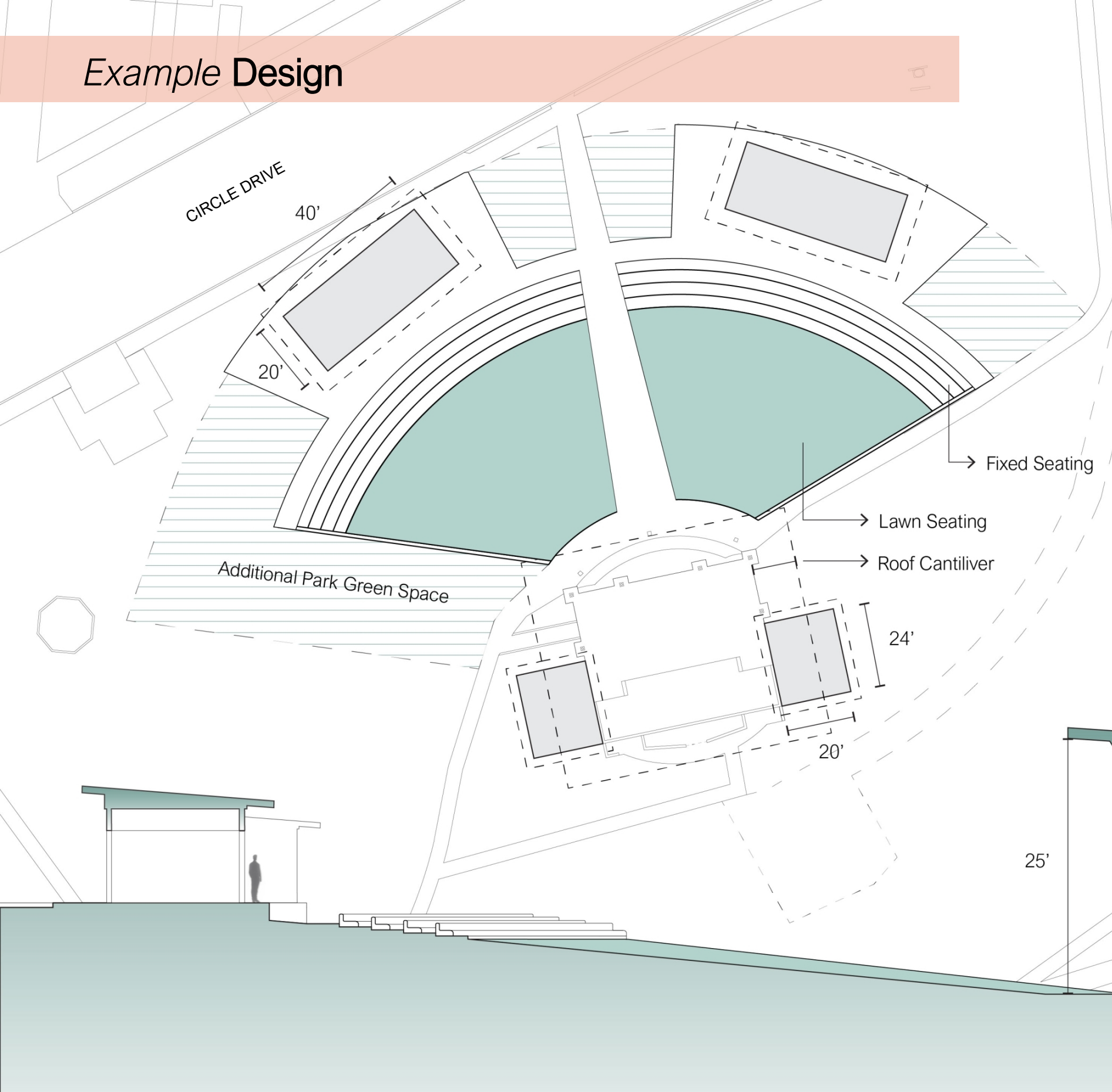


WE PROPOSE

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Example Design



The Stage

How big is it?	55' x 44'
Area Covered by Roof?	2,148 SF
How tall is it?	25' at the front, 20' at the back

The Seating

What type is it?	Radiused Row
Fixed vs. lawn ratio?	37.6% fixed seating to 62.4% lawn
Fixed Seating area?	3,734 SF
Lawn Seating area?	6,202 SF
Seating count?	Approximately 467-622 fixed seats at 6' to 8' area per person, 517-620 lawn seating at 10' to 12' area per person. 984-1,243 possible seating count.

The Services

Existing facilities removed from stage and re-built to the left and right backside of stage or services moved to back of seating area next to Circle Dr.	
How big are they?	Next to Stage: 20' x 24' at 480 SF each Next to Circle Drive: 20' x 40' at 800 SF each

The Shade

Suggested Shading:	Canteliever roof system over stage with dispersed natural tree landscaping to the SW.
--------------------	---------------------------------------------------------------------------------------

WE PROPOSE

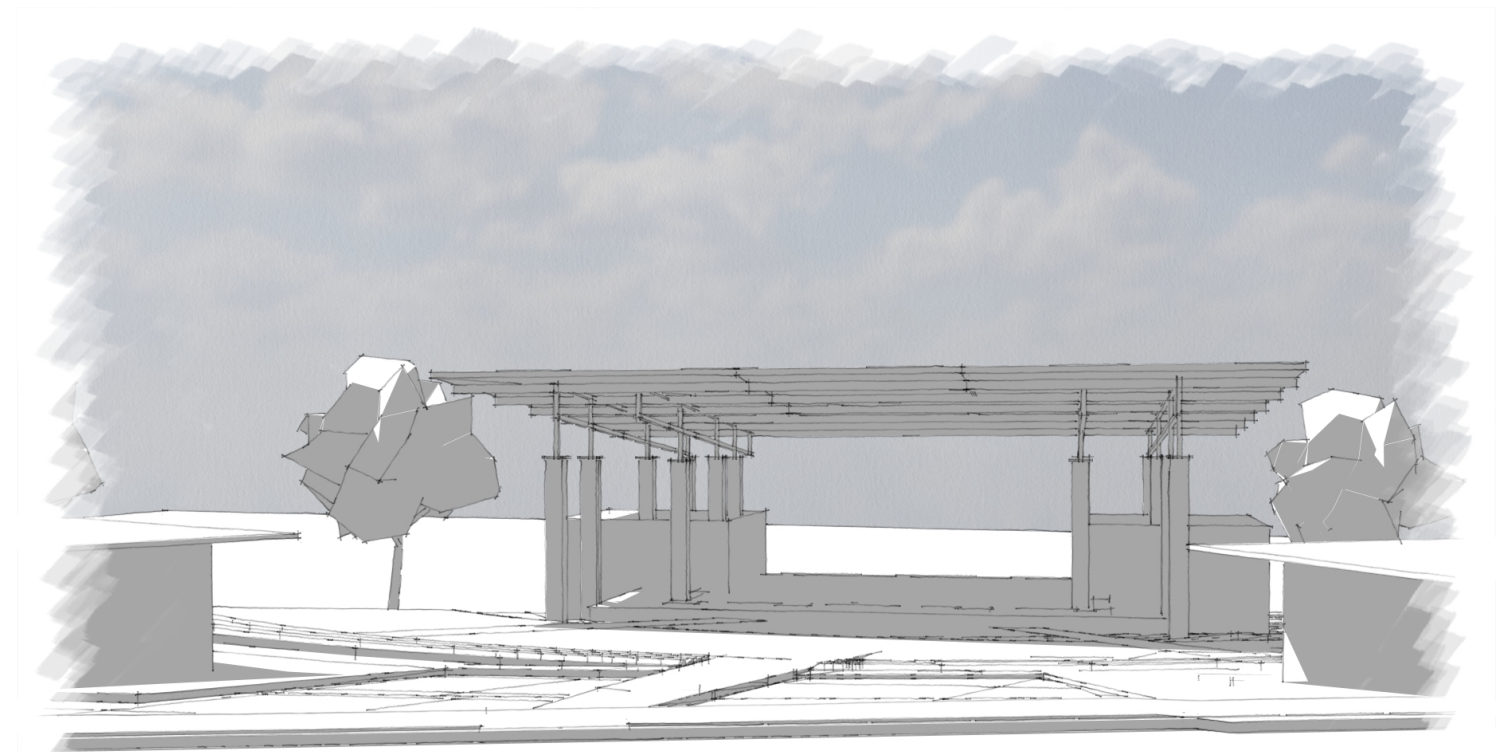
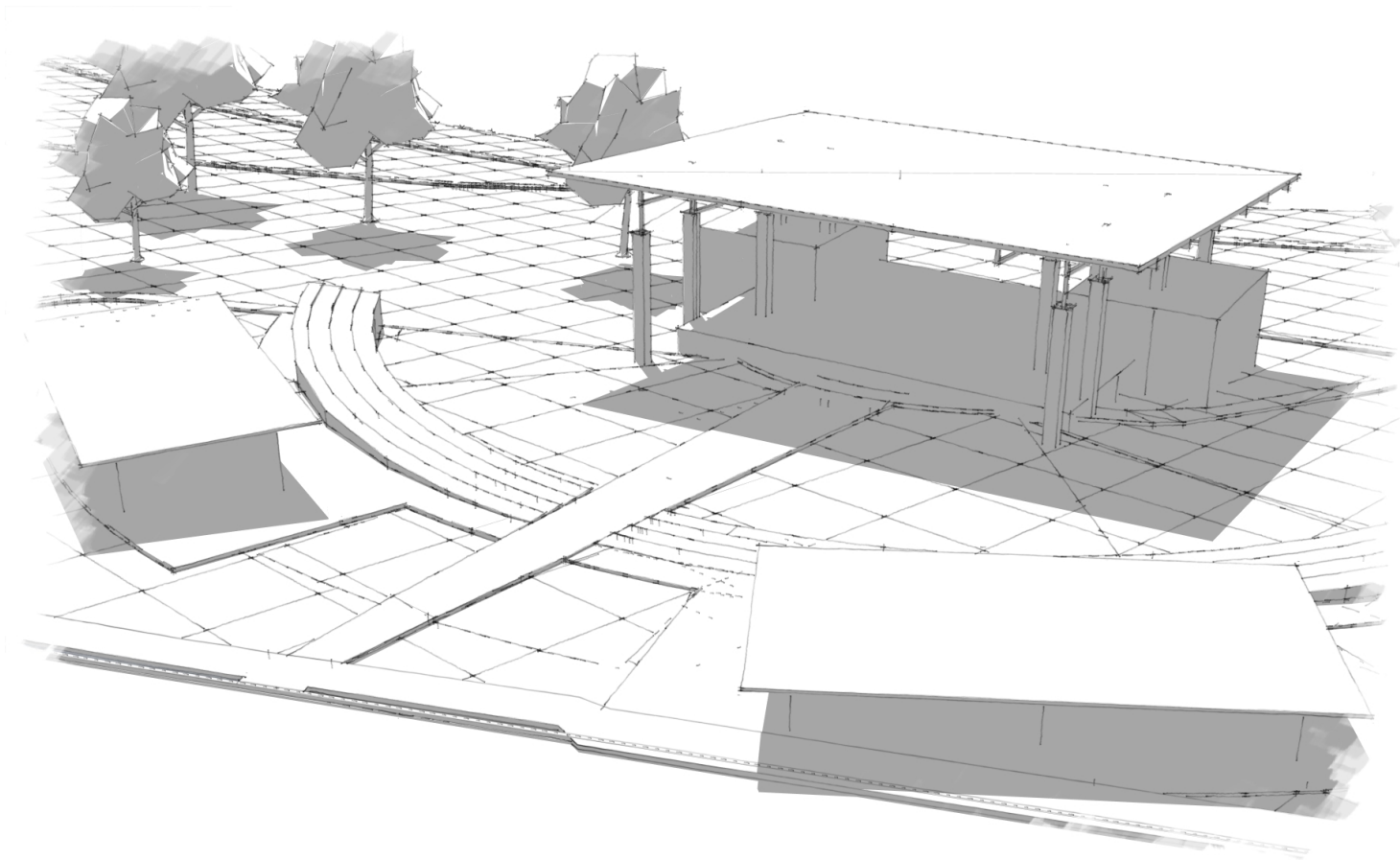
LAKE YARD AMPHITHEATER

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WE PROPOSE

LAKE YARD AMPHITHEATER

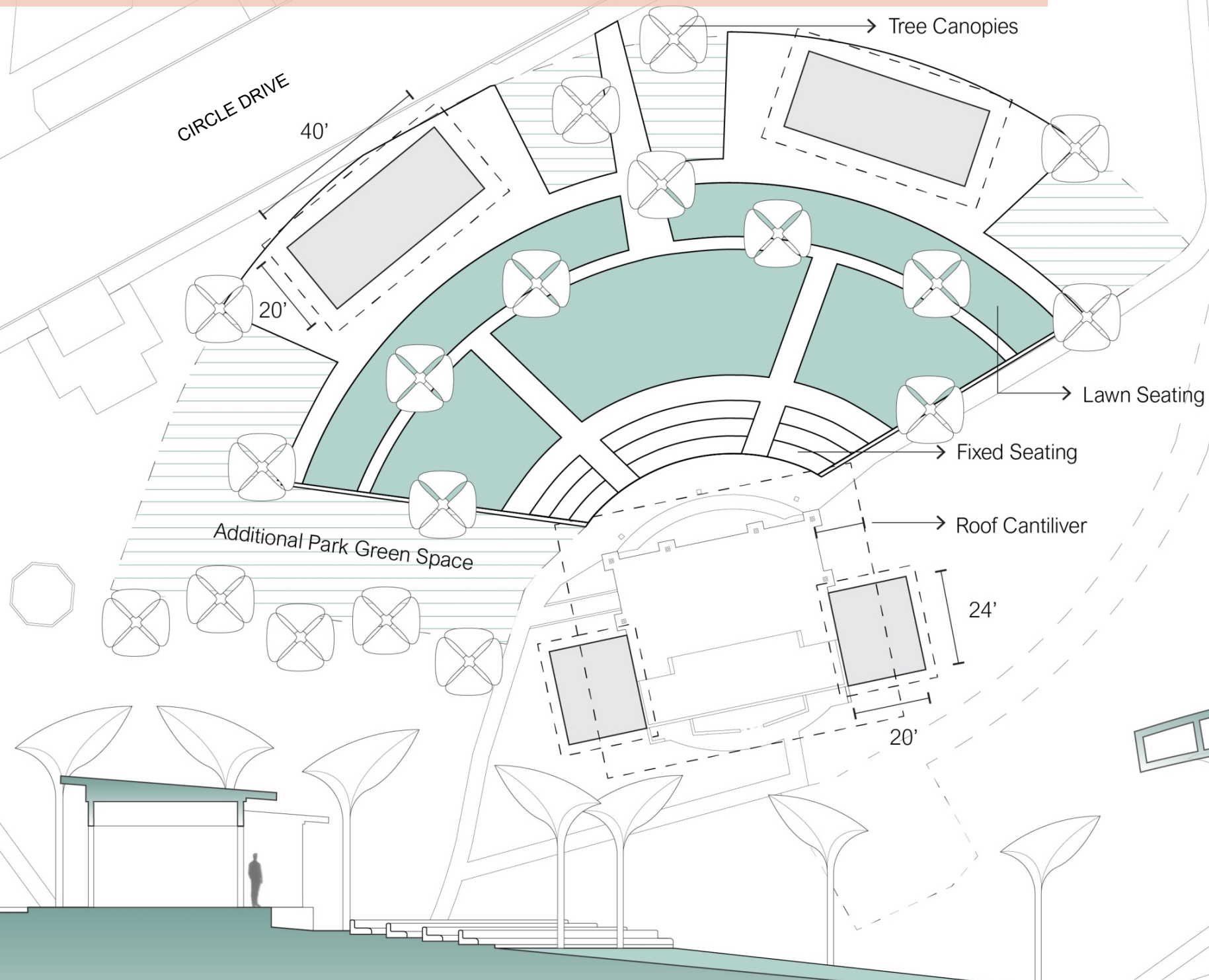
DEFUNIAK SPRINGS, FL

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Example Design



The Stage

How big is it?	55' x 44'
Area Covered by Roof?	2,148 SF
How tall is it?	25' at the front, 20' at the back

The Seating

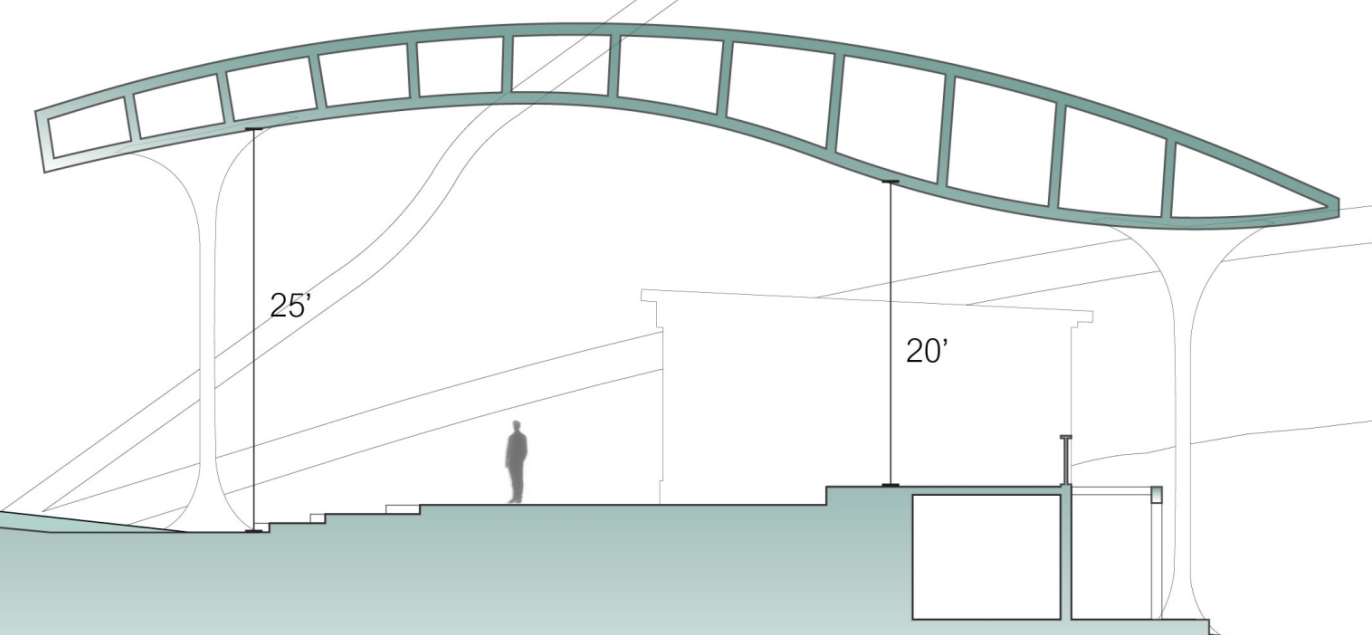
What type is it?	Radiused Row
Fixed vs. lawn ratio?	17% fixed seating to 83% lawn
Fixed Seating area?	1,412 SF
Lawn Seating area?	6,754 SF
Seating count?	Approximately 175-235 fixed seats at 6' to 8' area per person, 450-675 lawn seating at 10' to 12' area per person. 625-910 possible seating count.

The Services

Existing facilities removed from stage and re-built to the left and right backside of stage or services moved to back of seating area next to Circle Dr.	
How big are they?	Next to Stage: 20' x 24' at 480 SF each Next to Circle Drive: 20' x 40' at 800 SF each

The Shade

Suggested Shading:	Canteliever roof system over stage with dispersed architectural shading trees in key areas of seating.
--------------------	--------------------------------------------------------------------------------------------------------



WE PROPOSE

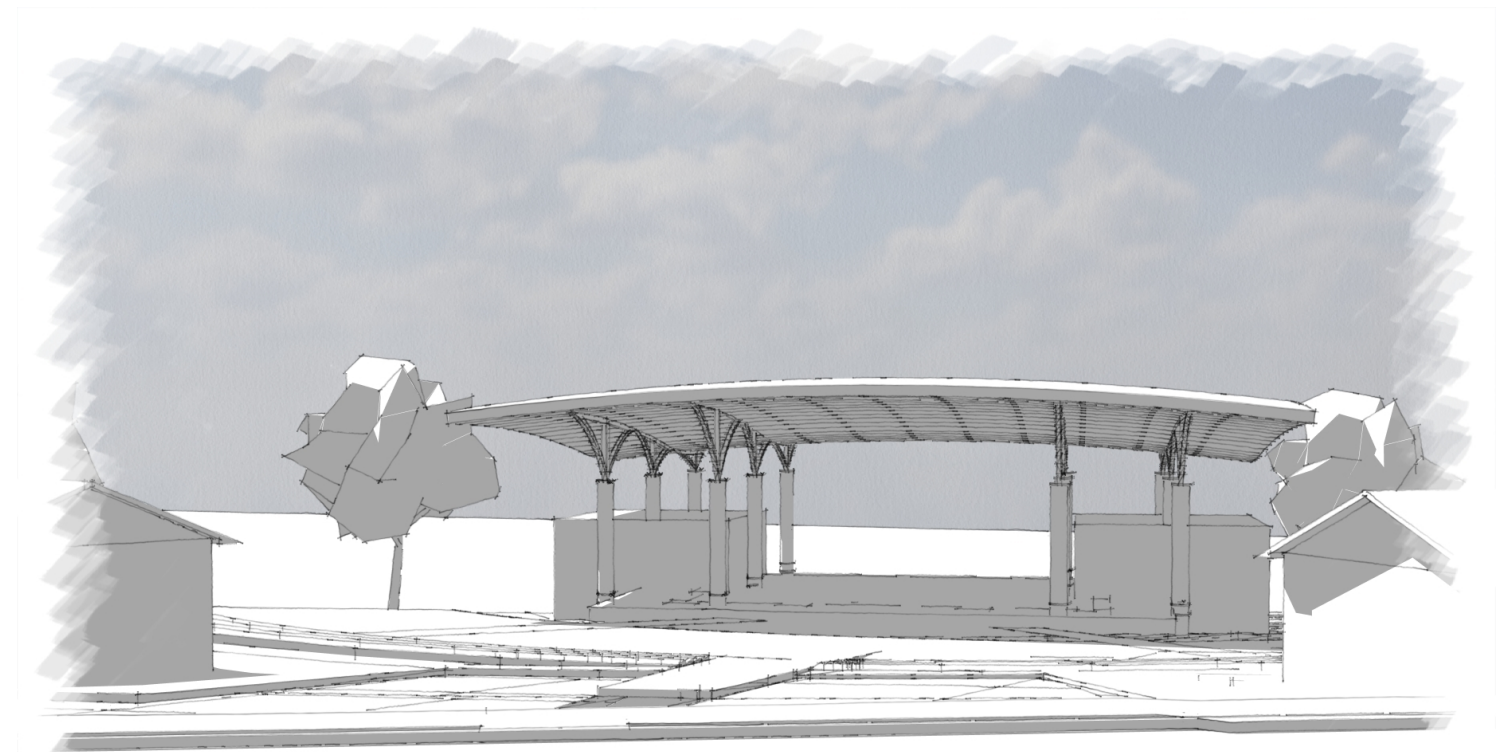
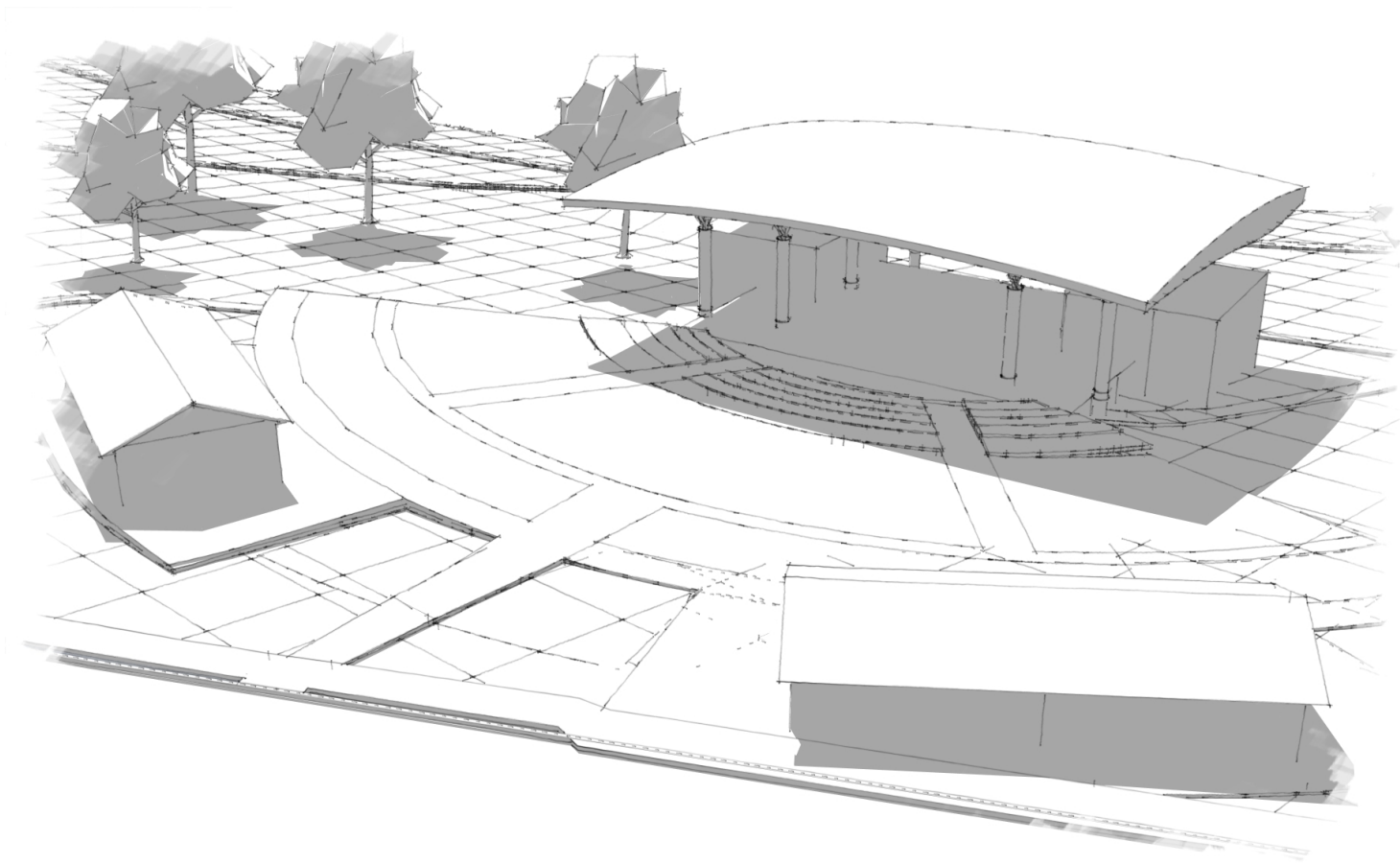
LAKE YARD AMPHITHEATER

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WE PROPOSE

LAKE YARD AMPHITHEATER

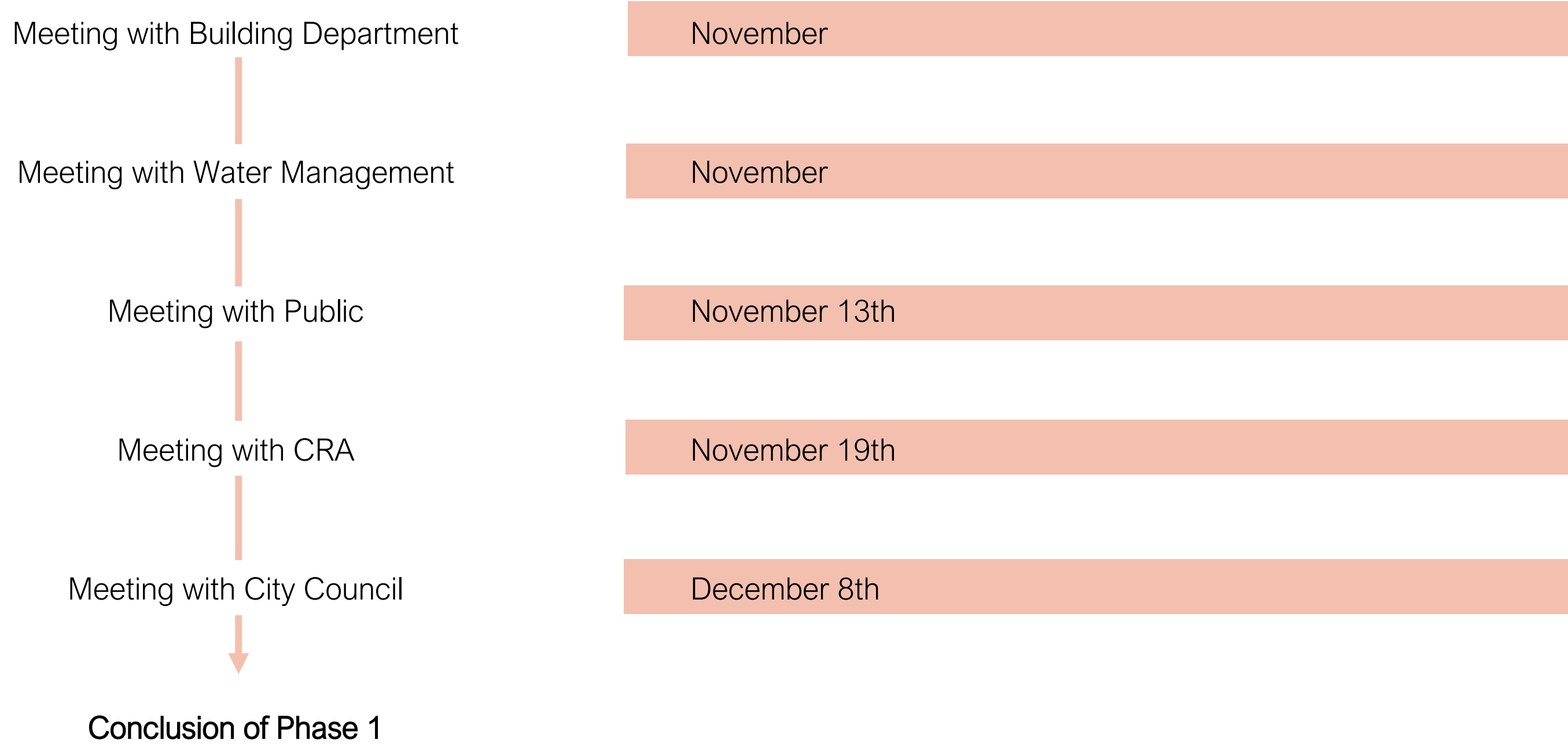
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Next Steps



CONCLUSION

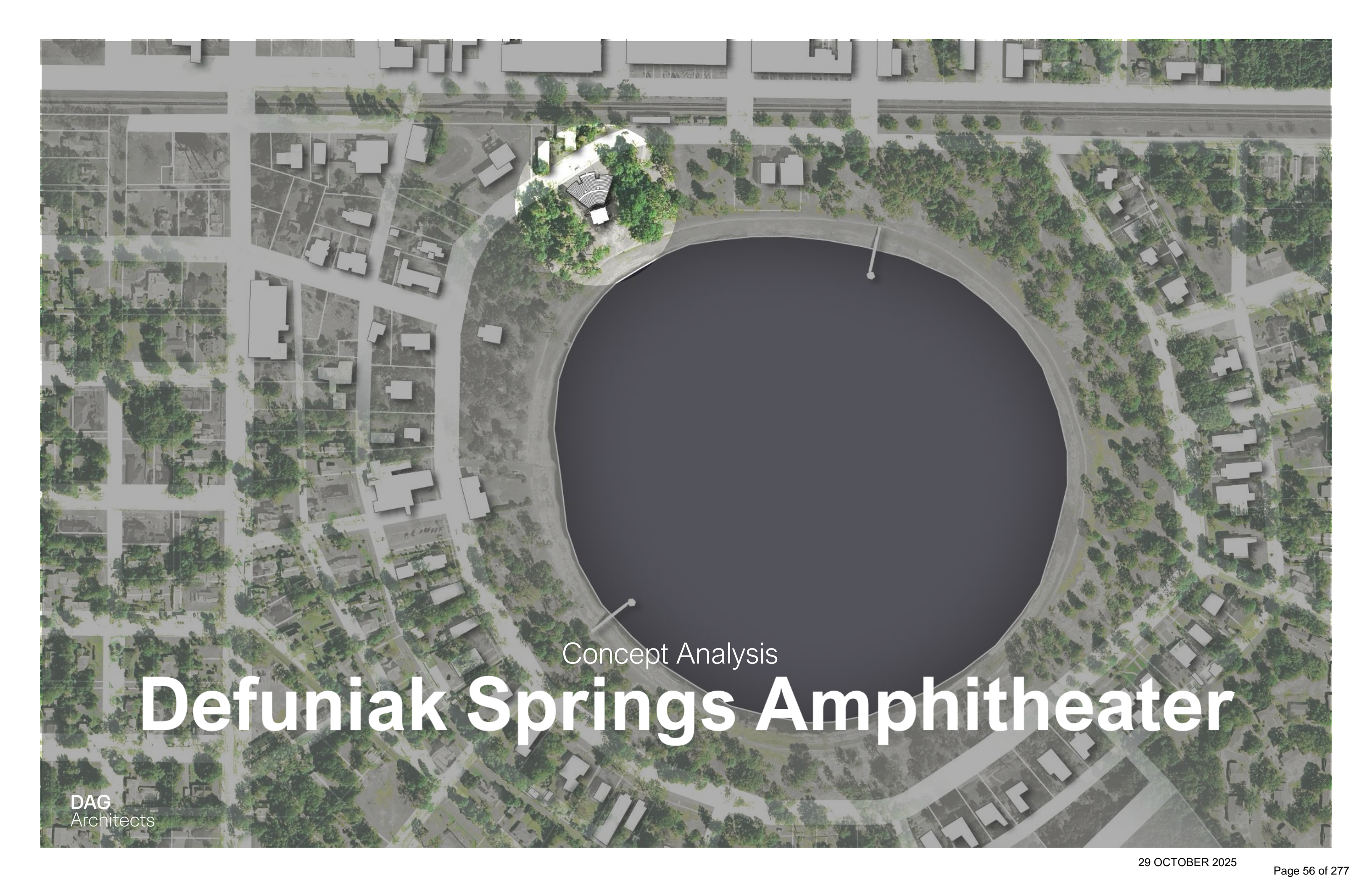
LAKE YARD AMPHITHEATER

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CONCEPT ANALYSIS

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Concept Analysis

Defuniak Springs Amphitheater

DAG
Architects

What we'll *cover*.

We Listened

We Learned

We Researched

We Propose

INTRODUCTION

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

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We listened.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Interviews Response Synopsis – 13 participants

Shade & Weather Protection (audience + performers)

Stakeholders: Brut Campbell, Cathy Mosely, Kim Wennerberg, Anthony Vallee, Tim Jackson, Danny Glidwell, Glen Harrison, Mayor Campbell, Kelli Misner & Poole, Multiple Others

Frequency: High

Mix of shade sails, natural shade trees, stage canopy; partial coverage to preserve lake view.

Clear View of Lake

Stakeholders: Brut Campbell, Kim Wennerberg, Anthony Vallee, Danny Glidwell, Glen Harrison, Mayor Campbell, Reynolds Henderson, Kelli Misner & Poole

Frequency: High

Raise roof height, open back stage design, transparent/partial backdrop materials.

Integration with Lake Yard Uses

Stakeholders: Mayor Campbell, Kelli Misner & Poole

Frequency: Low-Med

Flexible lake yard for vendors, markets, rentals; manage without compromising views.

Backstage / Greenroom & Storage

Stakeholders: Cathy Mosely, Tim Jackson, Jennifer Steele

Frequency: Medium

Compact indoor backstage; storage for equipment; power for lighting and sound.

Acoustics & Sound Quality

Stakeholders: Cathy Mosely, Anthony Vallee, Glen Harrison, Reynolds Henderson, Mayor Campbell

Frequency: High

Dedicated, tuned sound system; design stage shape/materials for sound clarity; noise ordinance compliance.

Management & Programming Plan

Stakeholders: Kim Wennerberg, Anthony Vallee, Tim Jackson, Danny Glidwell, Glen Harrison, Jennifer Steele, Reynolds Henderson, Todd Bierbaum, Kelli Misner & Poole

Frequency: High

Identify operating partner; year-round programming; balance ticketed and free events.

Historical & Aesthetic Sensitivity

Stakeholders: Anthony Vallee, Kim Wennerberg, Reynolds Henderson, Todd Bierbaum

Frequency: Medium

Victorian/classical imagery; natural materials; integrate with historic surroundings.

Downtown Connection

Stakeholders: Brut Campbell, Anthony Vallee, Danny Glidwell, Mayor Campbell, Reynolds Henderson

Frequency: Medium

Pedestrian bridge/crossing over tracks; apply for reconnecting communities grant.

ADA & Senior Access

Stakeholders: Cathy Mosely, Kim Wennerberg, Anthony Vallee, Tim Jackson, Glen Harrison

Frequency: High

Accessible paths, ADA seating zones, artist ramps on both stage sides, minimal walking distance.

Seating Comfort & Capacity

Stakeholders: Kim Wennerberg, Anthony Vallee, Danny Glidwell, Glen Harrison, Reynolds Henderson, Kelli Misner & Poole

Frequency: High

Mix of fixed + open seating; tiered terraces; capacity 1,000–1,500 seats; historically sensitive materials.

Economic & Tourism Impact

Stakeholders: Brut Campbell, Danny Glidwell, Glen Harrison, Jennifer Steele

Frequency: Medium

Track economic metrics; tie events to downtown traffic; market as regional draw.

Low Maintenance & Durability

Stakeholders: Anthony Vallee, Kim Wennerberg, Danny Glidwell, Glen Harrison, Reynolds Henderson, Todd Bierbaum

Frequency: High

Durable materials, synthetic turf, low-maintenance landscaping, weather-resistant finishes.

Restroom Improvements

Stakeholders: Cathy Mosely, Anthony Vallee, Danny Glidwell, Glen Harrison, Reynolds Henderson, Kelli Misner & Poole

Frequency: High

Add restrooms; ensure safety, accessibility, and service for both events and lake patrons.

Security & Lighting

Stakeholders: Cathy Mosely, Anthony Vallee, Danny Glidwell, Glen Harrison, Mayor Campbell, Reynolds Henderson

Frequency: High

Integrate low-profile, historic-compliant lighting; security plan for events.

Multipurpose / Flexible Use

Stakeholders: Cathy Mosely, Anthony Vallee, Tim Jackson, Glen Harrison, Mayor Campbell, Jennifer Steele, Todd Bierbaum, Kelli Misner & Poole

Frequency: High

Stage & seating layout adaptable for music, theater, movies, civic events, festivals, markets.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

CONCEPT ANALYSIS

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1. Stage Roof Preference

Most participants (9 of 12) preferred a stage with a fixed roof and operable backdrop, allowing open and closed configurations toward the lake.

Prioritize a fixed operable roof to balance shade, acoustics, and scenic lake views while maintaining flexibility for performances.

2. Seating Type

Nine respondents supported a mixed fixed and terraced lawn seating arrangement for adaptability and comfort.

Combine permanent seating tiers with open terraced lawns for an inclusive, flexible audience experience.

3. Shade and Weather Protection

Responses were evenly divided between natural shade from trees, removable fabric sails, and permanent roof coverage.

Blend natural tree shading with light removable fabric structures to create a comfortable yet visually open environment.

4. Amphitheater Capacity

Nearly all participants (11 of 12) preferred a capacity of 500–1,000 seats, suitable for community-scale events.

Maintain a mid-size capacity to preserve intimacy while accommodating festivals and local performances.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Online Survey Response Synopsis – almost 200 participants!

1. Shade and Weather Protection

Most respondents rated shade as very important, emphasizing comfort and usability. Top preferences included removable fabric sails, permanent roof structures, and natural shade from trees.

Incorporate a combination of removable fabric sails and natural shading to provide adaptable protection while maintaining an open-air aesthetic.

2. Lake View Priority

Enhancing the lake view from seating areas was rated very important by the majority.

Maintain clear sightlines toward the lake through tiered seating, minimal obstructions, and low-profile structures.

3. Stage Roof Preference

The most favored option was a fixed roof with an operable backdrop, allowing flexible visibility of the lake. Secondary choices included no backdrop or a tensile roof structure.

Use an operable or transparent backdrop system to balance weather protection, acoustics, and scenic views.

4. Acoustics and Sound Quality

Sound performance was ranked very important by nearly all respondents.

Integrate acoustic design early, using angled roof planes, sound-reflective materials, and appropriate speaker placement to enhance clarity for both large and small gatherings.

5. Flexibility for Events

Respondents prioritized versatility, with most rating it very important.

Create a multipurpose layout adaptable to concerts, festivals, community events, and private functions, allowing flexible stage configurations and open lawn space.

6. Event Types Desired

Concerts, theater performances, movies in the park, community gatherings, and festivals were the most requested event types.

Ensure adequate power access, lighting, and infrastructure to support both cultural and recreational programming.

7. Seating Arrangement

The preferred option was a mix of fixed and lawn seating to allow flexibility and comfort.

Combine terraced permanent seating with open lawn areas for casual viewing and adaptable capacity.

8. Material Preferences

Composite seating materials were favored for comfort and durability, with additional support for natural grass or concrete terracing.

Use composite and natural materials to create a comfortable, low-maintenance, and cohesive aesthetic.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

CONCEPT ANALYSIS

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Online Survey Response Synopsis – almost 200 participants!

9. Capacity Expectations

Most respondents favored a capacity between 500 and 1,000 people, aligning with community-scaled events.

Plan for mid-sized gatherings that maintain intimacy while accommodating festivals and concerts.

10. Restroom Facilities

Improved restroom facilities were a top priority. Traditional men's and women's restrooms were most preferred, followed by unisex and family options.

Include clean, accessible restrooms close to the amphitheater with family-friendly layouts.

11. Restroom Location

Top preference: Top of the hill along Circle Dr for better accessibility and security. Secondary option: Across Circle Dr in old office buildings, if feasible to renovate. Third preference: Along the side of the stage for visibility from seating areas. Least chosen: Back of the stage facing the Lake Yard.

Prioritize the Circle Dr hilltop site for accessibility and visibility while exploring adaptive reuse opportunities across Circle Dr. Maintain stage-adjacent visibility options as a lower-priority consideration.

12. Multipurpose Use

Nearly all respondents supported a multipurpose design for uses such as markets, yoga sessions, weddings, and small performances.

Emphasize flexible layouts, durable surfaces, and open access to utilities for a variety of community uses.

13. Backstage and Support Spaces

Most respondents favored including backstage areas, green rooms, and storage facilities.

Integrate discreet service zones that support performers while maintaining visual continuity with the site.

14. Historical and Aesthetic Character

Respondents widely agreed that maintaining the town's historical and visual integrity is very important.

Incorporate local materials and architectural references to ensure the amphitheater complements DeFuniak Springs' heritage.

15. Economic and Tourism Impact

Supporting local tourism and the downtown economy was rated highly important.

Strengthen physical and visual connections to nearby businesses and public spaces to enhance community activity.

16. Additional Comments and Overall Tone

Respondents expressed that the amphitheater should feel like an extension of the town's historical fabric, blending tradition with function.

Maintain a balance between heritage aesthetics and modern adaptability, reinforcing the site's role as a cultural and community anchor.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

CONCEPT ANALYSIS

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Responses Comparison

Design Focus	Stakeholder Interviews	Public Workshop	Public Survey
Stage Roof Preference	Recommended operable or transparent backdrop for sound control and views.	Majority preferred fixed roof with operable backdrop for scenic flexibility.	Preferred fixed roof with operable backdrop for flexibility and lake visibility.
Seating Configuration	Advocated for terraced lawn with some permanent seating for capacity control.	Mixed fixed and terraced lawn seating chosen by nearly all participants.	Mixed fixed and lawn seating preferred for flexibility and comfort.
Shade and Weather Protection	Supported combining natural tree cover and sail structures to maintain openness.	Equal support for trees, removable sails, and fixed coverage: flexibility valued.	Favored a mix of natural shade and removable fabric sails for comfort.
Capacity	Community-level capacity reinforced as optimal for programming and maintenance.	Nearly unanimous support for 500–1,000 seats as ideal size.	Ideal range between 500–1,000 for community-scale events.
Historical Character & Materials	Highlighted use of local materials and town-scale architecture.	Supported preserving lake view and town identity through scale and openness.	Strong emphasis on aligning design with DeFuniak Springs' heritage.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

CONCEPT ANALYSIS

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Summary of Input: *Design Assumptions & Implications*

Stage Design



Seating Design



Shade Design



Services Design

Fixed roof with operable backdrop preferred, size flexibility for small and festival sized events year-round use.

Mix of fixed and lawn seating favored.

Shade distribution is essential and flexible/disassemble preferred.

Prefer Circle Dr hilltop or nearby location for all time use.

WE LISTENED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

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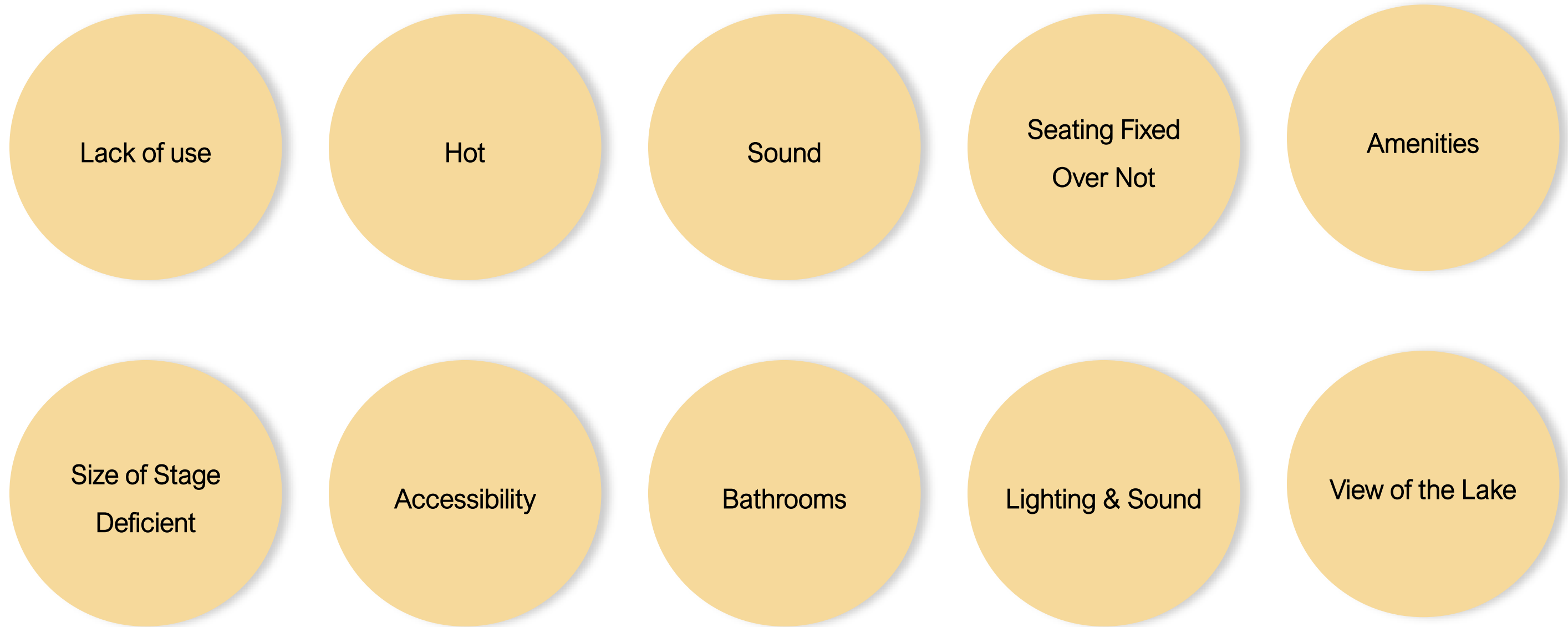
We learned.

WE LEARNED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Key Design Characteristic *Flaws* in Existing Amphitheater



WE LEARNED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Key Design Characteristic Improvements *Design Score Card*

Design Score Card	
10 possible points, 1 point per design category.	
Category	Goal for Success
Use & Activation	Amphitheater actively used year-round by community and visitors.
Heat Mitigation - Comfort & Shade	Visitors remain comfortable during events; adequate shade throughout.
Sound Quality	Clear, balanced acoustics for both small and large audiences.
Seating Quality	Mix of permanent and flexible seating accommodating different event types.
Amenities	Sufficient on-site concessions, storage, and support spaces.
Stage Size & Functionality	Stage proportioned for local and regional performances, adaptable in scale.
Accessibility	Full Accessibility compliance for audience, staff, and performers.
Restrooms	Accessible, sufficient capacity, clean, and located conveniently.
Lighting & Sound Infrastructure	Functional, safe, and flexible lighting and sound systems for all event types.
Lake View & Visual Connection	Stage and seating maintain strong visual connection to the lake.

WE LEARNED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

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Work Completed

Phase 1

Task 1 – Kickoff & Listening Session

Surveying Consultant

Nova (Geotech)

Completed

Task 2 – Site Evaluation & Due Diligence

Task 3 – Conceptual Design & Programming

Current Task

Task 4 – Stakeholder Engagement

Task 5 – Conceptual Design Clarification

MEP, S (Allowance for narrative and design input)

Branding, Wayfinding & Graphics Designer

Left to Complete

WE LEARNED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

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We researched.

WHAT WE RESEARCHED

LAKE YARD AMPHITHEATER

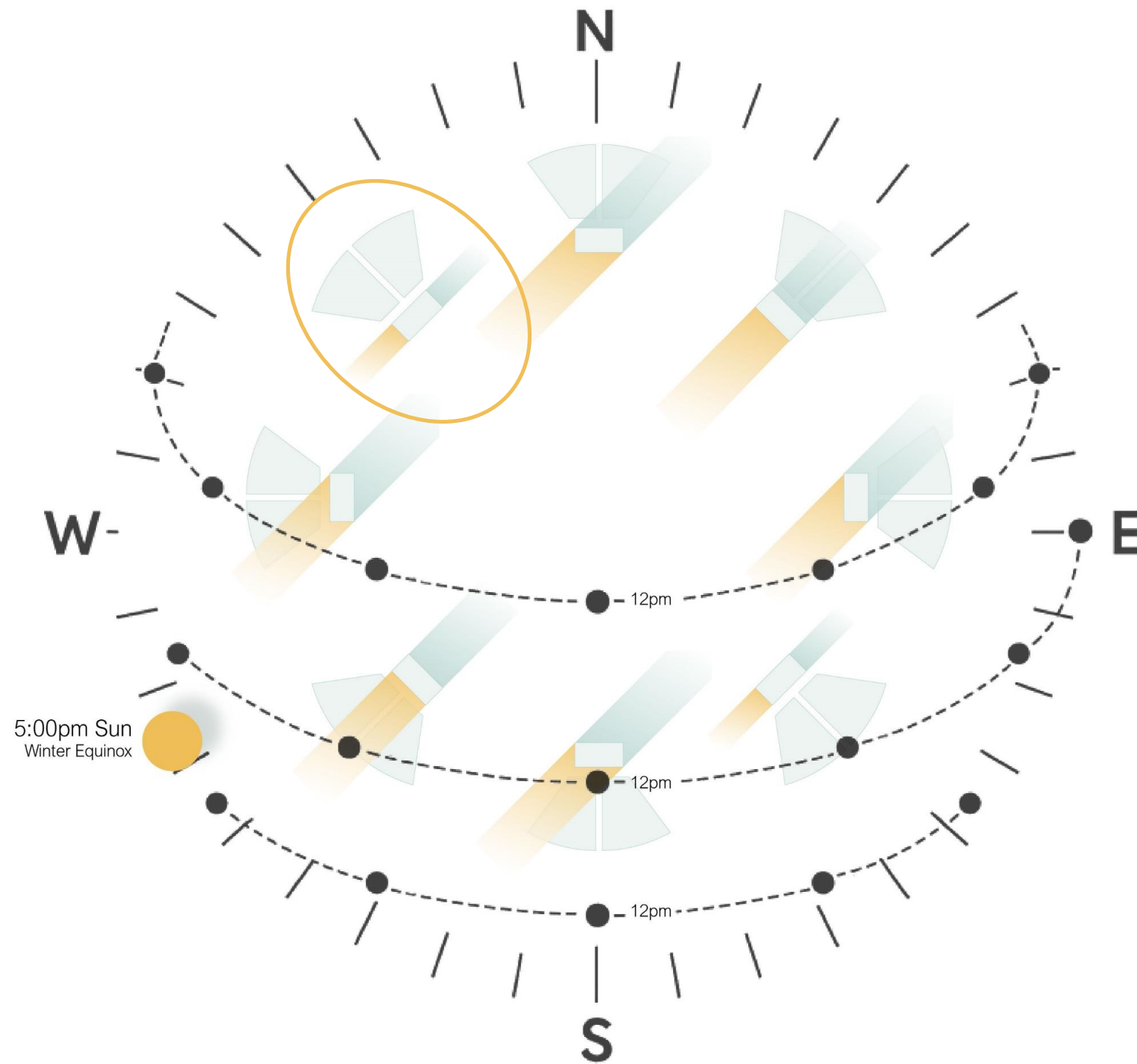
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Stage Orientation



After analyzing the various stage orientations (left), we verified that orienting the stage toward the Northwest provides the most balanced sun exposure throughout the day.

By studying solar paths from morning to evening across seasonal conditions, it became clear that a Northwest facing stage minimizes direct glare on both the performers and the audience during afternoon and evening events, particularly around the 5:00 p.m. winter sun position when glare risk is highest.

This orientation also offers softer indirect lighting during most performance hours, improving visibility and comfort without the need for excessive shading structures. It preserves flexibility for future stage lighting and sound design since the main performance area remains shaded while the audience benefits from gradual ambient daylight.

Overall, the Northwest orientation achieves an optimal balance of comfort, functionality, and visual quality, supporting both daytime community use and evening performances with minimal solar interference.

WE RESEARCHED

LAKE YARD AMPHITHEATER

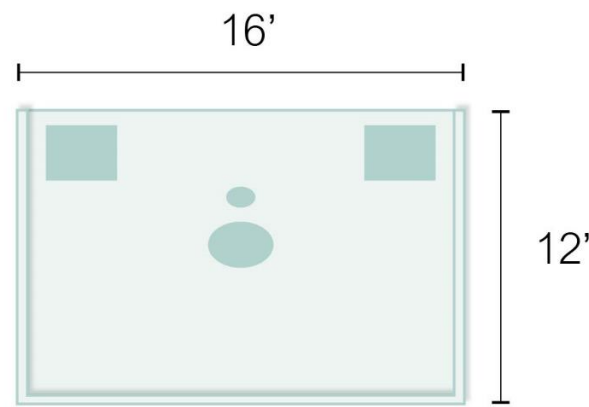
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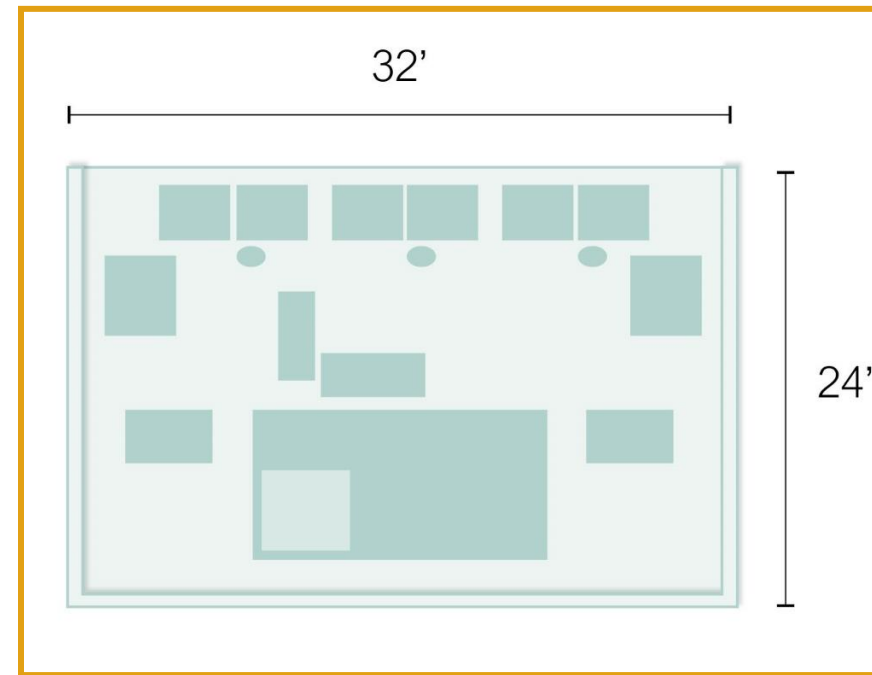
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Stage Size



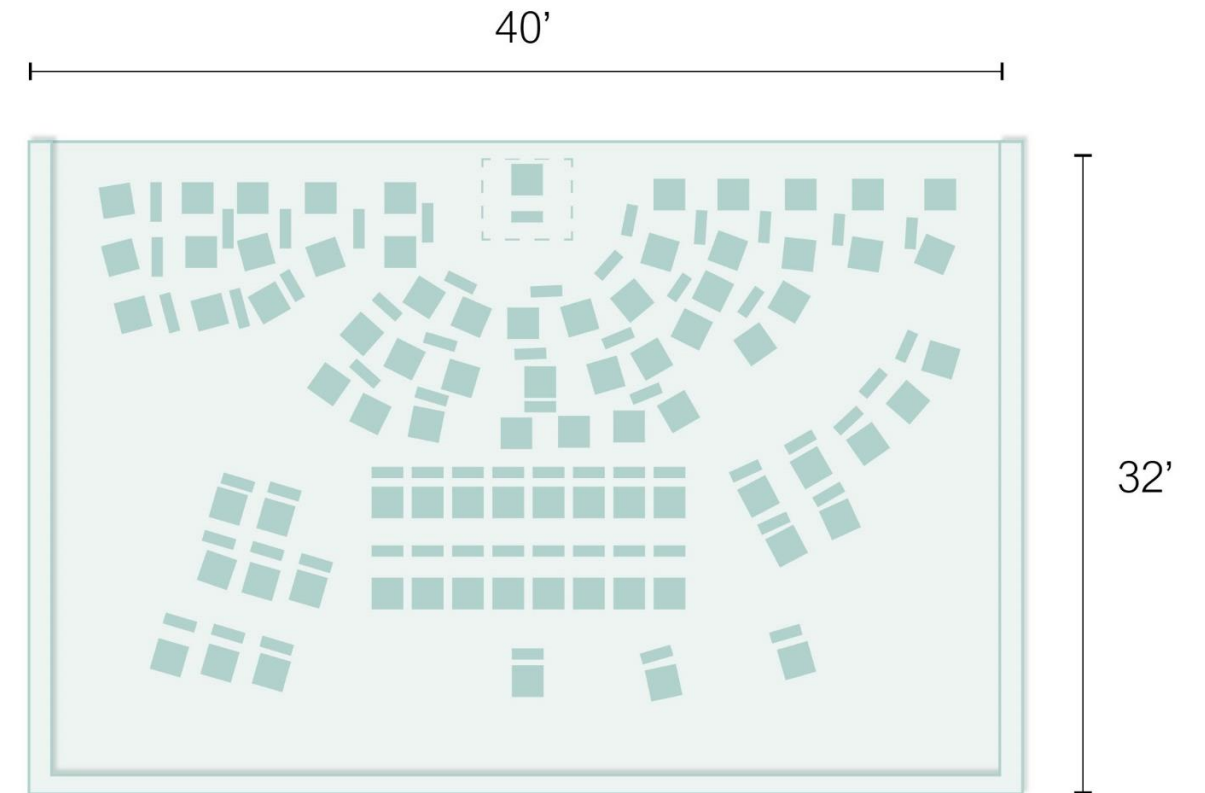
Small Stage

Fitting for a single performer, around 200 SF of stage area.



Medium Stage

Fitting for a 6-to-8-piece band, around 775 SF of stage area.



Large Stage

Fitting for an orchestra size performance, around 1,300 SF of stage area.

The stage should be adaptable to support a variety of performances and community events.

While the small and large stages serve specific needs, the medium stage offers the most versatility. With around 775 square feet, it comfortably accommodates local bands, small theater acts, and public gatherings. This size provides the best balance between function, flexibility, and scale for the community.

WE RESEARCHED

LAKE YARD AMPHITHEATER

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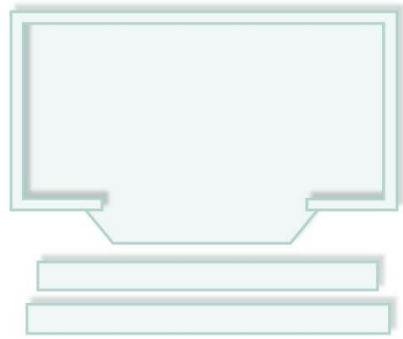
CONCEPT ANALYSIS

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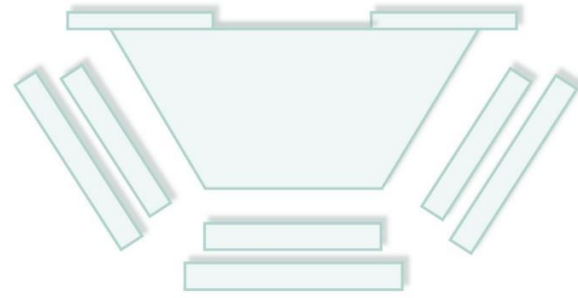
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Stage Types

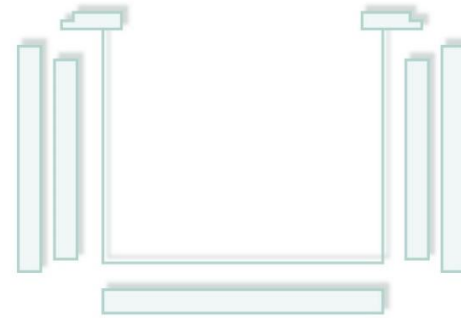
Proscenium Stage



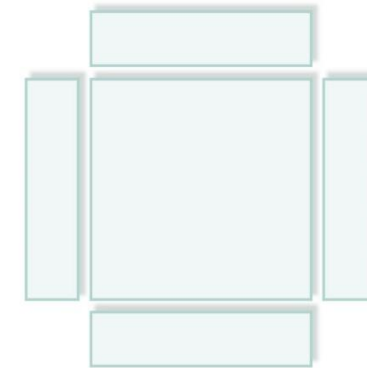
Open Stage



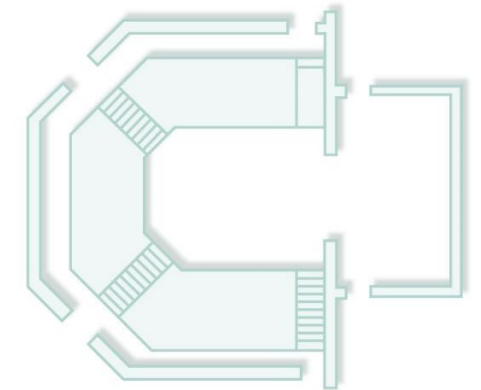
Trust Stage



All Around Stage



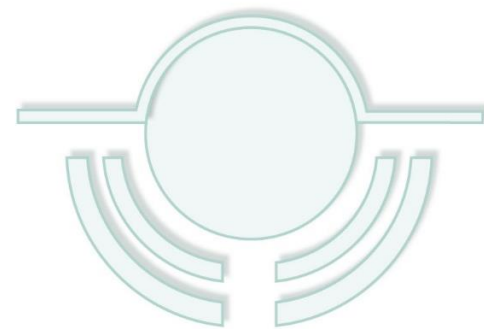
Thrust Stage



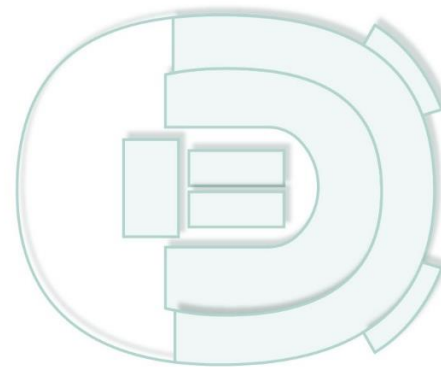
Arena Stage



Open Stage



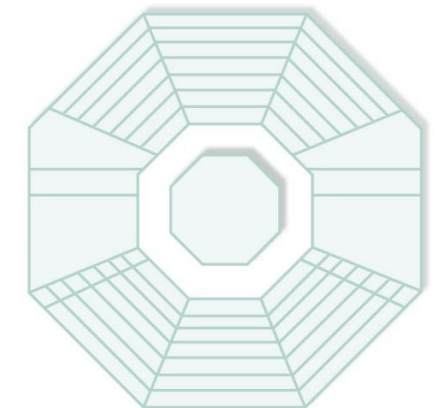
End Stage



Traverse Stage



Flex Stage



Each stage type offers unique advantages depending on performance style and audience experience.

For this site, maximizing lake views and accommodating community events are key priorities. The open stage layout provides the best flexibility for concerts, cultural programs, and civic gatherings while maintaining strong visual and physical connections to the surrounding landscape. This configuration supports inclusive viewing and engagement from multiple directions, making it the most suitable option for this location.

WE RESEARCHED

LAKE YARD AMPHITHEATER

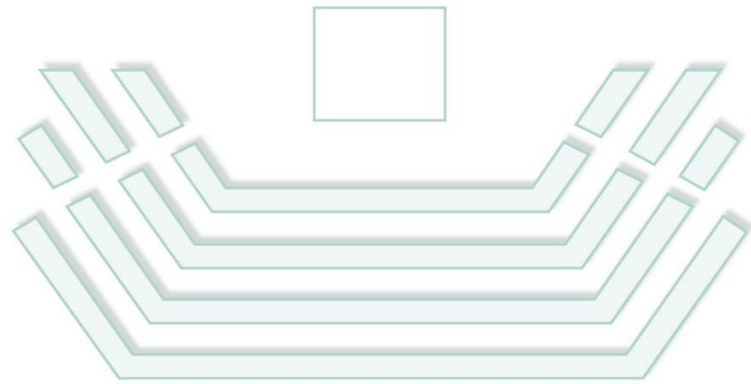
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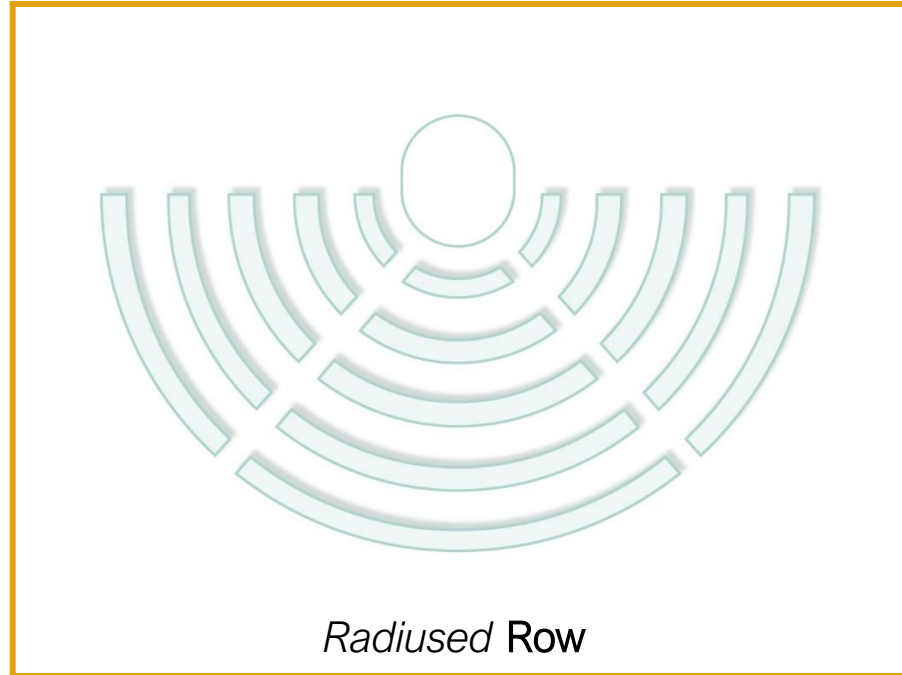
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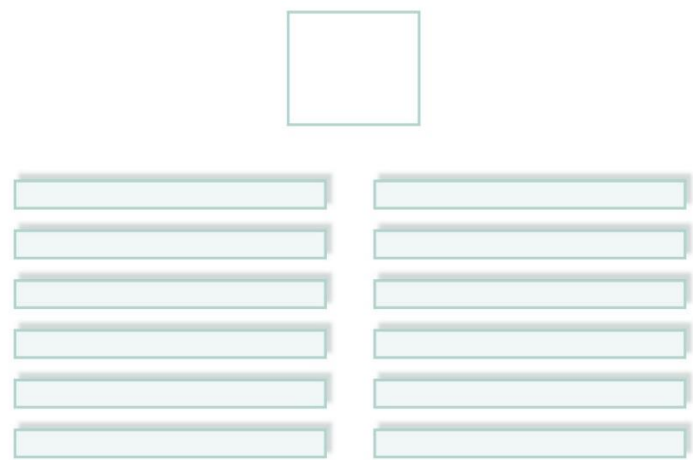
Seating Types



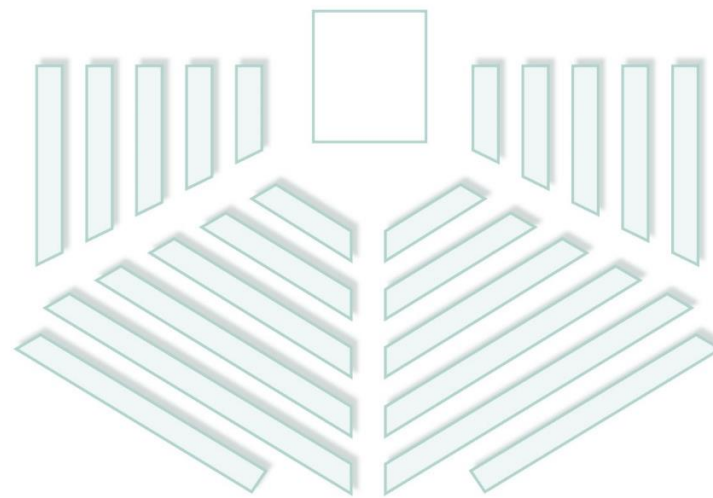
Truncated Row



Radiused Row



Straight Row



Angled Row

To maximize seating potential and enhance audience experience, the radiused row configuration offers the best sightlines to the stage.

This layout creates a natural focus toward the performance area and improves visibility from every seat. It also removes the need for a central aisle, which many performers find distracting. Overall, it provides an efficient and engaging arrangement for both audience and performer.

WE RESEARCHED

LAKE YARD AMPHITHEATER

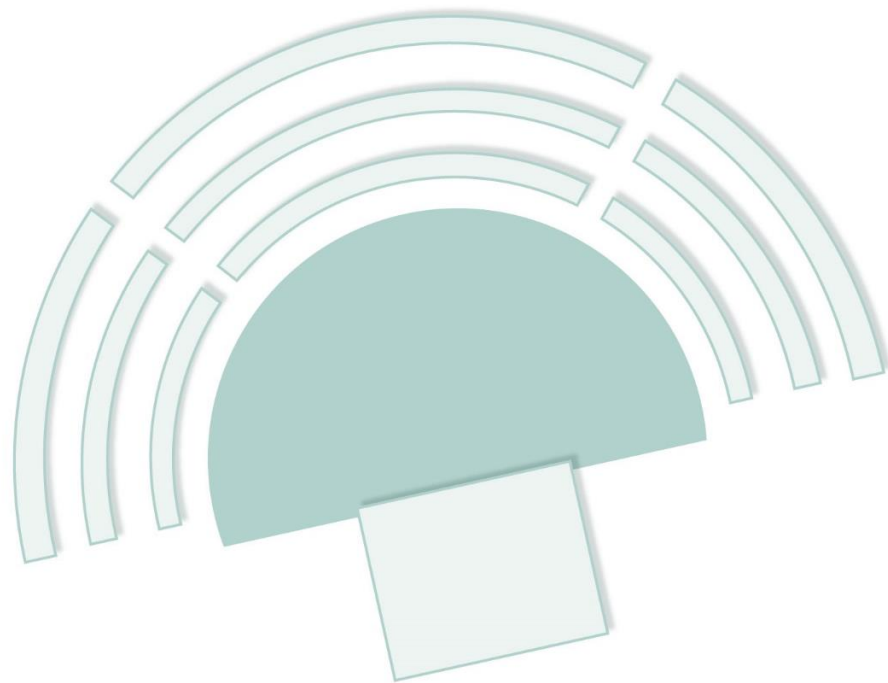
DEFUNIAK SPRINGS, FL

CONCEPT ANALYSIS

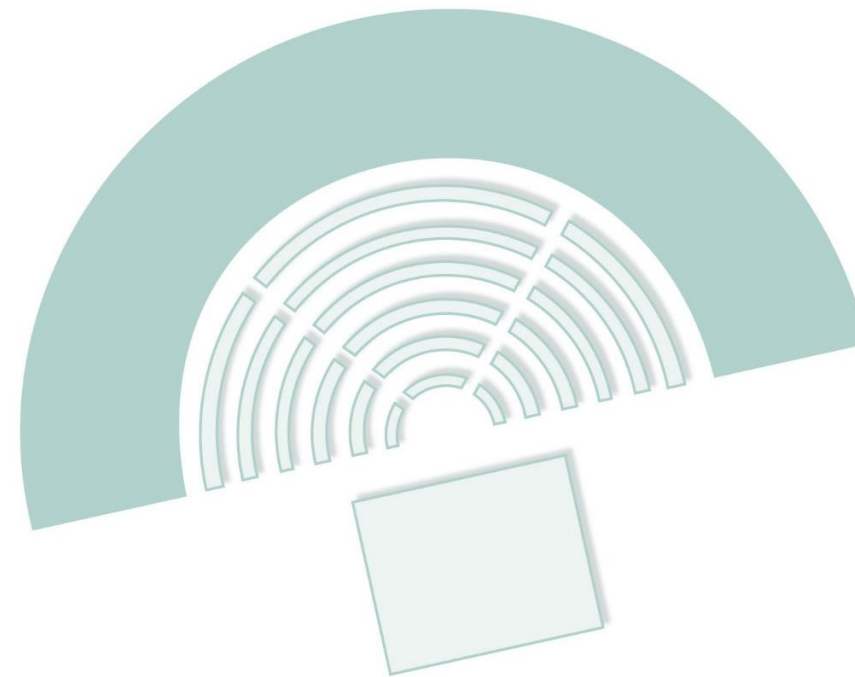
29 OCTOBER 2025

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Lawn Front, Fixed Back



Fixed Front, Lawn Back



Fixed and Lawn Mixed



The lawn front, fixed back configuration provides the most balanced and functional layout for this site. Placing lawn seating at the front allows for a more casual and flexible gathering space near the stage, encouraging community use and interaction.

Fixed seating at the back offers structure, accessibility, and defined viewing areas for larger performances. This arrangement enhances comfort, visibility, and inclusivity while maintaining open space near the stage. A ratio of approximately 25 percent fixed seating and 75 percent lawn seating is recommended to best serve a variety of events and audience sizes.

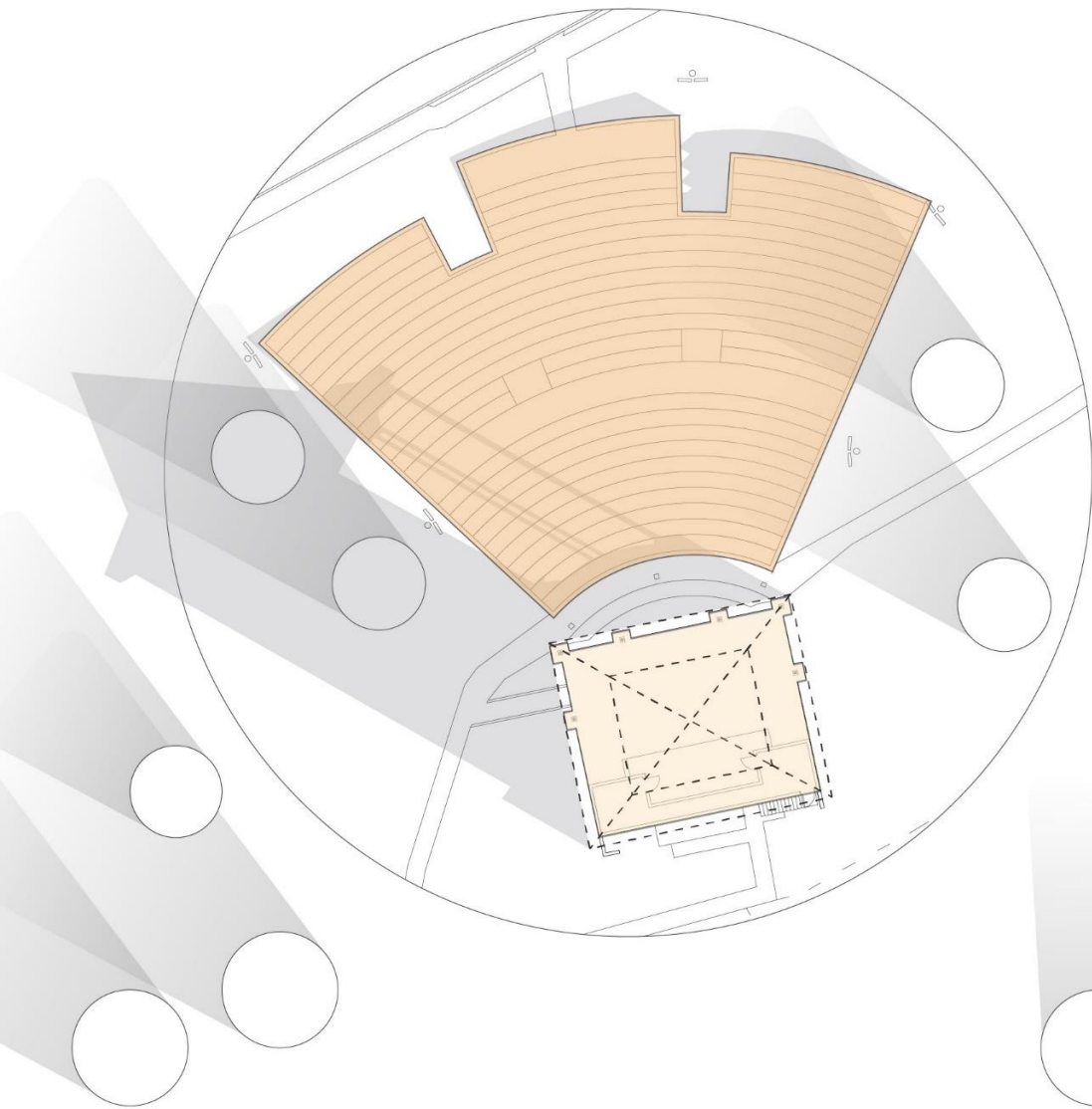
WE RESEARCHED

LAKE YARD AMPHITHEATER

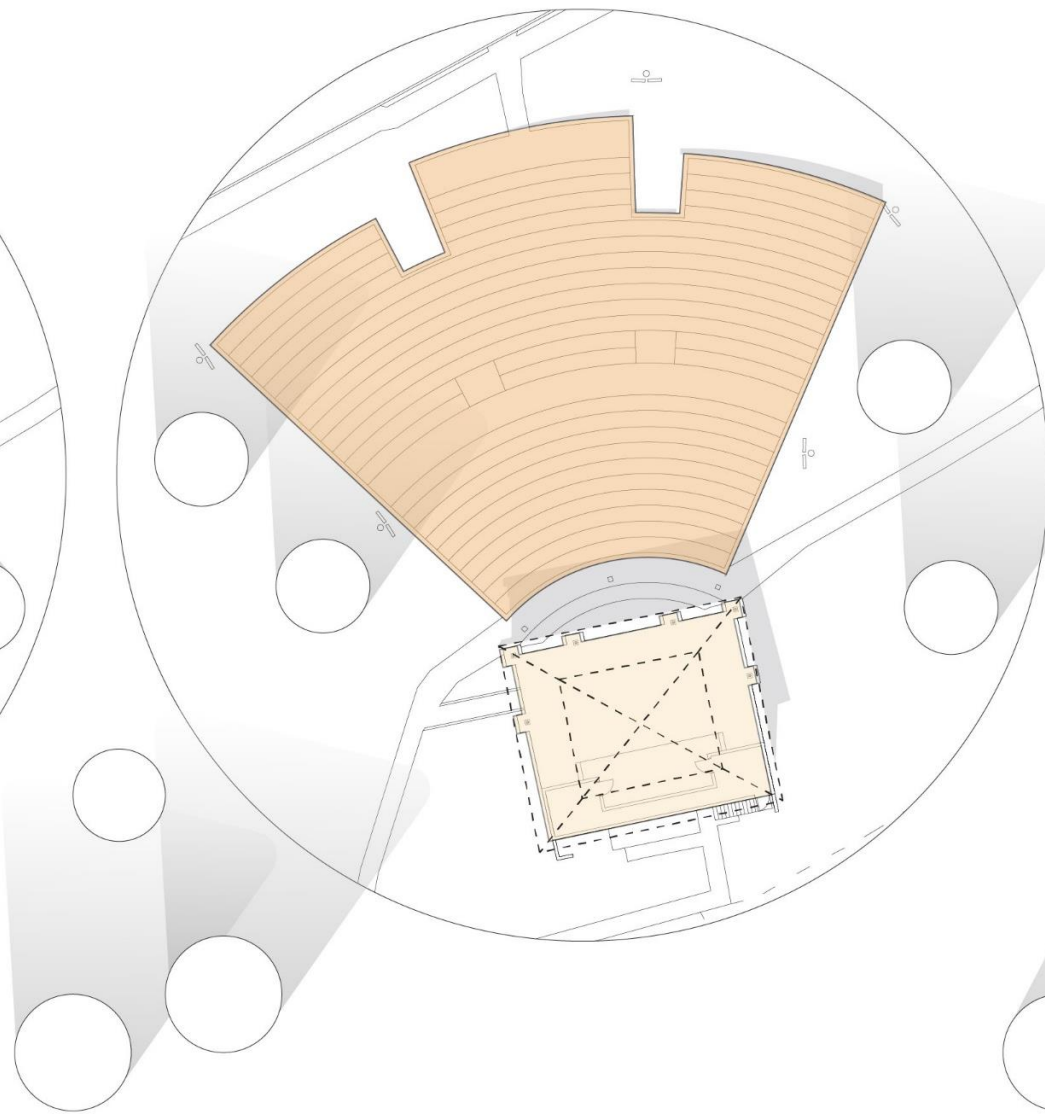
DEFUNIAK SPRINGS, FL

Sun Shading Mitigation Methods

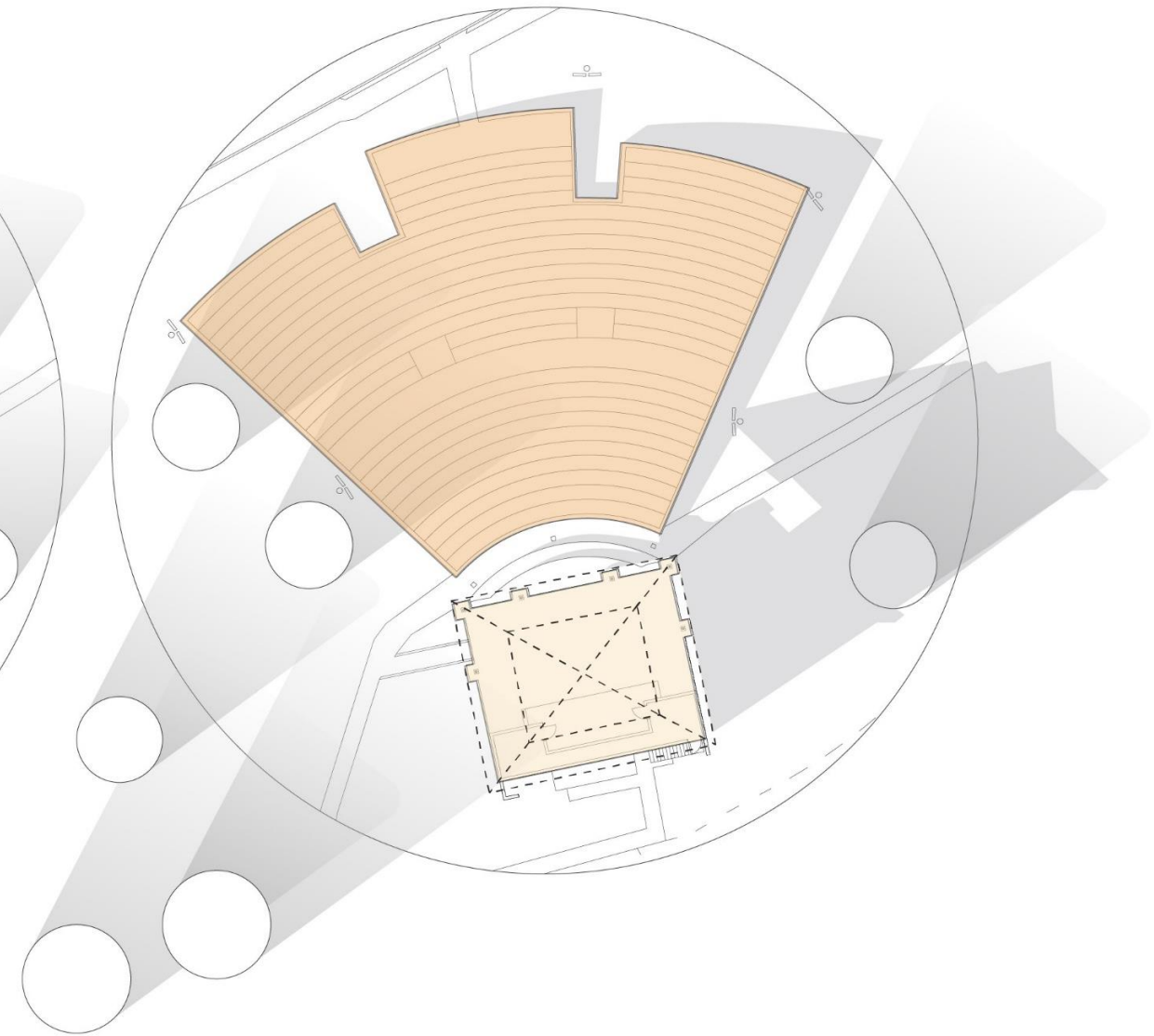
Morning Shade



Noon Shade



Afternoon Shade



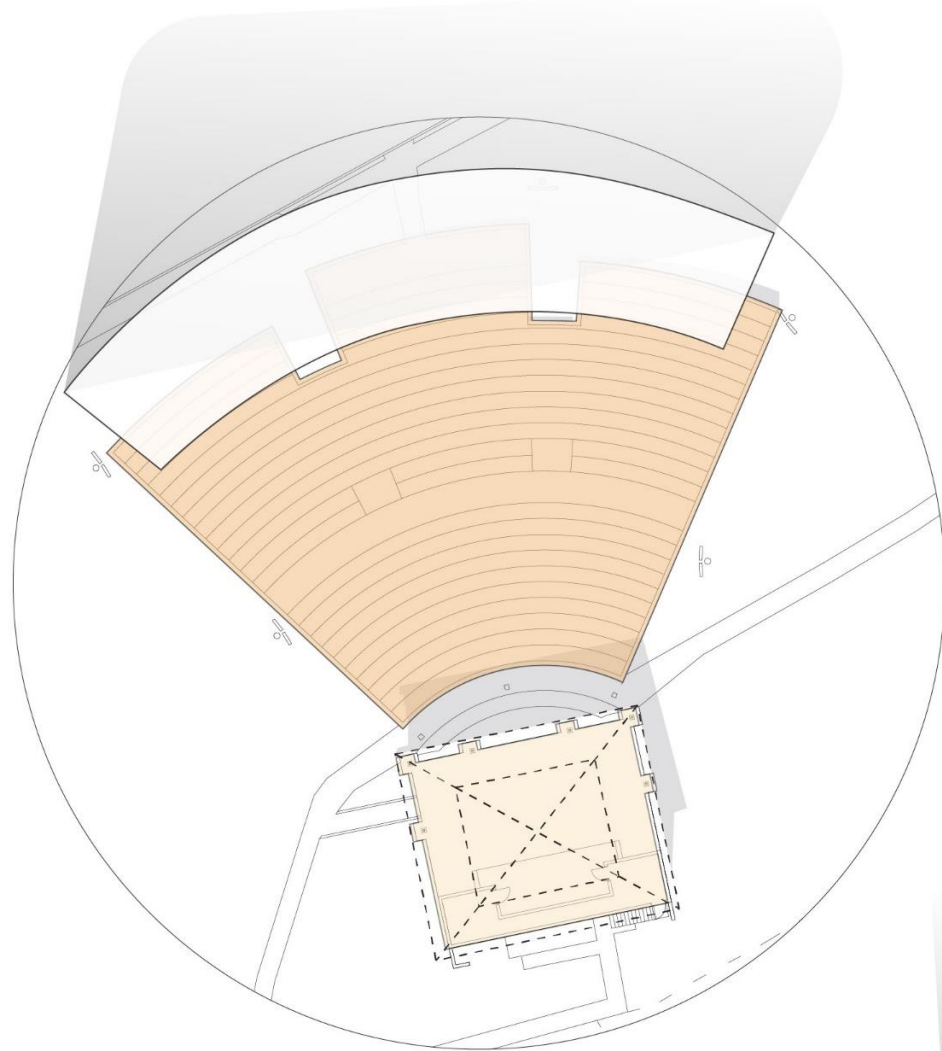
WE RESEARCHED

LAKE YARD AMPHITHEATER

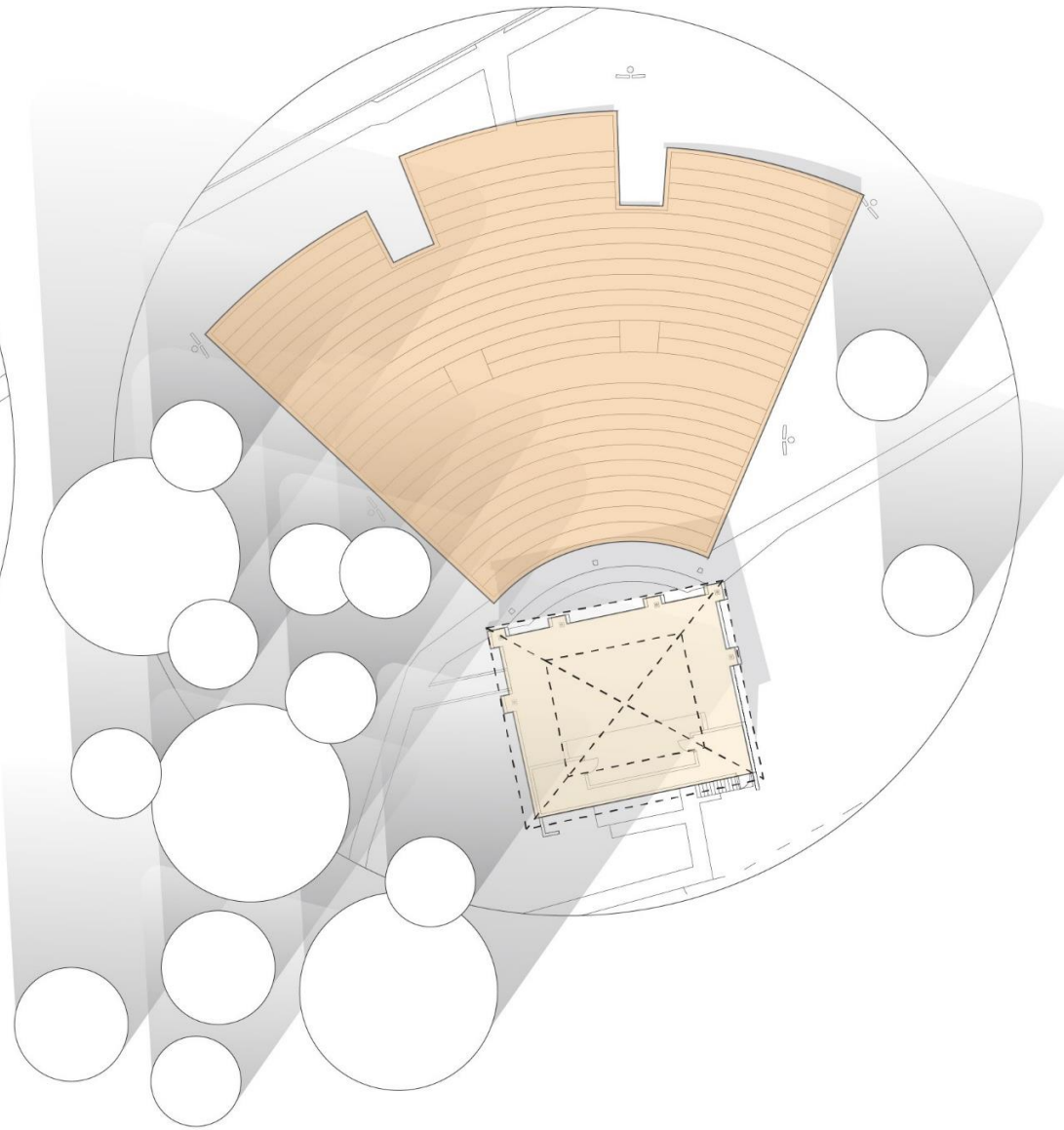
DEFUNIAK SPRINGS, FL

Sun Shading Mitigation Methods

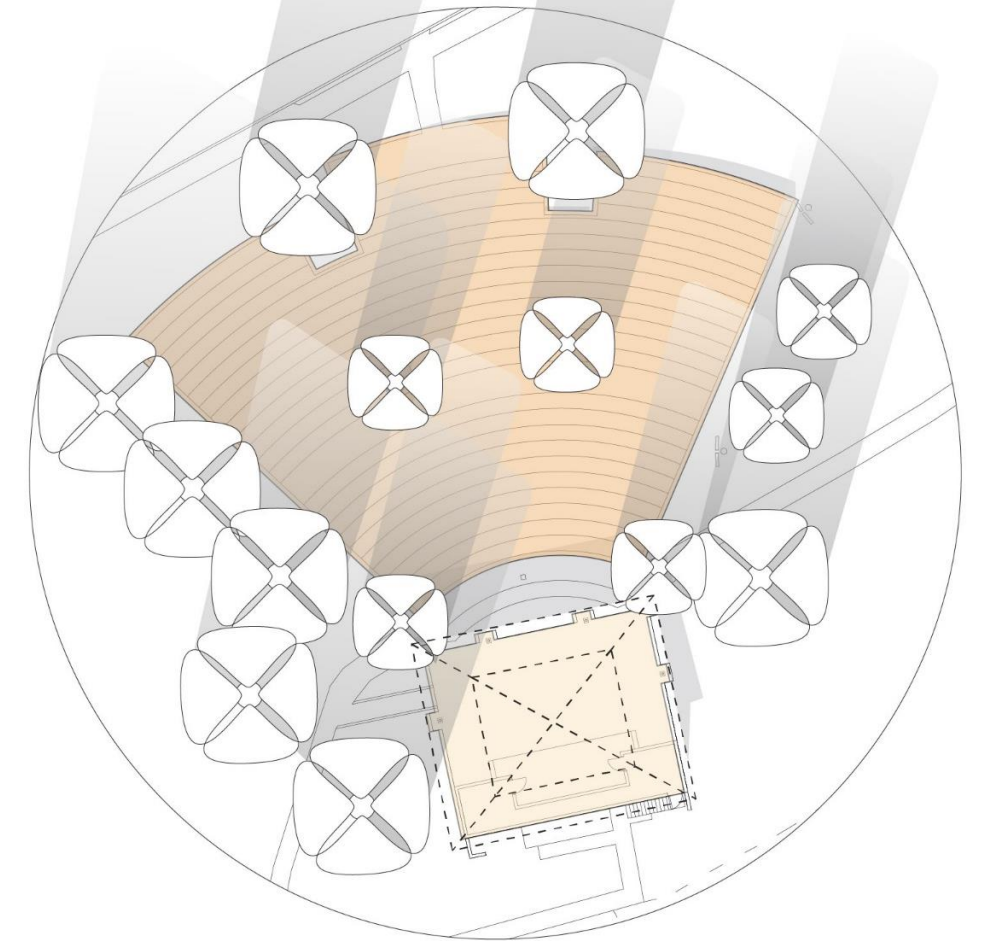
Uphill Cantilever Sail Shading Mitigation



Increased West Natural Shading Mitigation



Dispersed Architectural Structure Shading Mitigation



A mix of cantilever shading and natural west-side vegetation provides the most effective balance of coverage and comfort. This combination reduces glare on the stage, enhances audience shading, and maintains an open, natural feel. It offers both function and visual harmony for the site.

WE RESEARCHED

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

CONCEPT ANALYSIS

29 OCTOBER 2025

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1) Occupancy / Assumptions

Use Group: Assembly A-5 (outdoor amphitheater). Risk Category III (public assembly OL>300). Design per FBC-Building Chapter 16 and ASCE 7-22 for wind and structural loads.

2) Accessibility (FBC Accessibility)

Provide an accessible route from accessible parking and public way to all seating areas, stage/performance areas, dressing/green rooms, toilets, concessions, and ticketing. Disperse wheelchair spaces for comparable lines of sight, provide companion seating, and include an Assistive Listening System when amplified sound is provided.

Scenario	Total Seats	Wheelchair Spaces	Companion Seats	ALS Receivers (Total / HAC)
A	1,200	11	11	39 / 10
B	1,500	13	13	45 / 12

3) Occupant Load Split

Total Fixed Seats: 400
Men: 200
Women: 200

Required Plumbing Fixtures

Fixture Type	Requirement	Calculation	Minimum Required Fixtures
Water Closets (Men)	1 per 75 ($\leq 1,500$)	$200 \div 75 = 2.7 \rightarrow$ round up = 3	3 (≤ 2 urinals; ≥ 1 WC)
Water Closets (Women)	1 per 40 ($\leq 1,500$)	$200 \div 40 = 5$	5
Lavatories	1 per 200 (per sex)	$200 \div 200 = 1$ each	1 Men, 1 Women
Drinking Fountains / Bottle Fillers	1 per 1,000 ($\leq 50\%$ may be dispensers)	$400 \div 1,000 = 0.4 \rightarrow 1$	1
Service Sink	1 per facility	—	1
Family/Assisted-Use Toilet (recommended)	Optional under 6 total WCs	—	Recommendation (1)

4) Wind / Structural (FBC-B Ch.16, ASCE 7-22)

Risk Category III. Determine site-specific Vult using the ASCE Hazard Tool and document on drawings with Exposure Category, Kd, Kzt, topography, enclosure, and component & cladding zones. Given the small fetch and surrounding tree/building cover at Lake DeFuniak, Exposure B is likely but must be verified. All open structures (stage roofs, canopies, bleachers) require full ASCE 7-22 wind design. ASCE 7-22 tornado load provisions apply for Risk Category III structures statewide.

5) Lake / Flood / Local Coordination

Lake DeFuniak is an inland spring-fed lake (not a Coastal Dune Lake). Coordinate with the City of DeFuniak Springs Land Development Regulations and Development Technical Manual for shoreline setbacks, stormwater, and park improvements. Check FEMA flood maps to determine if the amphitheater site lies within Zone AE; if so, design per FBC §1612 and ASCE 24 for flood-resistant construction and elevation.

6) Stormwater Management

New development projects are usually required to manage and treat the first inch of rainfall that falls on the project site. This project includes some existing paved areas that were built before current rules ("grandfathered" areas). The design team will meet with the Northwest Florida Water Management District (NFWFMD) on Wednesday, October 29, 2025, to confirm whether these existing areas can be treated as part of the current conditions, or if they must meet new redevelopment requirements. Stormwater from the new development is proposed to be captured and treated by an underground exfiltration system.

The project site is in a low-lying area with no natural outlet for very large storms (a "closed basin"). The team will also confirm with NFWFMD whether special rules for closed basins will apply, since the applicant owns the nearby receiving water body and the basin is fully contained.

Normally, new developments must control the speed and volume of stormwater leaving the site to prevent flooding downstream. Because the City of DeFuniak Springs owns the receiving water body and it is large enough to handle any additional runoff without problems, the design team is requesting permission to waive this requirement.

If NFWFMD staff do not agree, the project will need to provide additional stormwater control, which may require more storage than the planned underground exfiltration system.

WE RESEARCHED

LAKE YARD AMPHITHEATER

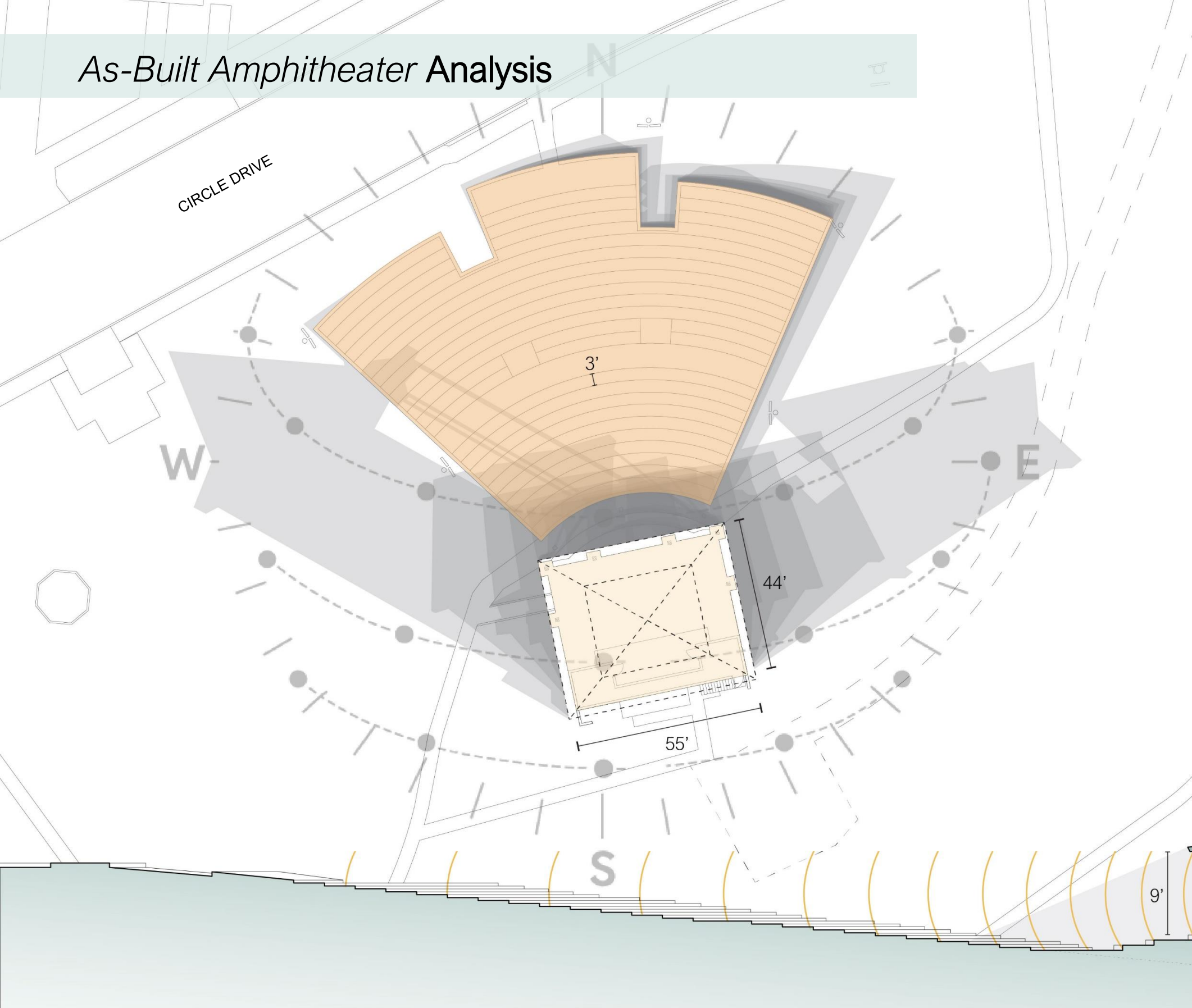
DEFUNIACK SPRINGS, FL

CONCEPT ANALYSIS

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As-Built Amphitheater Analysis



The Stage

How big is it? **55' x 44'**
2,148 SF

How tall is it? **9' under roof**

The Seating

What type is it? *Radiused Row*

Fixed vs. lawn ratio? *0 designated lawn seating, fully fixed seating.*

Current seating area? **9,768 SF**

Current seat count? *Approximately 1,133 - 1,510 assuming 6' to 8' of area per person.*

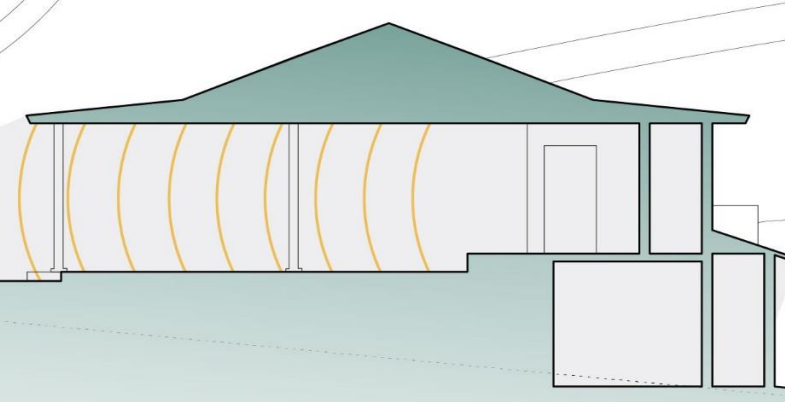
The Services

How big are the bathrooms? *11' 6" x 9' 10"*
110 SF each

How big are the stage buildings? *12' 10" x 11' 8"*
147 SF each

The Shading

The shading consists of natural tree shading dispersed around the site with the main shade produced by the amphitheater roof.



WE RESEARCHED

LAKE YARD AMPHITHEATER

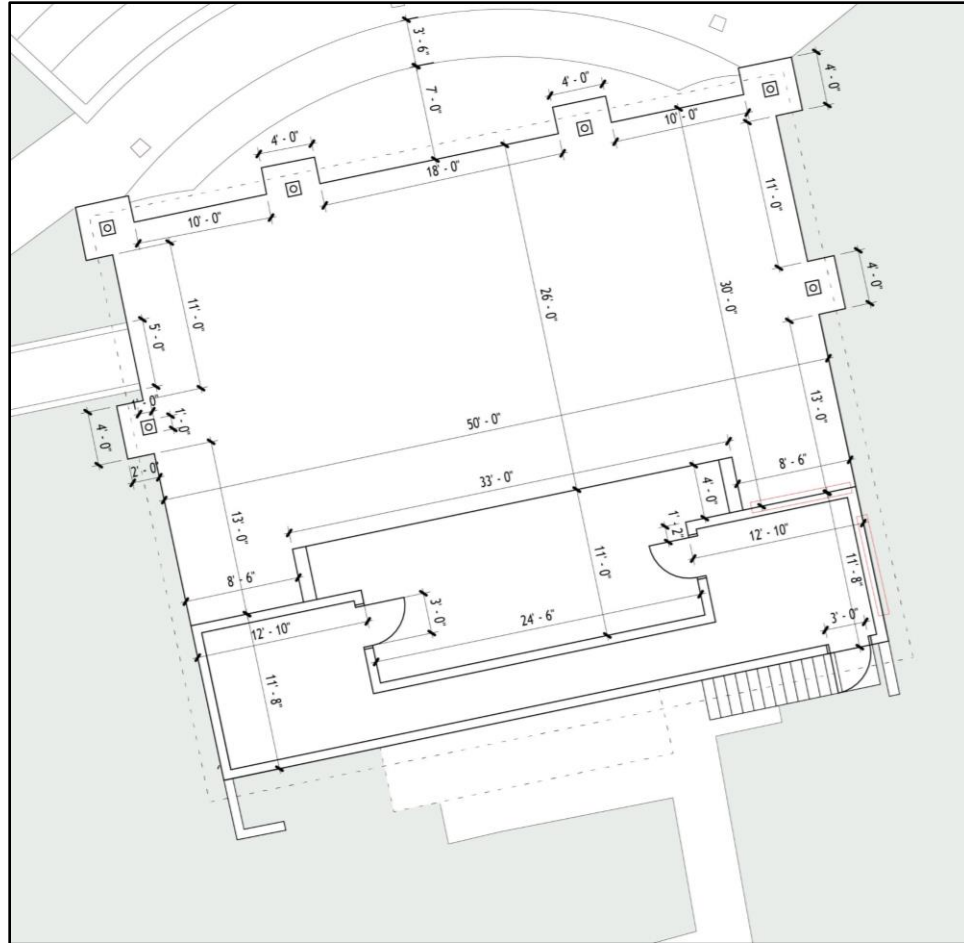
DEFUNIAK SPRINGS, FL

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29 OCTOBER 2025

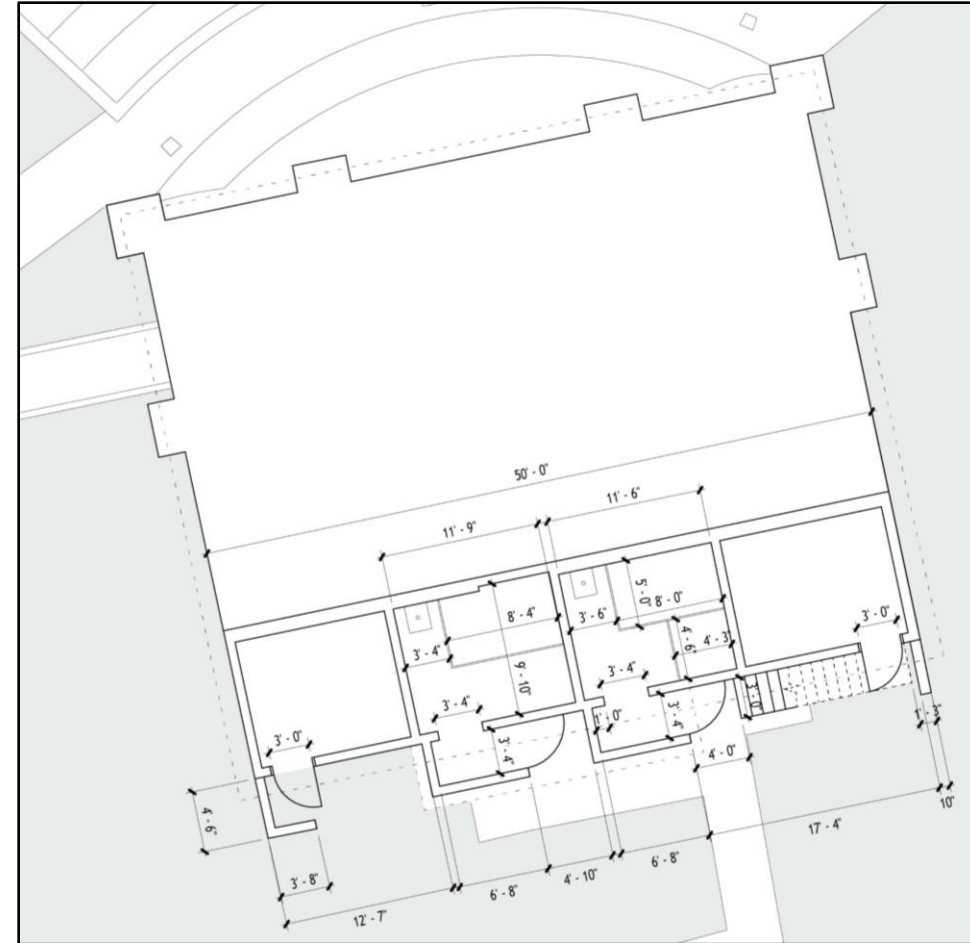
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Stage Level



Lower Stage – 1,368 SF
Upper Stage – 776 SF
Support Rooms - 147 SF each
Connecting Walkway – 98 SF

Bathroom Level



Bathrooms – 110 SF each
Storage Rooms – 128 SF each

WE RESEARCHED

LAKE YARD AMPHITHEATER

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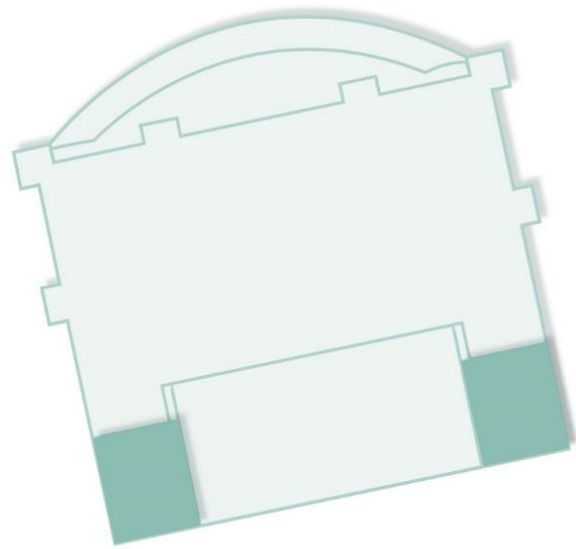
We propose.

WE PROPOSE

LAKE YARD AMPHITHEATER

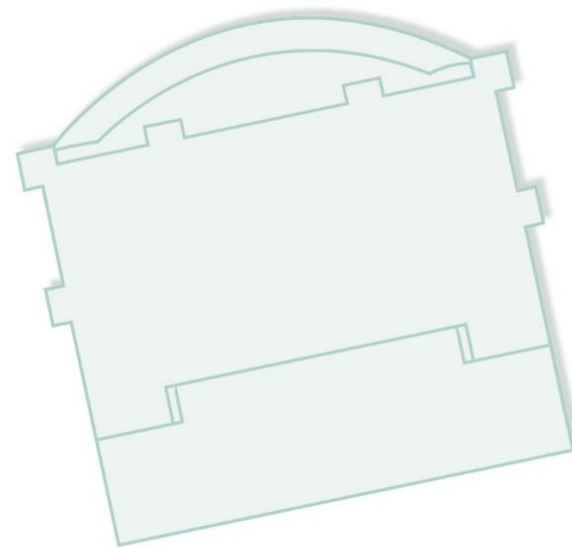
DEFUNIAK SPRINGS, FL

Saddle Bags Remain



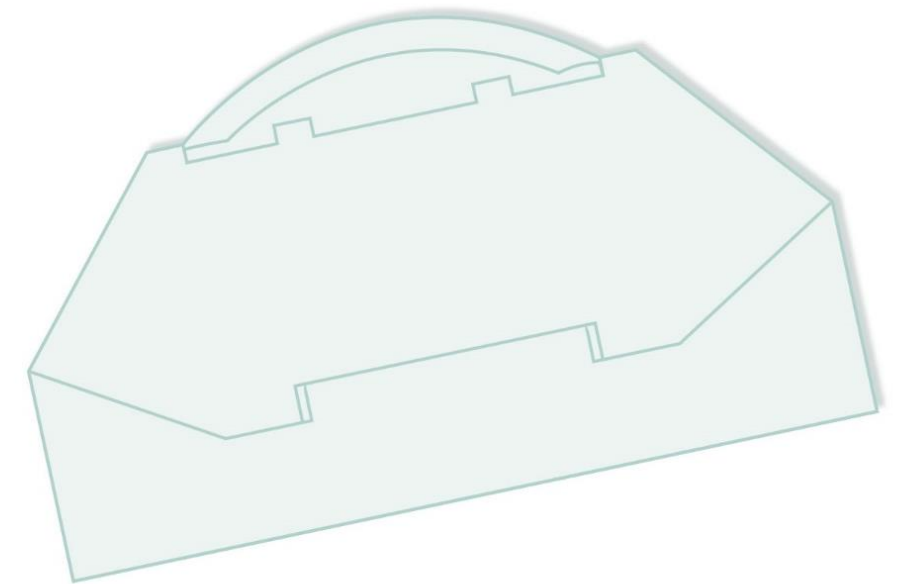
This option keeps the existing side enclosures, maintaining storage and utility areas but limiting stage visibility and flexibility. The enclosed sides create visual barriers and restrict natural airflow across the performance zone.

Clear



Removing the side enclosures opens sightlines and improves cross ventilation, enhancing audience engagement and comfort. However, it reduces enclosed space for backstage functions and equipment storage.

Enlarged



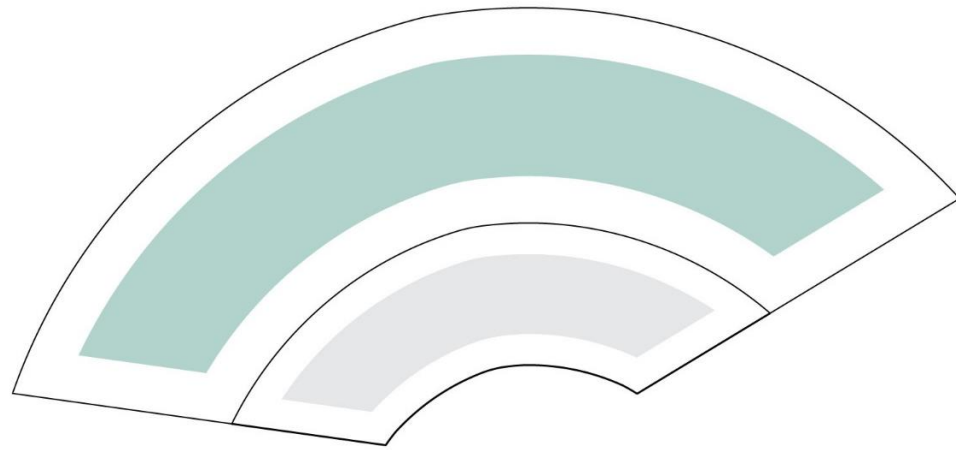
Expanding the stage footprint increases performance flexibility and accommodates larger acts or community events. The tradeoff is a greater structural footprint and reduced surrounding open space for circulation.

WE PROPOSE

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Fixed Front, Lawn Back



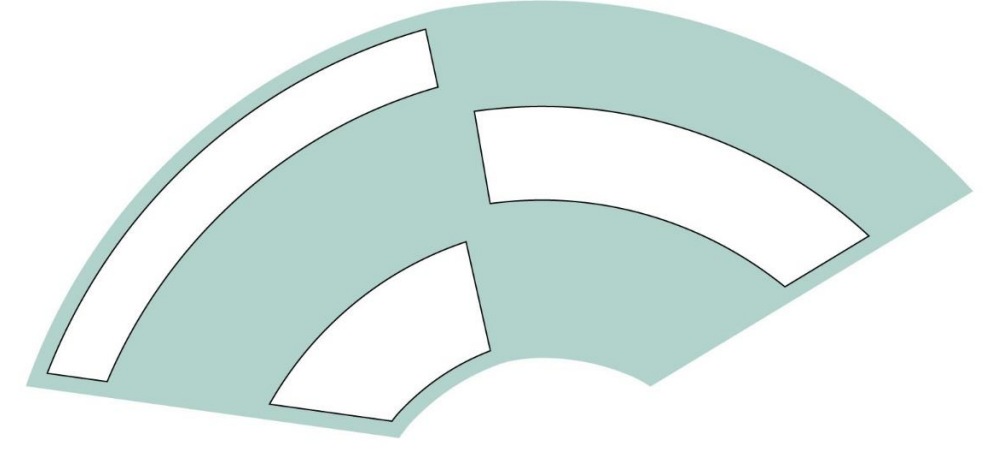
Flex Lawn Seating = 4113 SF
Fixed Seating = 1307 SF

Fixed Back, Lawn Front



Flex Lawn Seating = 2724 SF
Fixed Seating = 2812 SF

Dispersed Fixed and Lawn

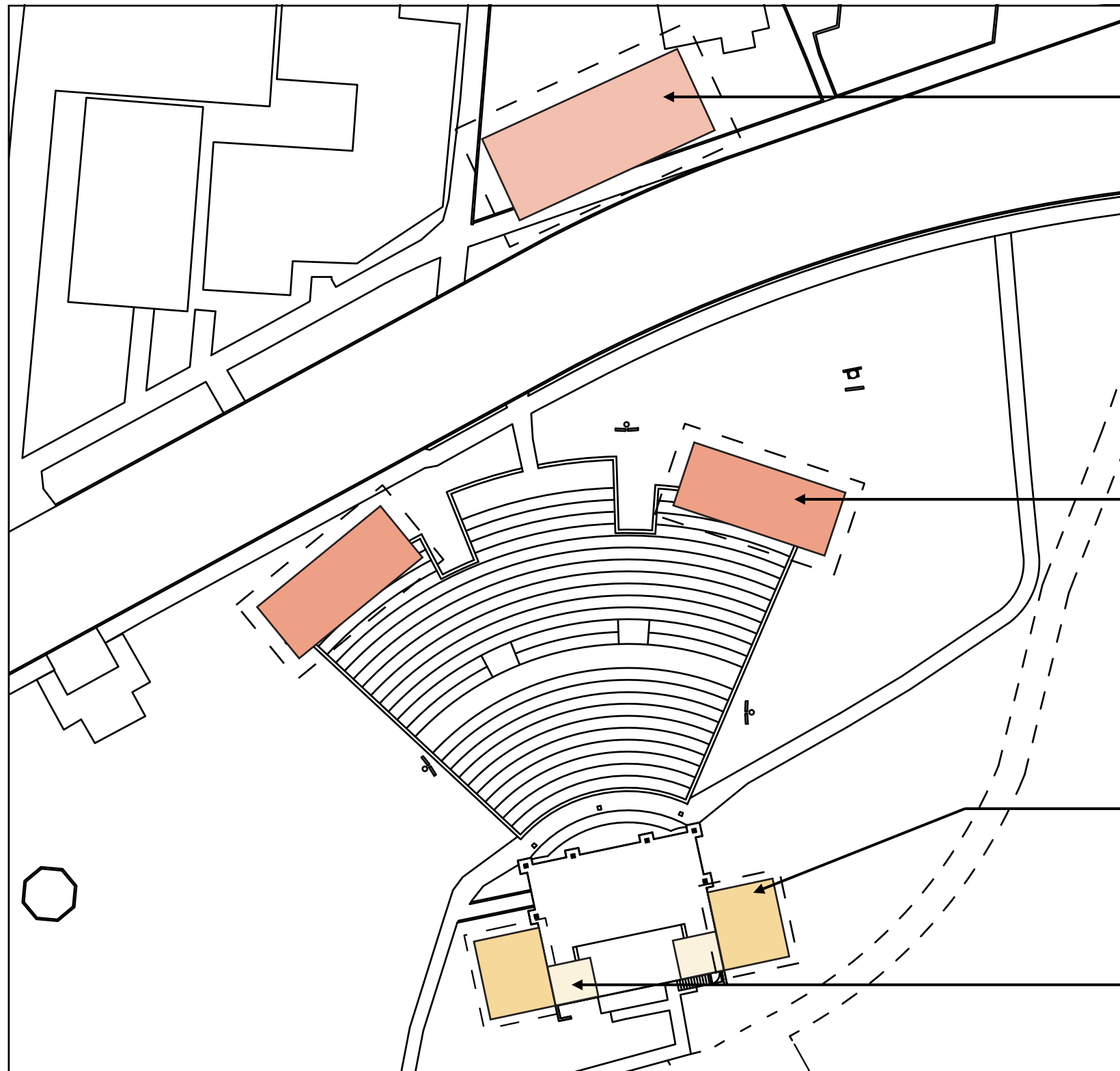


Flex Lawn Seating = 7415 SF
Fixed Seating = 3573 SF

WE PROPOSE

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL



Move to other side of road

Separates service functions from the event area, reducing noise but increasing distance and access issues. Least efficient for operations.

Move to the top of the hill next to the road

Improves visibility and access while keeping services out of view. Requires added infrastructure and grading.

Remove and rebuild to the sides

Keeps services close and clears the central view toward the stage. Slightly impacts circulation on the edges.

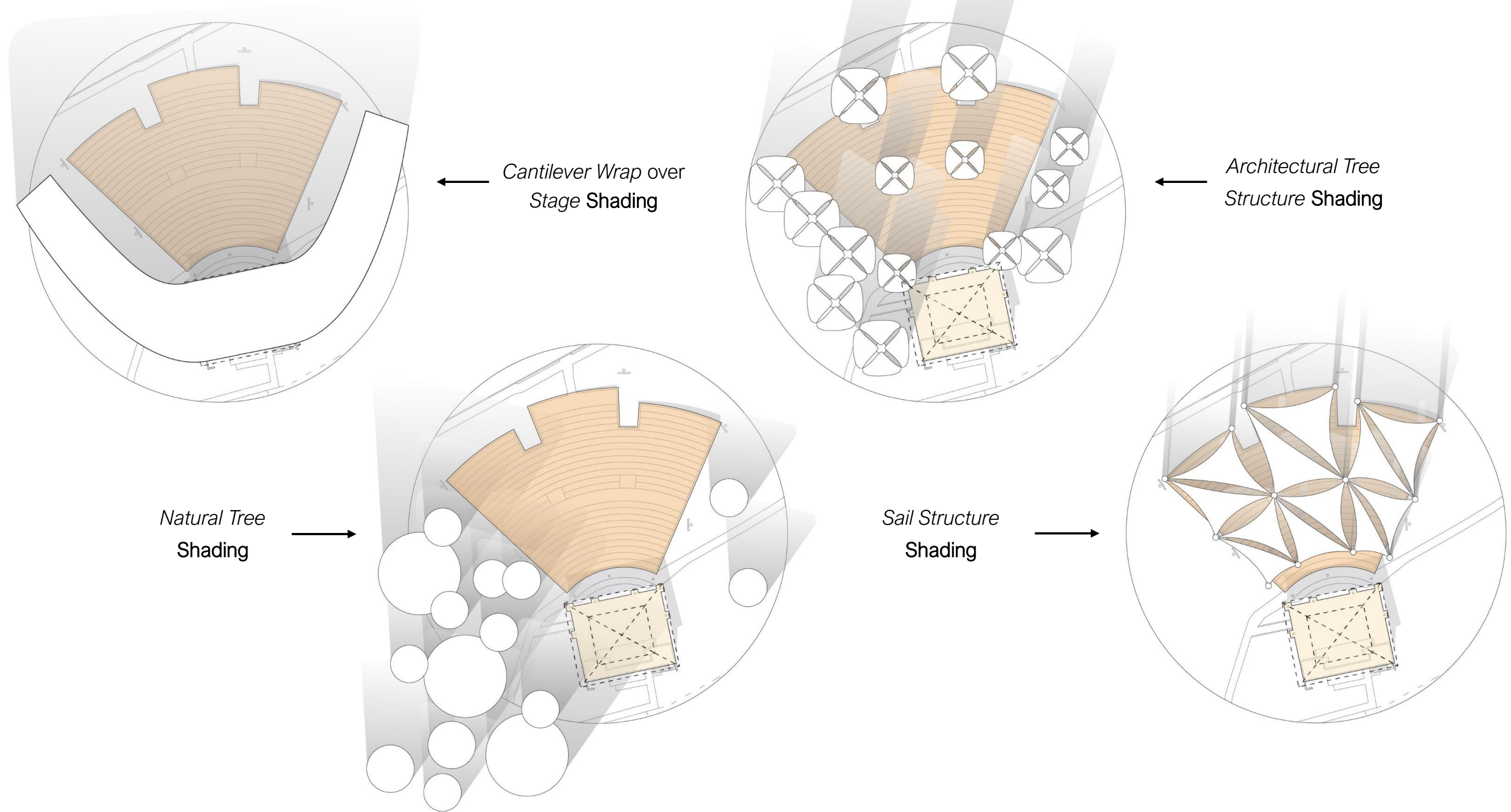
Leave on stage

Provides direct performer access but reduces stage area. Creates visual and functional clutter.

WE PROPOSE

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

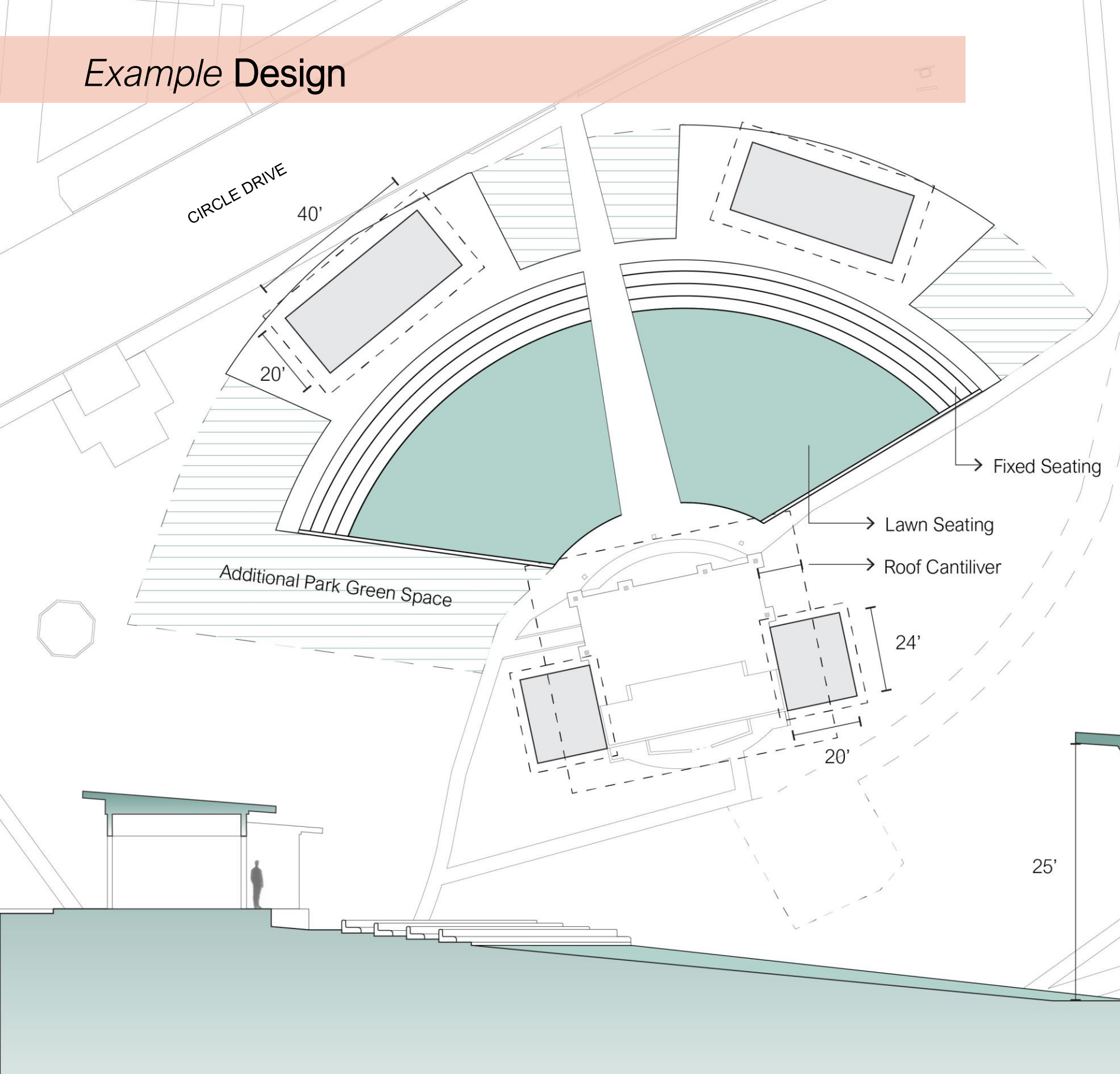


WE PROPOSE

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Example Design



The Stage

How big is it?	55' x 44'
Area Covered by Roof?	2,148 SF
How tall is it?	25' at the front, 20' at the back

The Seating

What type is it?	Radiused Row
Fixed vs. lawn ratio?	37.6% fixed seating to 62.4% lawn
Fixed Seating area?	3,734 SF
Lawn Seating area?	6,202 SF
Seating count?	Approximately 467-622 fixed seats at 6' to 8' area per person, 517-620 lawn seating at 10' to 12' area per person. 984-1,243 possible seating count.

The Services

Existing facilities removed from stage and re-built to the left and right backside of stage or services moved to back of seating area next to Circle Dr.	
How big are they?	Next to Stage: 20' x 24' at 480 SF each Next to Circle Drive: 20' x 40' at 800 SF each

The Shade

Suggested Shading:	Canteliever roof system over stage with dispersed natural tree landscaping to the SW.
--------------------	---------------------------------------------------------------------------------------

WE PROPOSE

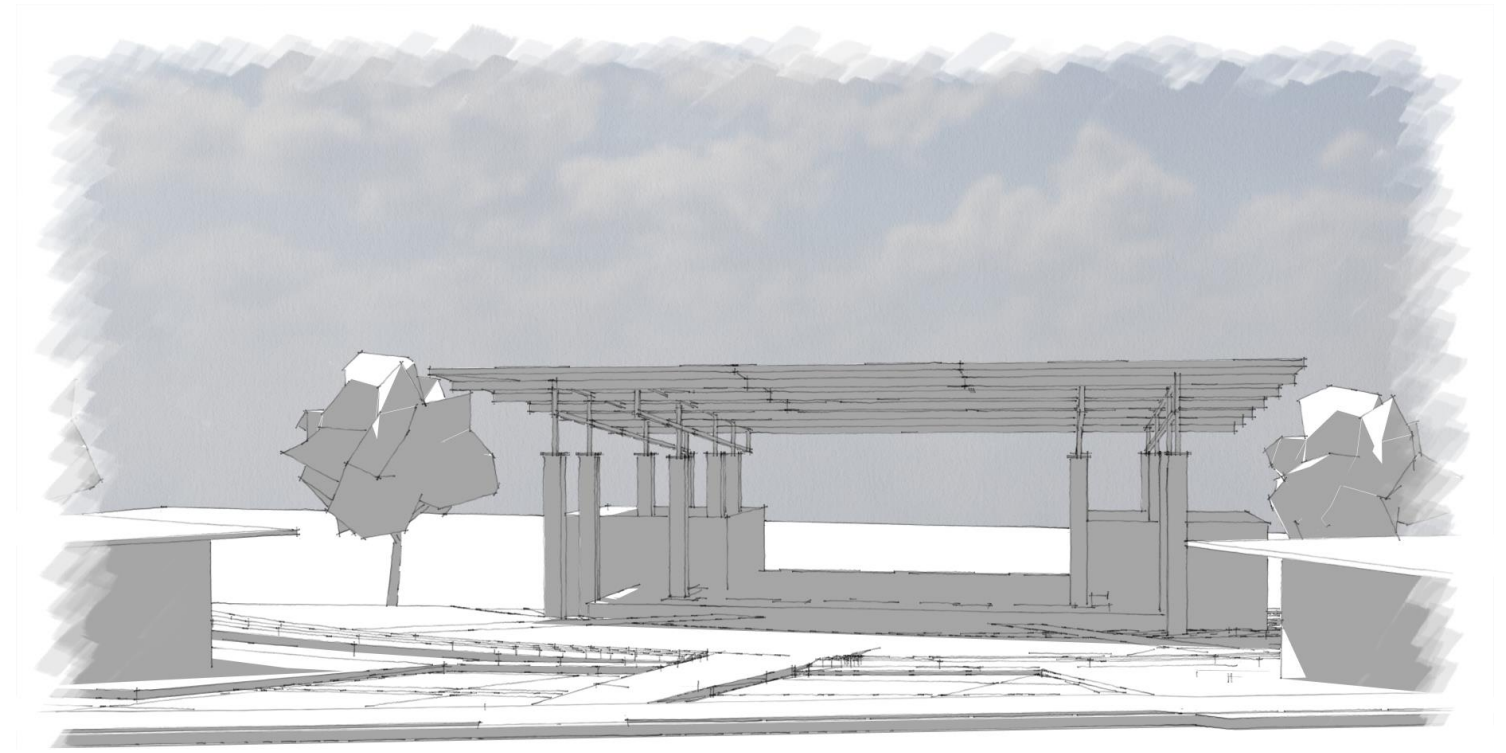
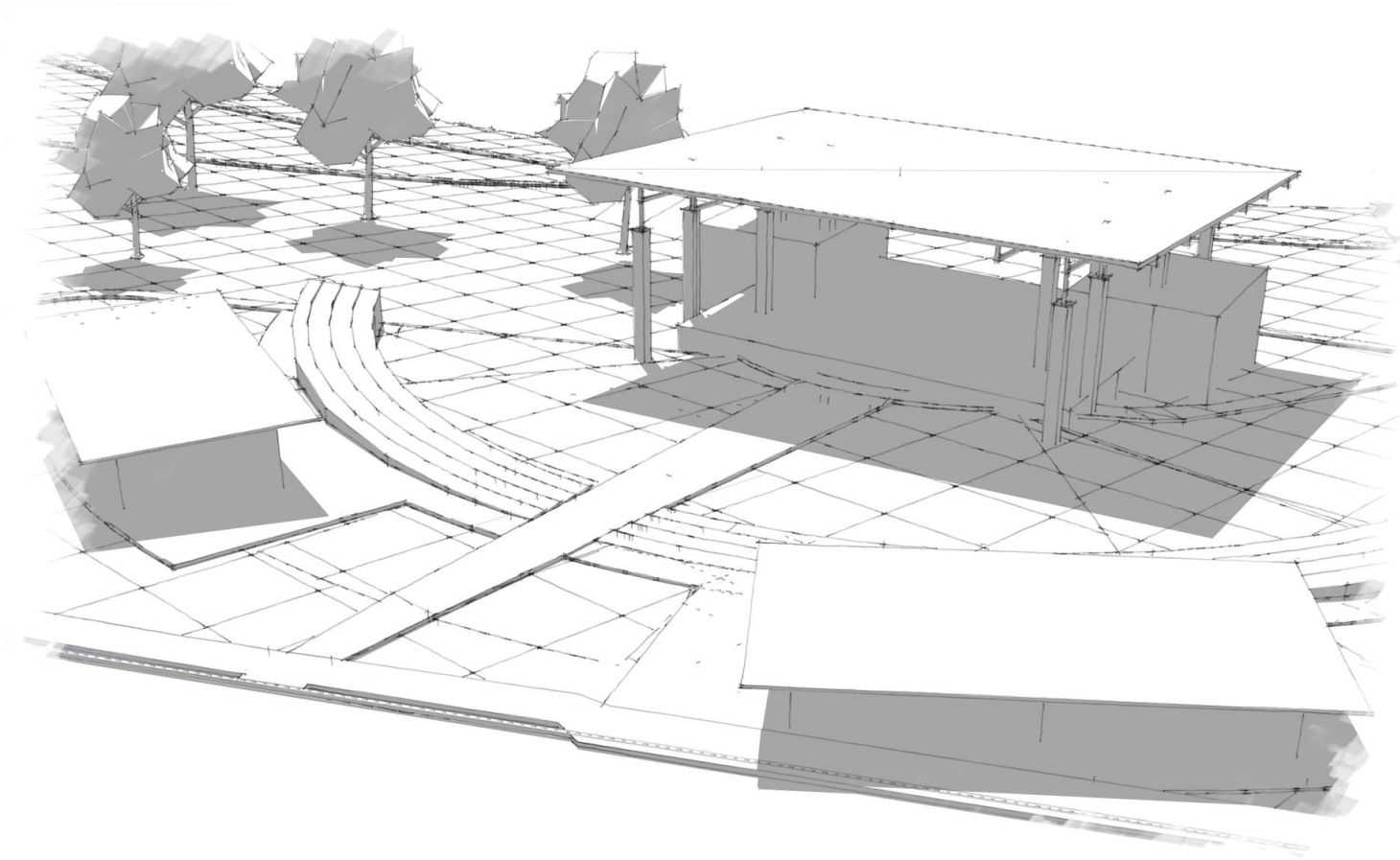
LAKE YARD AMPHITHEATER

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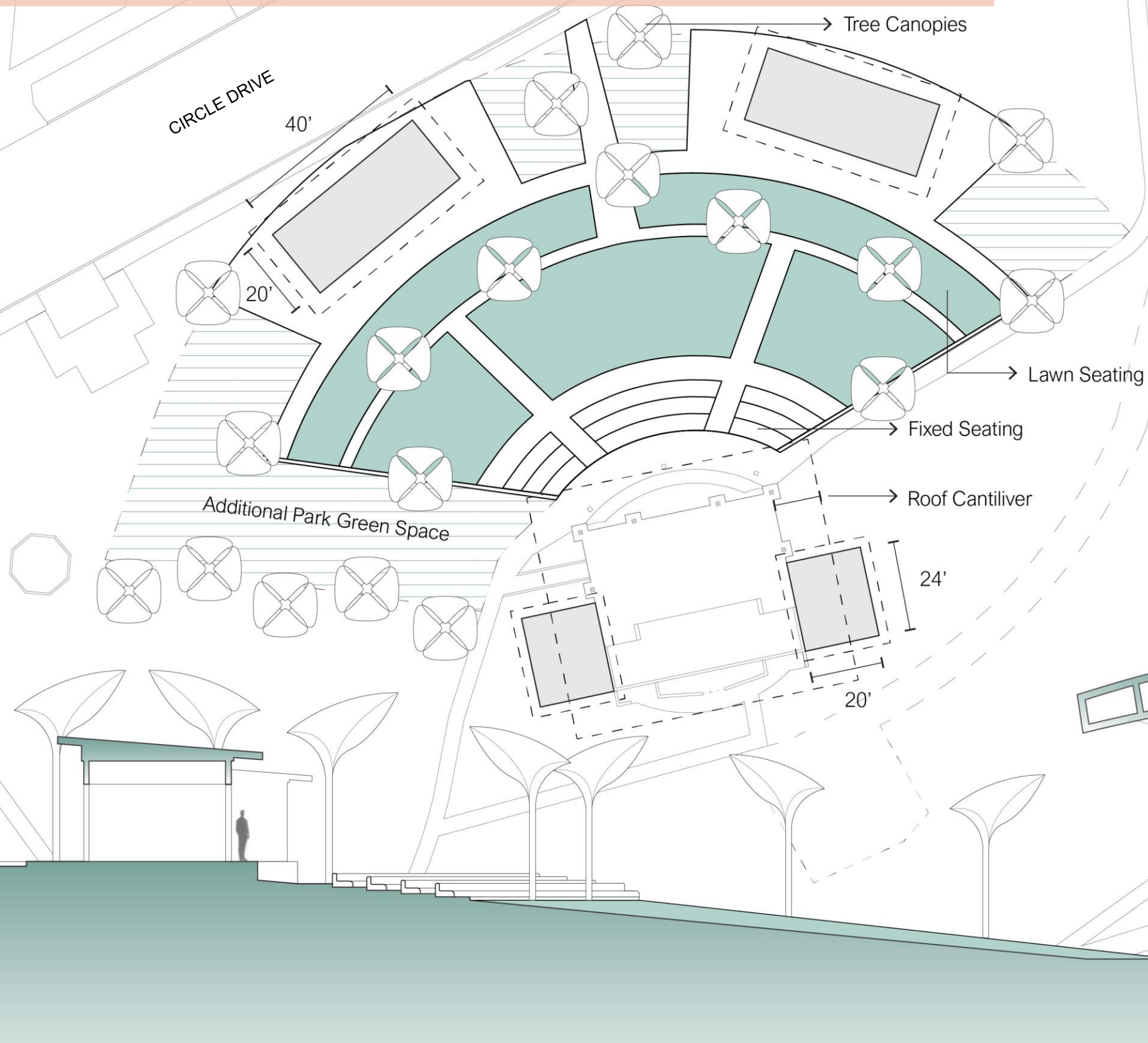


WE PROPOSE

LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

Example Design



The Stage

How big is it? 55' x 44'
 2,148 SF
 Area Covered by Roof? 4,655 SF
 How tall is it? 25' at the front, 20' at the back

The Seating

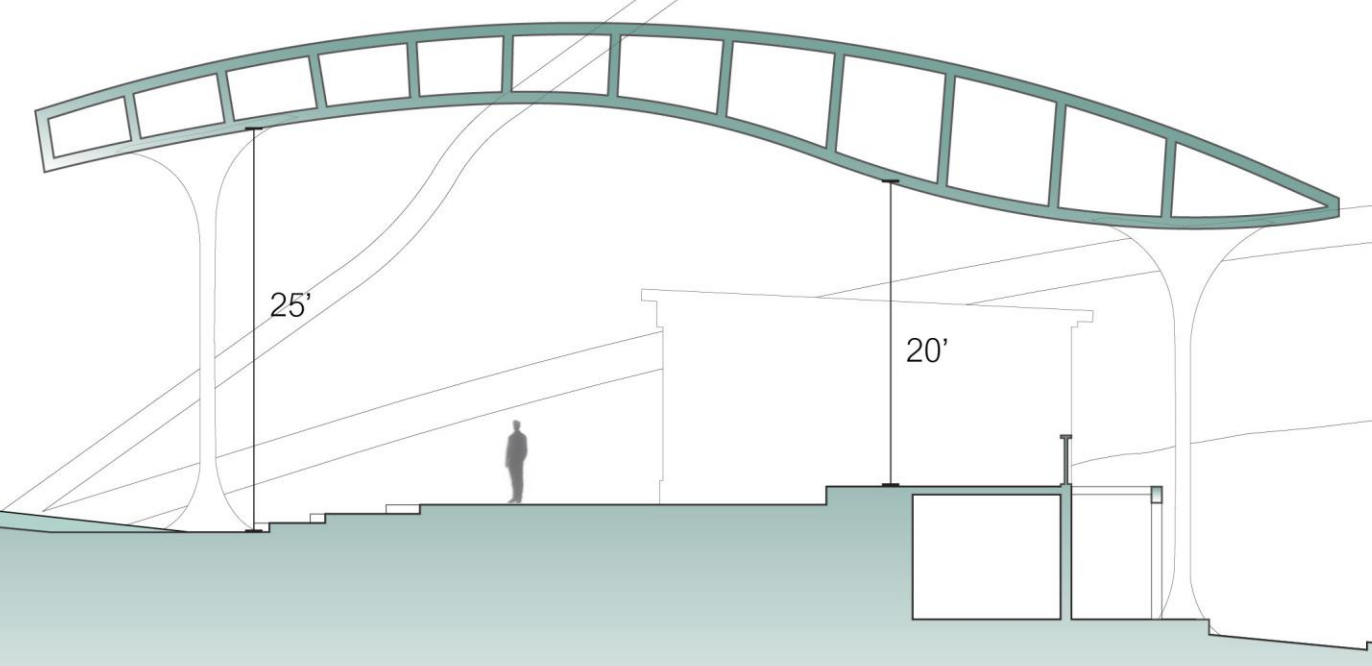
What type is it? Radiused Row
 Fixed vs. lawn ratio? 17% fixed seating to 83% lawn
 Fixed Seating area? 1,412 SF
 Lawn Seating area? 6,754 SF
 Seating count? Approximately 175-235 fixed seats at 6' to 8' area per person, 450-675 lawn seating at 10' to 12' area per person. 625-910 possible seating count.

The Services

Existing facilities removed from stage and re-built to the left and right backside of stage **or** services moved to back of seating area next to Circle Dr.
 How big are they? Next to Stage: 20' x 24' at 480 SF each
 Next to Circle Drive: 20' x 40' at 800 SF each

The Shade

Suggested Shading: Canteliever roof system over stage with dispersed architectural shading trees in key areas of seating.



WE PROPOSE

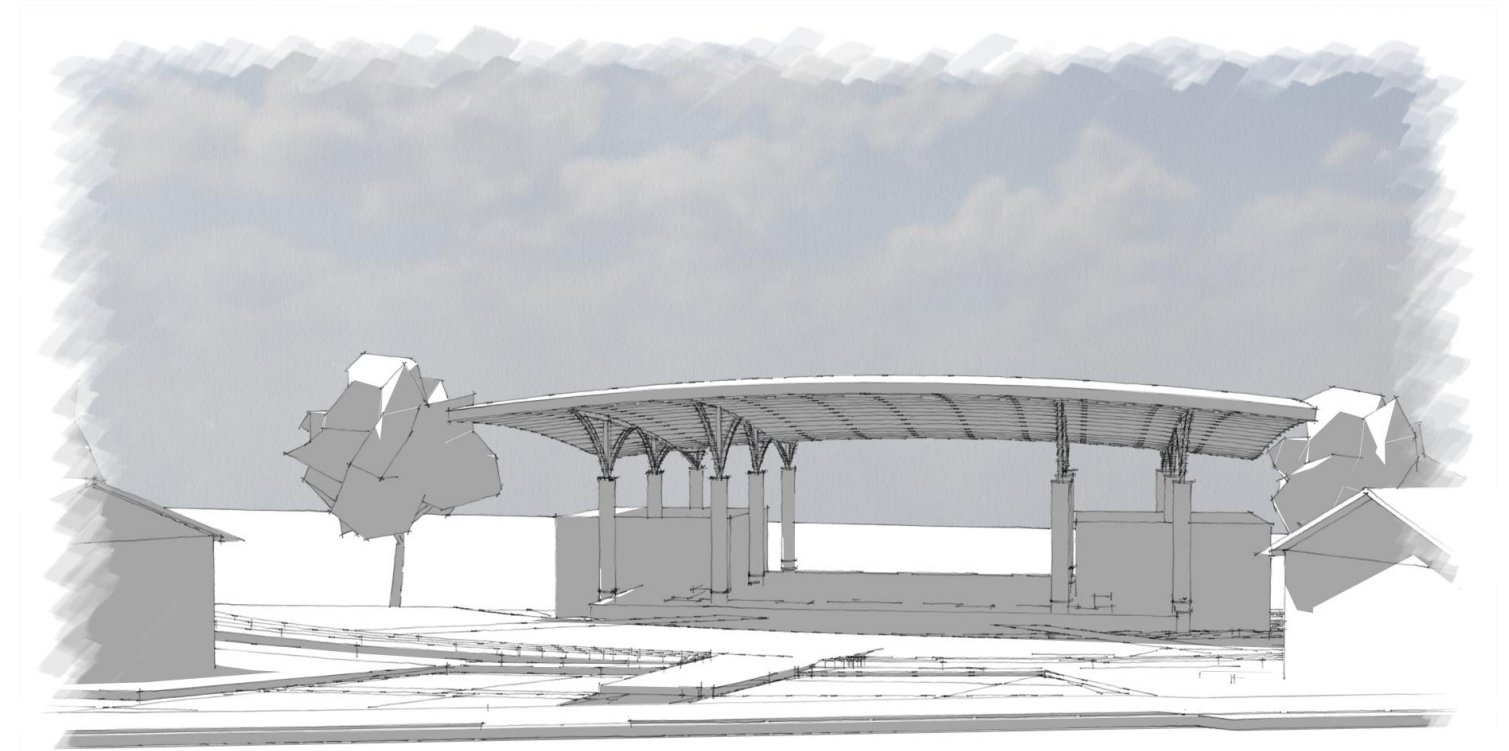
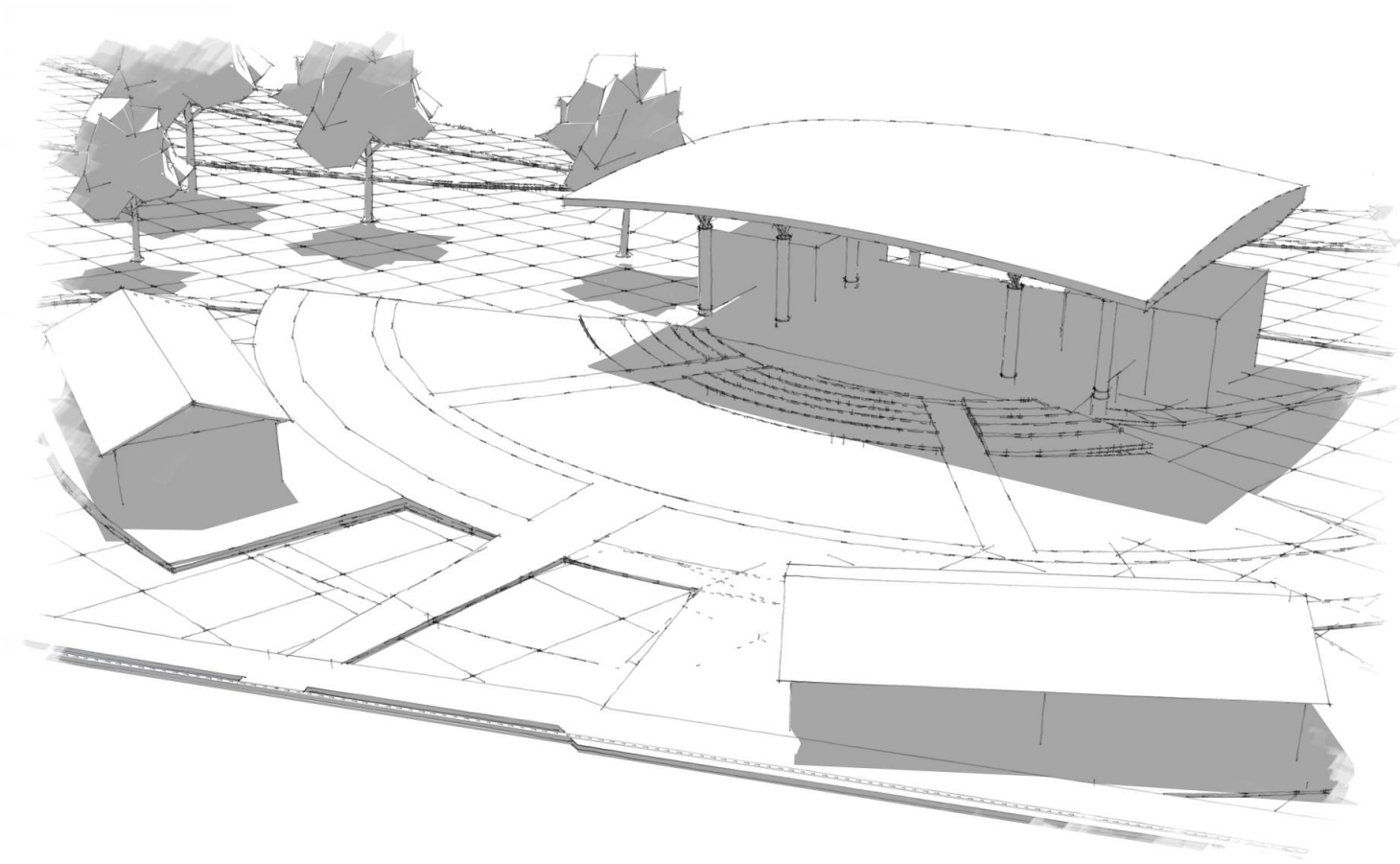
LAKE YARD AMPHITHEATER

DEFUNIAK SPRINGS, FL

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WE PROPOSE

LAKE YARD AMPHITHEATER

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Next Steps

Meeting with Building Department

November

Meeting with Water Management

November

Meeting with Public

November 13th

Meeting with CRA

November 19th

Meeting with City Council

December 8th

Conclusion of Phase 1

CONCLUSION

LAKE YARD AMPHITHEATER

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Comment Response Matrix

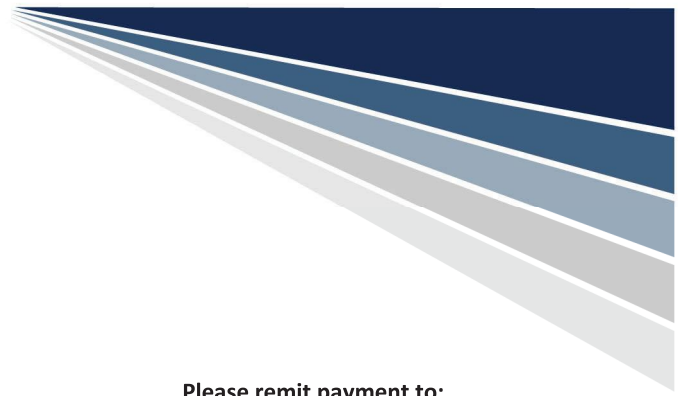
Document Title	DeFuniak Springs Historic Districts Design Standards – 1st Draft	Preparer	JMT
Document Date	June 9, 2025	Organization	CRA

Item No.	Comment / Recommended Solution	How Addressed (or why not addressed)
1	The first draft is too long. Confusion on why there are three separate documents as there is a lot of repetitive information.	The second draft is one document that pertains to all of the historic districts.
2	Current levels of appropriateness (Appropriate, May Be Appropriate, and Not Acceptable) are too restricting. New verbiage should be chosen that better reflects DFS. Example: Desirable, Less Desirable, Least Desirable	Levels of appropriateness categories removed and instead “Best Practice” boxes were added. The information in these boxes is based on the former categories but is more concise.
3	General inconsistency with verbiage “shall”, “shall not”, “may not”, etc.	Verbiage throughout reviewed for consistency.
	Remove links throughout the document so they do not need to be updated over time.	Most links were removed with a few deemed more necessary remaining.
4	Preference for simpler, more form-based standards that include more diagrams that can be easily circled by property owners.	Standards streamlined and more visual diagrams have been included so that a property owner can easily understand and circle what pertains to their project.
5	Clarity is needed on whether the standards cover both exterior and interior alterations or just exterior alterations.	Standards clarified that they only address exterior alterations (elevator tower additions would be exterior construction).
6	Restoration is less common in DFS, maybe focus more on rehabilitation and emphasizing that grandfathered-in previous alterations do not need to be changed.	Verbiage pertaining to restoration removed and clarification made that these standards pertain to future alterations.

Item No.	Comment / Recommended Solution	How Addressed (or why not addressed)
	Emphasize that these standards are not asking everyone to restore their historic properties, just reference the standards for new alterations.	
7	Concerns over the inclusion of the Secretary of the Interior's Standards for Rehabilitation before the standards as these are very restricting.	SOI Standards for Rehabilitation removed from this chapter and placed within a section on financial incentives as they pertain to any project looking to take advantage of federal incentives.
8	The Downtown Business District is not an overlay. This should be clarified throughout the standards.	Clarified.
9	Clarification needed on the difference between the NPS and the local boundaries of the DFS Historic District.	<p>Presently the design standards reflect the local district boundaries as the authority to create design standards is given through the creation of a historic preservation-zoning ordinance. Clarity has been made when identifying both the national and locally designated districts as well as clarifying in the new financial incentives section that federal tax credits only apply to individually listed properties or contributing properties to a nationally designated historic district. A map of the national boundaries has been added to the appendices.</p> <p>The easiest way to make the local and national district boundaries the same would be for the city to amend their local district. There is potential for the NPS boundaries to be amended but this would involve a new survey and extensive work with the SHPO that could result in some properties no longer being considered contributing to the district due to incompatible alterations.</p>
10	Focus on continuity of buildings within the commercial corridor to tie the buildings together. Recommends establishing a color palette of white, subtle teal, natural brick, off white, earthy colors and black accents for streetscape elements and awnings.	Verbiage pertaining to continuity within the commercial corridor and recommended color palettes included throughout the standards.
11	Include more information on historic incentives.	A new section on the financial incentives of historic preservation has been added to the first chapter.
12	Is the inclusion of the history of the city and information	We believe that this information is necessary as it is the reason

Item No.	Comment / Recommended Solution	How Addressed (or why not addressed)
	concerning the districts necessary?	why these standards are being developed. This information is also only a few pages long.
13	Focus on defining the difference between contributing and non-contributing buildings, should these have defined different standards?	A new section has been added addressing the difference between contributing and non-contributing resources and how they should be considered in the standards.
14	The inclusion of detailed procedures and regulatory-style language in Chapter 3 may be perceived as overly prescriptive, particularly since this document is still in draft form.	This information has been removed from this draft and information about the Planning Department has been moved to the Appendix.
15	Remove all the maintenance verbiage from the standards, including “maintain” (paint doors, etc.).	All maintenance verbiage has been removed.
16	Include “Best Practice” boxes – advisory types of paint on bricks, etc.	“Best Practice” and “Advisory” boxes have been included.
17	There are too many unrealistic materials restrictions throughout the standards. Focus should be on elements such as window profiles and proportions over materials. This should be the standard throughout the document.	Standards edited to emphasize appropriate proportions, profiles, textures, etc. when using substitute materials.
18	More emphasis on setbacks.	A new section on Frontage Types has been included to address setbacks within the Streetscape section.
19	Addition of more fencing diagrams including location of fences and heights.	Additional fencing diagrams have been added.
20	Show examples of a public and residential streetscape that includes streetlamps, sidewalks, trees, etc.	Typical public and residential streetscape diagrams have been added.
21	Remove mentions of buffers in landscaping section.	Buffers removed from the Landscapes section.
22	More clarity in the signage section, no neon but allow lit, open signs.	Clarity and more diagrams added to the Signage section.
23	Is a section concerning ADA necessary?	We find it necessary in terms of addressing the visual components of ADA as the addition of ADA impacts the historic district.
24	Add section on how to make vinyl siding appropriate.	More clarity is given concerning vinyl siding and how to make contemporary siding materials appropriate through text, diagrams, and imagery.

Item No.	Comment / Recommended Solution	How Addressed (or why not addressed)
25	More clarity on lighting in terms of style and scale.	Clarity given concerning appropriate style and scale in terms of exterior lighting through text and diagrams.
26	Remove energy conservation sections.	Removed.
27	The utilities section is not realistic.	Section simplified.
28	Appreciates the FAQ sheet in the Appendices. Recommends the potential creation of a small informational pamphlet as an introduction to the standards.	FAQ sheet removed from Appendices as its location does not seem ideal. The individual sheet will still be available to potentially be handed out separately to new homeowners in the historic districts if necessary. A small information pamphlet could be possible if that is something the city would appreciate.



October 1, 2025

DeFuniak Springs Community Redevelopment Agency
694 Baldwin Avenue
Suite 4A
DeFuniak Springs, FL 32435

Please remit payment to:
Johnson, Mirmiran & Thompson, Inc.
40 Wight Avenue
Hunt Valley, MD 21030

Attn:

Re: Professional Services for Historic District Design Standards
RFP 24-02-CRA
PO# 2025-00559

Invoice Number: 6-270113
Period Starting Date: 8/24/2025
Period Ending Date: 9/27/2025
JMT Project Number: 24-02821-001
Prepared By: McKnight Jr, Edward

We are hereby submitting our invoice for professional services, as per our Contract.

24-02821-001 - DeFuniak Springs Community Redevelopment Authority

<u>Name of Employee</u>	<u>Classification</u>	<u>Hourly Rate</u>	<u>Total Hours</u>	<u>Total</u>
Smith, Samantha	Architectural Historian	\$ 81.78	81.5	\$ 6,665.07
JMT Labor Total			81.5	\$ 6,665.07

TOTAL DUE THIS INVOICE **\$ 6,665.07**

Total Budget	\$	56,312.99
Amount This Invoice	\$	6,665.07
Previous Billed	\$	39,652.42
Billed To Date	\$	46,317.49
Budget Remaining	\$	9,995.50
Percent Invoiced		82.3%

"Certified that all invoicing is true and correct and payment has not yet been received."

Johnson, Mirmiran & Thompson, Inc.

Signed by: CAROLYN GIMBAL
Gimbal, Carolyn J
Project Manager

Federal ID No.: 52-0963531

Labor distribution report (Sales price)
from 8/24/2025 to 9/27/2025

Client: 10013276 DeFuniak Springs Community
 Redevelopment Agency
 Contract: 24-02821 Professional Services for Historic District
 Design Standards
 Project: 24-02821-001 DeFuniak Springs Community
 Redevelopment Authority

WBS Activity: 6 First Round of Edits

EE#	Name	Occupation	Sun	Mon	Tue	Wed	Thu	Fri	Sat	Total hours	Hourly rate	Total cost
07420	Smith, Samantha	Architectural Historian				8.00	4.00			12.00	81.78	981.36
	8/31/2025 - 9/6/2025					8.00	4.00			12.00	81.78	981.36
	9/7/2025 - 9/13/2025			4.00	4.00	8.00	8.00			24.00	81.78	1,962.72
	9/14/2025 - 9/20/2025					4.00	8.00	4.00		16.00	81.78	1,308.48
	9/21/2025 - 9/27/2025			5.00	8.00	3.00				16.00	81.78	1,308.48
Subtotal of Smith, Samantha, Architectural Historian										68.00		5,561.04
Subtotal of 6 First Round of Edits --										68.00		5,561.04

JMT

Date & Time: 10/24/2025 12:59:57 PM

Labor distribution report (Sales price)
from 8/24/2025 to 9/27/2025

Client: 10013276 DeFuniak Springs Community
 Redevelopment Agency
 Contract: 24-02821 Professional Services for Historic District
 Design Standards
 Project: 24-02821-001 DeFuniak Springs Community
 Redevelopment Authority
 WBS Activity: 7 Second Round of Edits

EE#	Name	Occupation	Sun	Mon	Tue	Wed	Thu	Fri	Sat	Total hours	Hourly rate	Total cost
07420	Smith, Samantha	Architectural Historian		3.50	2.00		8.00			13.50	81.78	1,104.03
	8/24/2025 - 8/30/2025			3.50	2.00		8.00			13.50	81.78	1,104.03
	Subtotal of Smith, Samantha, Architectural Historian									13.50		1,104.03
	Subtotal of 7 Second Round of Edits --									13.50		1,104.03
	Total									81.50		6,665.07

This certifies that the above is a true and correct labor report covering work performed on the project named

Signature of Consultant

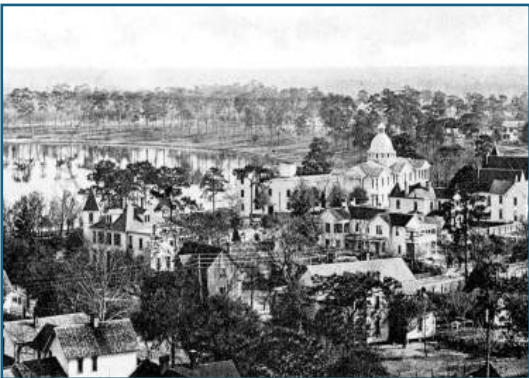
Signed by: CAROLYN GIMBAL
 Gimbal, Carolyn J

Date

DEFUNIAK SPRINGS HISTORIC DISTRICTS

DESIGN STANDARDS

A Handbook for the Preservation
of DeFuniak Springs' Historic Resources



DEFUNIAK SPRINGS HISTORIC DISTRICTS DESIGN STANDARDS

A Handbook for the Preservation
of DeFuniak Springs' Historic Resources

This document has been prepared for the City of DeFuniak Springs with the primary assistance of the DeFuniak Springs Community Redevelopment Agency, Community Redevelopment Agency Board, and City Council.

2025

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City of DeFuniak Springs Mayor

Robert "Bob" Campbell, Mayor

City of DeFuniak Springs City Council

Todd Bierbaum, Mayor Pro-Tempore & Council Member, Seat 1

Josh Sconiers, Council Member, Seat 2

Amy Heavilin, Council Member, Seat 3

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CHAPTER 1. INTRODUCTION TO HISTORIC PRESERVATION

1.1. PURPOSE OF DESIGN STANDARDS

The purpose of design standards and best practices for historic buildings is to promote the preservation of the historic character of the built environment while ensuring that new construction and additions are compatible with their historic surroundings.

These standards and best practices are intended to help property owners make appropriate decisions regarding exterior changes to historic buildings, regardless of whether they are officially listed in the Local or National Register of Historic Places or not. For properties individually listed or contributing to a historic district, the standards and recommended treatments in this document are based on the Secretary of Interior's Standards for the Treatment of Historic Properties and therefore will help inform the regulatory decisions made by the Planning Director in design review and permitting actions.

For properties that are not listed or are non-contributing to a historic district, these standards can be considered "guidelines" that property owners are encouraged but not mandated to follow. By voluntarily following the design standards and best practices detailed in this document, DeFuniak Springs residents and business owners can help ensure their decisions do not negatively impact surrounding properties or the overall character of the neighborhood and city.

The expectation of these design standards is not to require the restoration of any previous alterations that would no longer be appropriate but to focus on future exterior alterations.

a) Who Should Use This Document?

The DeFuniak Springs Planning Director and city staff will reference these standards to help make decisions on Certificate of Appropriateness (COA) applications as well as to advise property owners of historic buildings within the DeFuniak Springs historic districts on appropriate courses of action.

This document also serves as a manual for anyone planning to make exterior changes to a property within the City's historic districts. Applicants who consult this document and seek guidance from the staff at the Planning and Code Enforcement Department during the planning stages of their projects may be more assured that their proposals will comply with the City's Municipal Code and will be approved by the Planning Director.

b) How to Use This Document

This document should be used as a manual to evaluate the appropriateness of proposed work on the exterior of contributing and non-contributing buildings in the historic districts in DeFuniak Springs. Additionally, this document should serve as a manual to owners of historic properties as they plan and implement repairs, renovations, or new construction projects.

Chapter 1 introduces Historic Preservation, Design Standards, and information on the benefits and financial incentives of preservation for a community.

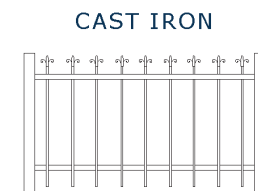
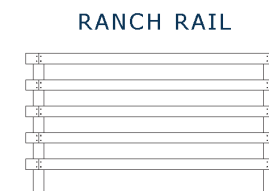
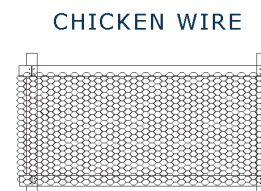
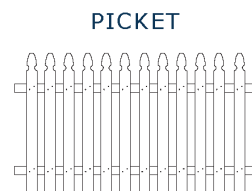
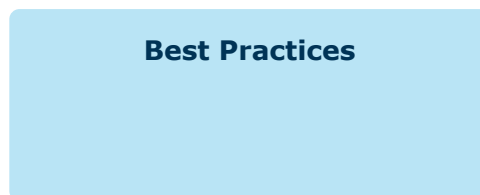
Chapter 2 contains background information on the history of DeFuniak Springs and an introduction to the City's National Register and Local Historic Districts as well as information on contributing vs. non-contributing property designation.

Chapter 3 presents an architectural style guide to determine the building type, architectural style, and associated features of a historic property.

Chapter 4 contains all design standards for planning a successful project within DeFuniak Springs, including exterior alterations, new construction, streetscape elements, and signage. Visuals, like the "Best Practices" box and fencing type diagram seen below, are included throughout this chapter. These visuals provide exterior work examples that a property owner can use as a framework to plan an exterior project on a property in one of the historic districts of DeFuniak Springs.

Chapter 5 provides standards for the demolition and relocation of structures and buildings within a historic district.

Chapter 6 includes guidance on replacement in-kind vs. substitute materials and variables to consider when deciding which approach is appropriate for an exterior project.



1.2. BENEFITS OF HISTORIC PRESERVATION

The preservation of historic buildings can play a role in the economic development of DeFuniak Springs by making it a more desirable place to live and work, and by encouraging place-making and place-keeping that can help draw in new visitors to the city. Besides preserving the outward historical appearance, historic preservation provides a number of social, economic, and environmental benefits.

a) Social and Economic

Historic resources are existing buildings, sites, and landscapes which are connected to a city's existing infrastructure. They were constructed with workmanship and materials which are often superior to new construction, including old growth lumber and forgotten construction techniques. As such, they typically have a longer lifespan (100 years +) when compared to new construction (30-40 years on average). Existing historic buildings are tied into existing infrastructure and utilize existing public investments including roads and sewers thereby reducing impact costs which apply to new construction. The rehabilitation of existing structures often compares very favorably to new construction for this reason.

Historic preservation can help to stimulate the local economy by providing jobs. Rehabilitation projects provide more local jobs as compared to new construction, as a larger percentage of the project cost is for labor. The same cannot typically be said of new construction due to the widespread and common use of prefabrication, which effectively outsources work from beyond the local economy. Additionally, historic districts tend to attract more retail businesses and restaurants due to their unique atmospheres and walkability. Attracting businesses to commercial heavy districts like the Downtown Business District results in an increase in employment opportunities at a local level.

Studies have consistently shown that communities with preserved or revitalized historic neighborhoods have higher property values which prove more stable



Figure 1: The revitalization of historic downtown buildings can act as a major draw for entertainment and activity.



Figure 2: Restoration aligns with sustainable practices by reusing existing structures, minimizing waste, and conserving resources. (Source: BrandTouch).

over time. Such neighborhoods improve the local municipal tax base and are indicators of a healthy community which can attract relocating existing businesses and new startups to the area.

Historic preservation is also closely linked to development investment and tourism. Well preserved historic buildings and districts set DeFuniak Springs apart from communities filled with new construction, which tend to lack “personality” or individual distinction. Heritage tourism attracts engaged visitors who seek local businesses for their travel needs and entertainment purposes. “Nearly all expenditures of tourists fall into five categories: lodging; food and beverage; local transportation; retail purchases; and entertainment/admissions/amusements” which are often directly linked to the small businesses of a town or city. Heritage tourism therefore stimulates the economy by encouraging localized spending.

b) Environmental

Historic preservation is inherently sustainable as it makes use of existing buildings and infrastructure to the greatest extent possible. Waste materials from demolition and construction projects comprise approximately 25% of the waste in American landfills. Historic buildings contain embodied energy, which is the energy associated with extracting, processing, manufacturing, transporting, and assembling building materials. Demolishing a historic building that could otherwise be utilized for a productive purpose wastes a significant amount of energy which had been in use for decades, while replacing it with new construction, often utilizing inferior materials, wastes even more energy.

Not only is the demolition of usable structures wasteful, but many historic resources feature unique regional energy saving features which can contribute to overall sustainability. Inherent energy efficient features in historic buildings can include operable windows, clerestories, skylights, interior courtyards, rooftop ventilators, cupolas, thick masonry walls, and other features that can provide natural light and ventilation and reduce the need for energy consumption using mechanical systems and electric lighting. In Florida, large



Figure 3: Restoring a historic railroad depot can revitalize a downtown area by creating a sense of community pride in its history, thereby improving the overall vitality of the area.

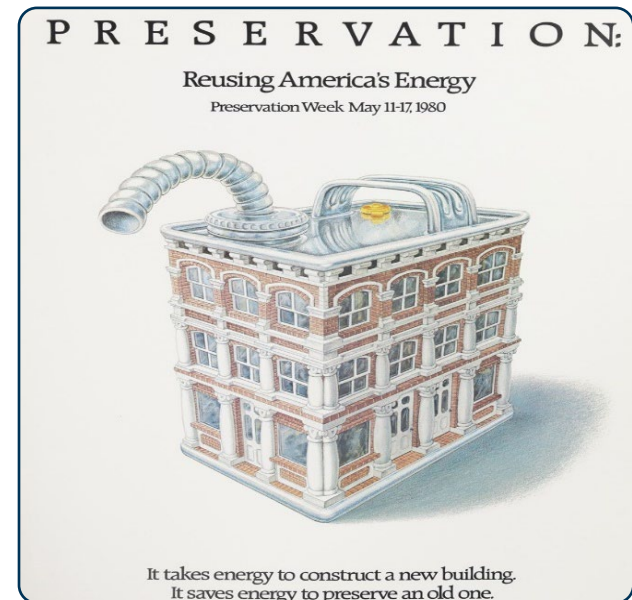


Figure 4: Historic preservation minimizes embodied energy by reusing existing buildings. (Source: National Trust for Historic Preservation, 1980).

operable windows-especially double hung sash, central hall plans, tall ceilings, and landscape features such as large shade trees were used to provide methods of cooling and reduce solar thermal gain. When necessary, existing historic buildings can also be retrofitted to increase energy efficiency.

The Research & Policy Lab of the National Trust for Historic Preservation conducted a study which demonstrated that when compared a historic building and a newly constructed “green gizmo” structure vary greatly in their environmental impact. One significant finding was that it takes 10-80 years of operating savings of a “green gizmo building to recoup the negative climate change impacts of the [building’s] construction. Almost every building typology in every region of the country demonstrated a better environmental outcome through adaptive reuse than with demolition and new construction.”

c) Other Benefits

In addition to social, economic, and environmental benefits, historic preservation helps a community to maintain a distinct sense of place. The preservation of historic buildings and districts helps to maintain a physical connection to community heritage and promote heritage tourism, attracting visitors and recreational activities to the area. Urban revitalization is also linked to the retention of historic buildings in downtown areas as these rehabilitated spaces attract more businesses and restaurants resulting in increased foot-traffic.

Preservation of the historic character of a neighborhood or district promotes beauty and can improve the overall quality of life for its inhabitants. Historic districts encourage better quality design for new buildings, additions, and renovations. Living and/or working in an attractive environment can provide psychological benefits to residents.

1.3. HISTORIC PRESERVATION FINANCIAL INCENTIVES

a) Historic Rehabilitation Tax Credit Program

Exercising preservation in accordance with the Secretary of the Interior’s Standards for Rehabilitation may have additional fiscal incentives including providing eligibility for historic tax credits. The federal historic tax credit program is administered by the National Park Service (NPS) and the State Historic Preservation Offices (SHPOs) and provides a 20% tax credit for income producing properties which are determined to be a “certified historic structure” (a property that is listed in the National Register of Historic Places or eligible for listing, or contributing to a listed district as determined by the NPS). The tax credit process requires that all work be conducted in compliance with the Standards and inspected by the SHPO. For additional information and guidance on the HRTC, consult the [Florida Division of Historical Resources](#). DeFuniak Springs includes both a nationally designated and a locally designated historic district—each named the DeFuniak Springs Historic District. To determine whether your property may qualify for the federal historic tax credit program, please refer to the boundaries of the nationally designated district, which are provided in [Appendix C](#).

b) Property Tax Exemption for Historic Properties

The State of Florida enacted legislation in 1997 which allows counties and municipalities to adopt ordinances which create property tax exemptions. The statute allows local governments to provide an exemption for up to 100% of the increase in assessed improvements. The tax exemption may remain in effect for up to 10 years. The exemption only applies to the portion of the property tax levied by the government who is granting the exemption. For example, if the City of DeFuniak Springs offered a tax exemption, only the taxes due to the City will be exempt. The County and any Federal taxes would remain unaffected.

A rehabilitation or restoration project which may be eligible for the local tax exemption would result from an approved rehabilitation of a qualified historic property. Like the federal tax incentive program, approved rehabilitations must adhere to the Secretary of the Interior’s Standards. A qualifying historic property is a commercial or residential property which is:

- Listed in the NRHP,
- A contributing building in a NRHP listed district,
- A locally designated historic resource.

Additionally, to qualify for an exemption, the owner must place a covenant on the property for the term of the exemption. A covenant places restrictions on the alteration of a building to prevent loss or changes to work adhering to the Standards. The State of Florida does not offer any additional fiscal preservation incentives.

Applications for local property tax exemptions are reviewed either by the local preservation office if the local government is a Certified Local Government (CLG) or by the [Florida Division of Historic Resources](#) if the project is in a county or municipality that is not a CLG. DeFuniak Springs is not currently a CLG and so any future property tax exemptions would be reviewed by the Florida Division of Historic Resources.

c) Main Street America Program

Other programs which provide fiscal incentives include the Main Street America program which is administered by [Florida Main Street](#). The Florida Main Street is a program to encourage revitalization of downtown areas. The program supports certified Florida Main Street communities through the Main Street Historic Tourism and Revitalization Act (Florida House Bill 499 and Senate Bill 288) which provide a 20% rehabilitation tax credit for certified historic structures and a 30% tax credit for a certified historic structure within the official district boundaries of an active Florida Main Street community. Like the federal tax incentives, the rehabilitation must meet the Standards and be a certified historic structure. [Main Street DeFuniak Springs](#) is a recognized Florida Main Street community.

d) Community Redevelopment Agency Growth and Development Assistance Program

The Community Redevelopment Agency (CRA) is a local program that offers funding for qualified development and improvements to parcels within the CRA review area through the CRA Growth and Development Assistance Program, as approved by the CRA Board on November 30, 2022. The CRA currently offers the following six grants:

- Income-Based Hazardous Tree Removal Grant
- Income-Based Roofing Improvement Grant
- Residential Development Incentive Grant
- Residential Site and Building Improvement Grant
- Commercial Site and Building Improvement Grant
- Site Cleanup Grant

For further information visit the city's website or to schedule an appointment, please contact the Executive Director, at CRADirector@DeFuniakSprings.net.

All disbursements of grant funds are made following the completion and final inspection of the improvement project. Funds are appropriated annually in the CRA Budget and are available on a first come-first served basis. The program is subject to the availability of allocated funds in that CRA Budget.

1.4. THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES

The purpose of the Secretary of the Interior's Standards for the Treatment of Historic Properties (Department of Interior regulations, 36 CFR 68) is to provide guidance to historic building owners and building managers, preservation consultants, architects, contractors, and project reviewers prior to beginning work.

According to the Secretary of the Interior, there are four principal approaches to working with historic structures: **Restoration**, **Preservation**, **Rehabilitation**, and **Remodeling**. When a structure has not been maintained or has been altered by the removal or replacement of character-defining features, it is important to define which principal approach or combination of approaches should be applied to the structure.

The **Standards for Rehabilitation** (Department of Interior regulations, 36 CFR 67) are regulatory for the Historic Rehabilitation Tax Credit Program and are most often used by local historic district commissions nationwide. They are to be applied to specific rehabilitation projects, such as the federal historic tax credit program, in a reasonable manner, taking into consideration economic and technical feasibility. The standards are as follows:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual

qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



Figure 5: Streetscape along Circle Drive in the DeFuniak Springs Historic District, c. 1910.

CHAPTER 2. PRESERVATION IN DEFUNIAK SPRINGS

2.1. BRIEF HISTORY OF THE CITY OF DEFUNIAK SPRINGS

For thousands of years, the area today known as DeFuniak Springs and Walton County was inhabited by the Muscogee and Euchee native tribes. The earliest European contact in the area began between 1763 and 1783 when the future Walton County was part of the colony of British West Florida. British settlers became the first English-speaking people to permanently reside in the area at this time with most of the settlers, many of whom were either farmers or fishermen, residing in the southern portion of the county by the sea. Scottish settlers migrated from the backcountry of the Carolinas and settled in the general future DeFuniak Springs area.

On March 4, 1881, the Florida State Legislature incorporated the Pensacola and Atlantic Railroad (P&A) resulting in a survey team led by W. D. Chipley to set out from Pensacola to survey the route for the railroad. The survey team would then encounter what would become Lake DeFuniak with Chipley declaring the spot perfect for a town and marking the location as a future stop along the new railroad. The area was then officially named Lake DeFuniak after Frederick DeFuniak, the then president of the P&A, which had become a subsidiary of the Louisville and Nashville Railroad (L&N) in 1880.

Chipley, T. T. Wright, C. C. Banfill, W. J. Van Kirk, and a few others worked to turn the small stop along the tracks into a town, forming the Lake DeFuniak Land Company in 1885. They began to sell real estate and experimented with ways to attract people to the fledgling Heath and Hunting Resort they envisioned. Through a chance meeting while attending the Chautauqua Institution in New York in 1883, Van Kirk learned they were seeking a winter location to extend the program. After meeting with the leaders of Chautauqua and returning to Lake DeFuniak, the group decided this was the perfect draw to bring people to the new village. Chautauqua is an adult education and social movement in the United States that brought entertainment and culture for the



Figure 6: DeFuniak Springs Railroad depot, c. 1908 (Source: Florida Memory).



Figure 7: Lake DeFuniak, one of two spring-fed lakes in the world that is nearly perfectly round (Source: Florida Memory).

whole community, with speakers, teachers, musicians, showmen, preachers, and specialists of the day. The Chautauqua movement peaked in popularity in the late 19th and early 20th centuries.

In 1884 Florida Legislature approved the incorporation of the Florida Chautauqua Association and Lake DeFuniak officially opened its resort/campus in 1885 for a seasonal, multi-week event called the Florida Chautauqua Assembly. Its season of lectures, classes, and performances was based on the model of the New York Assembly and became known as the "Winter Assembly in the Land of Summer." Its buildings included a hotel, amphitheater, college building, residences, and auditorium. The Florida Chautauqua Association would operate in DeFuniak Springs (the town was renamed DeFuniak Springs in 1886) until 1936, holding its last annual Assembly in 1927.

DeFuniak Springs was also known as the educational center of the south during these early years with the Florida Teachers Association even being formed in the town in 1886. The State Normal School, a free college to educate teachers, was placed in DeFuniak Springs by the state in 1887 and operated in the town until 1905. McCormick University was also established in the town but only operated from 1886-1888, when its buildings were destroyed by a hurricane. Palmer College was then formed in 1907 and operated until 1936. DeFuniak Springs was also the home to DeFuniak Business College, a preparatory school for the Normal School, and the Thomas Industrial Institute.

After Chautauqua ended its run, DeFuniak continued to be a destination of choice for people seeking culture. Many of the same things that made DeFuniak Springs so popular in its early years are still found here today. A quiet friendly community, today it still hosts cultural events like the Florida Chautauqua Assembly, Florida Chautauqua Theater, Grit and Grace, various Arts and Crafts groups, and a sense of community unique to itself. The historic streetscape and buildings have changed very little over the years. Many of the homes built in early years, by visitors to the Florida Chautauqua who moved here from the north, along with businessmen of the time, still stand.

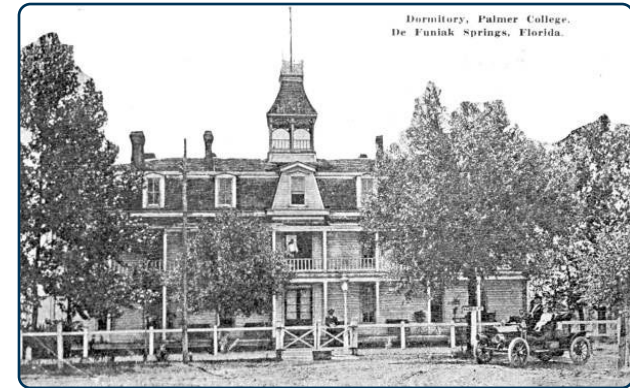


Figure 8: A dormitory for Palmer College, c. 1914 (Source: Florida Memory).



Figure 9: The Chautauqua Auditorium seen across the lake, c. 1937 (Source: Florida Memory).

2.2. NATIONAL REGISTER OF HISTORIC PLACES & LOCAL DESIGNATION: HISTORIC DISTRICTS & INDIVIDUALLY LISTED RESOURCES

The National Register of Historic Places (NRHP) is a list maintained by the National Park Service (NPS) which contains historical or archaeological properties including buildings, structures, sites, objects, and districts, that are considered worthy of preservation because of their local, statewide and/or national significance. Nominations for properties in Florida are submitted to the NPS through the Florida Department of State's Division of Historical Resources. Florida has over 1,700 listings on the NRHP, including 295 historic districts and 175 archaeological sites. There are more than 50,000 sites contributing to the NRHP in Florida.

Under federal law, owners of private property listed in the NRHP are free to maintain, manage, or dispose of their property as they choose, provided that there is no federal involvement. Local governments can adopt a historic preservation-zoning ordinance, which enables them to designate properties and districts of historical or architectural significance. Local designation provides protection of character-defining exterior features of a property. "Character-defining" pertains to those architectural materials and features of a building that define the historic nature of that building. Such features may include the form of the building, exterior cladding, roof materials, door and window design, cornice, etc.

The City of DeFuniak Springs currently has one National Register designated historic district (DeFuniak Springs Historic District) and three locally designated historic districts (DeFuniak Springs Historic District, Dorsey Avenue Historic District, and Downtown Business District). The three locally designated historic districts are all subject to the provisions of Ord. No. 881, § 18-55.1, Historical and Archaeological Resource Protection of the DeFuniak Springs Municipal Code. The following is a list of individual properties listed on the NRHP within DeFuniak Springs, those highlighted are located within the boundaries of the locally designated DeFuniak Springs Historic District.

- Perry L. Biddle House,
203 Scribner Avenue
- **Lakeside Hospital,**
1290 Circle Drive
- **Chautauqua Hall of Brotherhood,**
95 Circle Drive
- **Sunbright,**
606 Live Oak Avenue

a) Contributing vs. Non-Contributing Designation

Boundaries of historic districts contain both contributing and non-contributing resources. "Contributing" is a classification applied to a site, structure, or object signifying that it contributes generally to the qualities that give the historic district cultural, historic, architectural, or archeological significance. Contributing resources include buildings that are of a historic age and retain enough of their original building features (windows, siding, doors, trim, etc.) to "read" as a historic building.

Buildings considered "non-contributing" include those that have been significantly altered or erected outside the historic period. Because non-contributing properties do not have architectural elements which contribute to the historic character of the district, there is more flexibility over changes to a non-contributing property when the Planning Director reviews COA applications. Non-contributing properties within the historic districts of DeFuniak Springs are still required to submit an exterior work application because alterations to non-contributing properties still have the potential to adversely affect the district as a whole.



Figure 10: Before (left) and after (right) example of how the loss of building's character-defining details - in this case the removal of a residence's original cornice dentils, windows, part of the chimney stack, and the enclosure of its porch - damages the integrity of a historic building and could result in it no longer contributing to a historic district.

b) Local Historic Districts in DeFuniak Springs

DeFuniak Springs Historic District

The DeFuniak Springs Historic District primarily consists of residential buildings, along with numerous commercial, institutional, and religious buildings, a historic railroad depot, and a meeting hall.

The district's contributing resources are significant for their architectural and historical associations. Many buildings rise two-and-one-half stories, although some are smaller in size. Vernacular designs of wood and masonry construction are the predominant building styles. Formal architectural examples include Neo-Classical Revival, Colonial Revival, Gothic Revival, Queen Anne, and Craftsman.

The historic development of the DeFuniak Springs Historic District spans from 1884, when the first extant building was constructed, until 1940, the end of the community's Depression era development, which was curtailed by the beginning of World War II. Although several small subdivisions were carved out of the original block and lot system, the original historic landscape design is virtually untouched.

The commercial area north of the railroad tracks, which emerged in the late 1880s, experienced several devastating fires in the late 1890s. New brick buildings were constructed over the following decade and by 1912 resulted in a substantial row of businesses along Baldwin Avenue and secondary streets which extend north from that corridor. Tappan Brothers Construction Company, established in DeFuniak Springs about 1895, was responsible for many of those buildings. The pace of construction in the commercial district accelerated in the first decade of the twentieth century.

Residential construction coincided with the expansion of the commercial area and the extension of city services during the first two decades of the twentieth century. Many of the impressive houses that stand around Lake DeFuniak date from that period. The financial success of the Florida Chautauqua enabled the Association to construct a large building, **Chautauqua Hall of Brotherhood**, at DeFuniak Springs in 1910.

Downtown Business District

The commercial core of the DeFuniak Springs Historic District was made a locally designated historic district and designated a Florida Main Street Community in 2017 by the Florida Secretary of State. This initial five-block area makes up the Downtown Business District, bound by US Highway 90 to the north, N 5th Street to the east, Baldwin Avenue to the south, and N 10th Street to the west. A boundary enlargement has extended the west boundary to N 11th Street and the north boundary Chaffin Avenue as the city continues to invest in revitalizing the historic Downtown Business District to help grow the community through arts, culture, and thriving businesses.

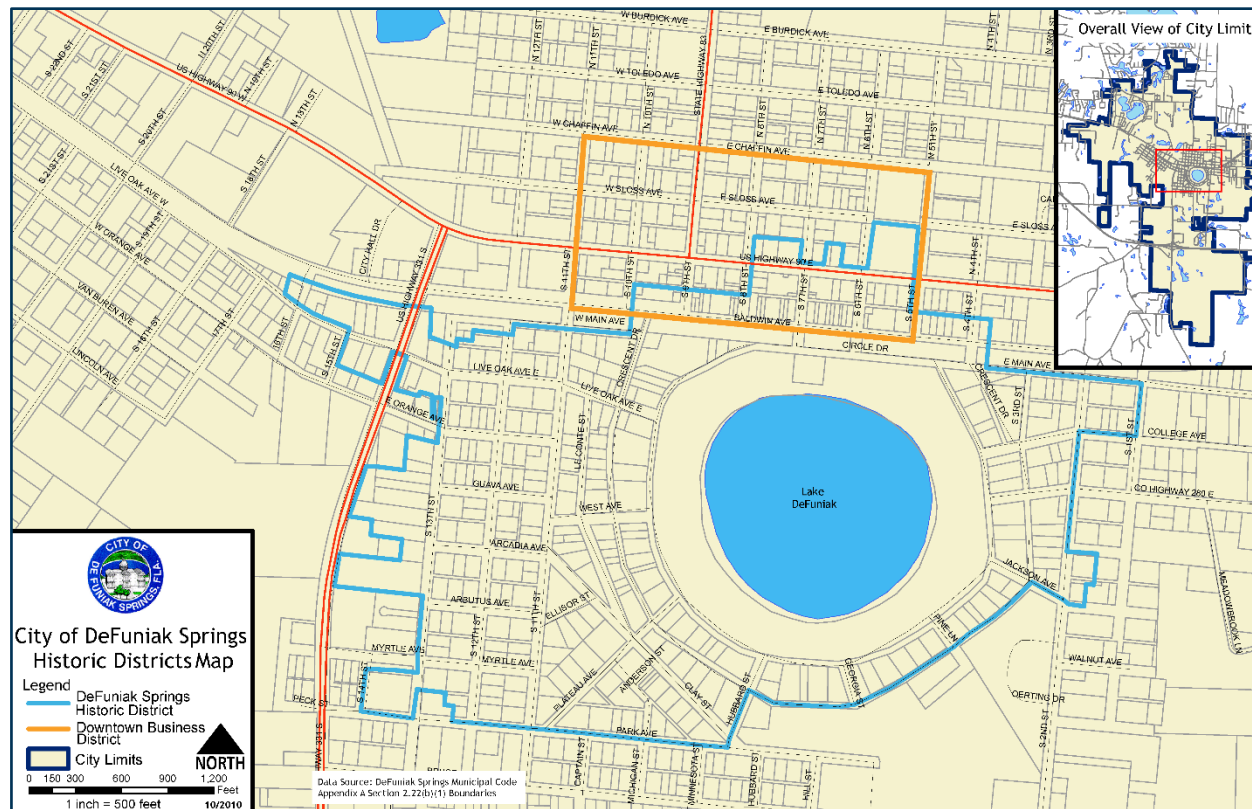


Figure 11: Map of the locally designated DeFuniak Springs Historic District and Downtown Business District.

Dorsey Avenue Historic District

In 2023, the city established the locally designated Dorsey Avenue Historic District, a historically significant area recognized for its well-preserved cultural heritage. The Dorsey Avenue Historic District measures approximately 130 acres and primarily consists of residential buildings, along with numerous early to mid-twentieth century commercial and recreational buildings, including a grocery, barber shop, restaurant, funeral home, dance hall, and theater.

The district's contributing resources are significant for their historical associations to the African American community centered around the Tivoli school development between 1923, when the school began construction, and the 1960s, following desegregation in American schools. Most extant buildings are one- to two-stories in height and consist of wood and masonry vernacular architectural styles with a few examples of Craftsman residential styles.

African American children were required to attend racially segregated schools until 1954 when segregation in education was declared unconstitutional by the Supreme Court. This requirement led to a lack of education for African American children in the South due to the chronic underfunding of their public education. Booker T. Washington of the Tuskegee Institute and Julius Rosenwald, philanthropist and president of Sears Roebuck, built over 5,000 schools, shops, and teacher homes primarily for the education of African American children across the South in the early 20th century.

According to records at Fisk University in Nashville, Tennessee, the Rosenwald Fund helped build five schools in Walton County: Black Branch, Bruce Creek, Mt. Zion, St. Johns, and DeFuniak Springs (first called School for Colored and later Tivoli). Initially, the School for Colored opened in 1912 as an elementary and junior high school. The Rosenwald school in DeFuniak Springs, constructed between 1923 and 1924, was primarily funded by the Rosenwald Project and the African American community. The Rosenwald Project developed general specifications for "Community School Plans" to streamline the design and construction process across the South and were based on the number of teachers that would use the school, which depended on the needs of the community. The original School for Colored in DeFuniak Springs was constructed to house four teachers and later in the project, two additional rooms were added creating a six-teacher type school. Housing for teachers was also developed around this time along the railroad tracks to the north of the school.

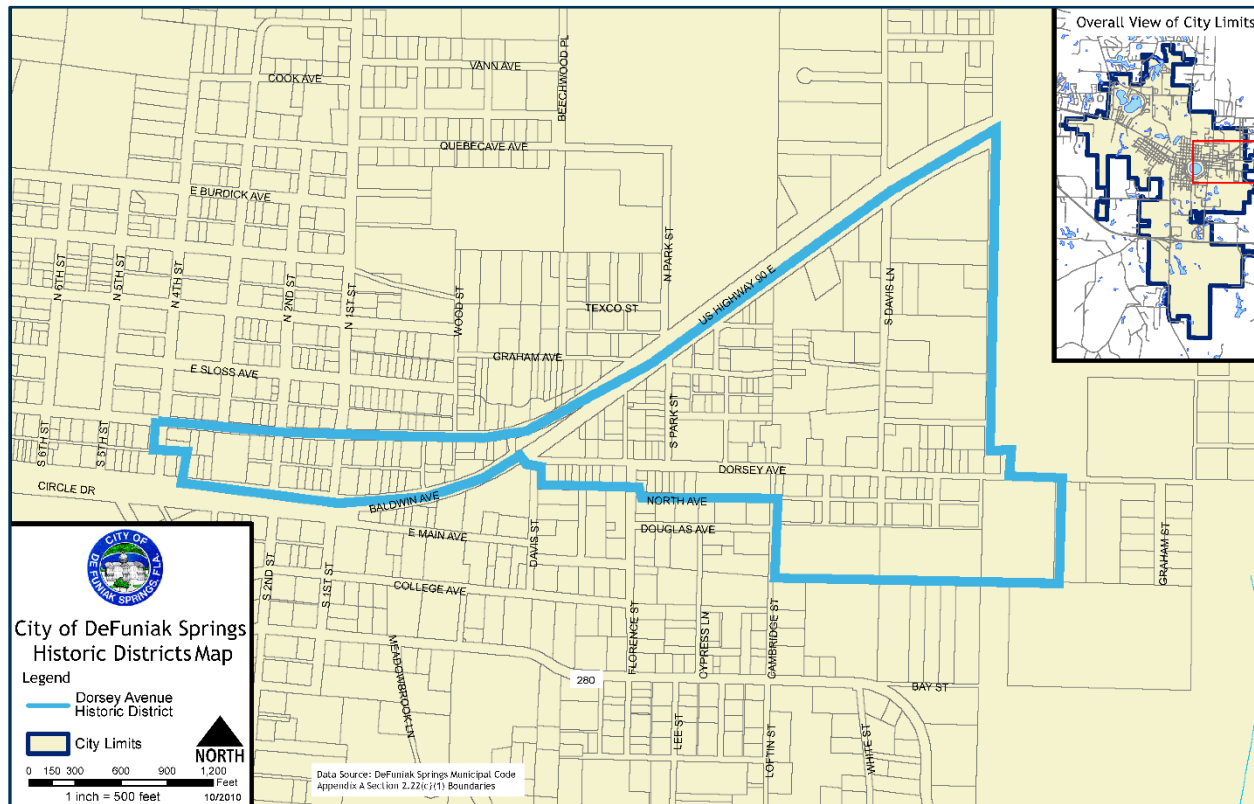


Figure 12: Map of the locally designated Dorsey Avenue Historic District.

CHAPTER 3. ARCHITECTURAL STYLE GUIDE

3.1. INTRODUCTION

Historic buildings are frequently characterized according to type, form, and architectural style. Building type refers to the classification of a building based on its use and characteristics, while building form refers to its physical shape, size, and arrangement. Building types can be residential or commercial, for example, while building forms can be rectangular, square, or circular. Architectural style is defined by hallmark forms, shapes, proportions, materials, and ornamentation that make up a building's overall character. Architectural styles have changed throughout history as certain design movements became popular, and others faded out of fashion. Understanding your property's architectural style, and the character-defining features that contribute to that style, will help you to understand which features are critical to the preservation of its historic character. "Character-defining" pertains to those architectural materials and features of a building that define the historic nature of that building. Such features may include the form of the building, exterior cladding, roof materials, door and window design, cornice, etc.

Few structures display all the characteristics of a particular style, and many buildings exhibit eclectic details from a mix of styles. Architectural styles are grouped into two categories: vernacular and high style. Before proceeding, it is helpful to understand the following terms as they relate to historic architecture. The following sections have been adapted from *A Field Guide to American Houses* by Virginia Savage McAlester.

"Vernacular" architecture encompasses buildings constructed according to traditional methods of construction within a specific locality or for a particular group of people. These local variations in historic architectural styles often occurred when carpenter-builders and designers combined vernacular forms, pattern book designs, and their own ideas. Often these structures are designed and built by individuals who were influenced by local climate, available building materials, and contemporary architectural fashions and styles.

"High Style" refers to structures built according to the doctrines of a specific, readily identifiable, national or regional architectural style, such as Queen Anne or Second Empire, and are designed by professional architects and builders or derived from architectural guidebooks. Designers of high style buildings were often strongly influenced by contemporary trends, fashions and academic principles.

While there are some examples of high style architecture in the DeFuniak Springs Historic District, primarily along Circle Drive, the majority of historic buildings within the DeFuniak Springs are constructed in vernacular styles.

3.2. BUILDING TYPES AND FORMS

A building's type is defined by the function of the property. The following are types found within the DeFuniak Springs Historic District and Downtown Business District:

1. **Residential buildings** include single-family homes and multi-family homes, such as apartments and duplexes. The majority of historic buildings in the DeFuniak Springs Historic District and Dorsey Avenue Historic District are residential building types.
2. **Commercial buildings** are buildings that are used for business purposes, such as stores, offices, restaurants, and banks. Most historic buildings in the Downtown Business District are commercial building types.
3. **Institutional buildings** are buildings that serve a community and provide public services and include government buildings, libraries, and museums.

Other building types that are found in the DeFuniak Springs historic districts include **educational**, **recreational**, and **religious** buildings, such as schools, theaters, churches, and other places of worship.



Figure 13: From left to right, examples of typical residential, commercial, institutional, and religious buildings found in the DeFuniak Springs historic districts.

Residential Building Forms

Single Pile

The Single Pile house, also called an “I-House,” is traditionally three bays wide, one room deep, and two stories tall with a side- or front-gabled roof. It has a symmetrical façade, often with end chimneys and a front porch. On the interior, it typically has a central hall flanked by rooms. It is a common type of vernacular home with many of these homes often enlarged with rear ell additions, and the front porch was often updated to suit changing architectural fashions. Gothic Revival, Queen Anne, and Italianate variations are common.



Figure 14: Example of a residential Single Pile building type in DeFuniak Springs.

Double Pile

The Double Pile house, like the I-House, is typically three to five bays wide and two stories tall with a rectilinear shape and side-gable roofline. The Double Pile house is defined by its two-room depth. It follows one of the most common domestic floor plans found in the United States, the “Hall and Parlor” plan, in which a central hall with staircase is flanked by pairs of rooms on each side. The double pile form is most closely associated with the Georgian and Federal styles but was also commonly ornamented with Greek Revival, Gothic Revival, Italianate, Colonial Revival, and Classical Revival style details. It is also commonly found in its simple vernacular form with little stylistic detail.



Figure 15: Example of a residential Double Pile building type in DeFuniak Springs.

Gable-Front

The Gable-Front house is another common vernacular form. Characterized by its simple, front-gabled roof, the Gable-Front house type is typically rectangular or square in form. The narrow form of the Gable-Front type was well suited to narrow lots and the type is commonly found in urban neighborhoods and towns. Like other vernacular forms, this type may be found unornamented or with applied ornamentation from a variety of architectural styles.



Figure 16: Example of a Gable-Front building type in DeFuniak Springs.

Gable-Ell

The Gable-Ell house is typically two stories and is characterized by a gable-front central mass with an intersecting wing (the “ell”) placed perpendicularly, creating an L shaped plan. The long side of the ell is typically oriented towards the street, and a porch is often located at the juncture of the two wings. Like the other building types mentioned, the Gable-Ell house was often ornamented with Victorian-era details, and the porch was commonly updated to reflect changing tastes and architectural fashions.



Figure 17: Example of a Gable-Ell building type in DeFuniak Springs.

Florida Cracker

The Florida Cracker is characterized by its low-slung appearance, large front porch, wood frame, raised foundation, and gable or hipped roof. While the traditional "cracker box" refers to a smaller, one-story structure, Florida Cracker buildings encompasses both one and two-story variations, all sharing features designed for the subtropical climate.

The name "cracker" refers to colonial-era English and French pioneer settlers and their descendants who constructed this vernacular building form to protect them from the elements through utilizing large outdoor porches and large windows (with shutters) to help try to cool homes during the long hot season in these low latitude subtropical climates. These homes were widespread in the 19th and early 20th century and were typically constructed from local trees and materials.



Figure 18: Example of a residential Florida Cracker building type in DeFuniak Springs.

Bungalow

The Bungalow was a common house type in the U.S. and examples can be found dating to the 1900s through the 1940s. Bungalows are one to one-and-a-half stories and are compact in size. These houses typically have projecting eaves, multiple gables, asymmetrical façades, and low-pitched roofs with large dormers and integrated porches. Bungalow is most commonly associated with the Craftsman style, and it was widely popular for use in both rural and urban settings. Prefabricated versions were also available as "kit houses."



Figure 19: Example of a residential Bungalow building type in DeFuniak Springs.

Ranch

The Ranch building type was created in California in the mid-1930s. It gained popularity in the early 1940s and dominated American single-family housing throughout the 1950s and 1960s. Ranch houses are characterized by their asymmetrical one-story "rambling" forms. Their forms maximize width instead of depth and often incorporate built-in garages to that end. They often feature low-pitched gable or hipped roofs. Private rear porches are common instead of the more public front or side porches seen in earlier housing examples. Details including the use of shutters and porch supports taken from the Colonial Revival style (McAlester 1984, 479).



Figure 20: Example of a residential Ranch building type in DeFuniak Springs.

Commercial and Institutional Building Forms

One-Part Commercial Block

This building type is a single story and was typically constructed in urban settings to house retail shops, banks, or restaurants. These buildings tend to be wider than they are tall and feature large windows to display the goods provided inside. One-part commercial block type buildings often feature recessed entrances, and decorative cornices or parapets on the façade.

This type represents the majority of the DeFuniak Springs buildings in the main commercial corridor and several in the Dorsey Avenue Historic District.



Figure 21: Example of a One-Part Commercial Block building type in DeFuniak Springs.

Two-Part Commercial Block

Two-Part Commercial Block (1850s-1950s) This building type is common throughout the United States. These buildings are two to four stories in height and divided into two distinct parts based on interior uses. Public spaces such as storefronts, lobbies, or restaurants are located at ground level, with private spaces, such as apartments or offices on the upper stories.

This type is not as common in DeFuniak Springs but is still represented.



Figure 22: Example of a Two-Part Commercial Block building type in DeFuniak Springs.

Vernacular Storefront

The vernacular commercial storefront of the late 19th and early 20th centuries commonly appears as the first-floor level of the one- and two-part commercial block building types. These storefronts feature large windows for the display of goods and a recessed main entrance which may be centered or aligned to one side of the building.

The majority of DeFuniak Springs' historic commercial buildings within the DeFuniak Springs Historic District and Downtown Business District feature vernacular storefronts.



Figure 23: Example of a Vernacular Storefront building type in DeFuniak Springs.

Temple Front

Temple front buildings have facades which mimic the temples of Greek and Roman antiquity. Rather than having been developed for commercial use as the other building types listed here, the temple front was most often used on religious, civic, and institutional buildings. A common exception is bank buildings, which, prior to the mid-19th century, often had little in common with other commercial buildings in terms of appearance.

This type is not as common in DeFuniak Springs but is still represented in a few institutional and religious building forms.



Figure 24: Example of a Temple Front institutional building type in DeFuniak Springs.

3.3. ARCHITECTURAL STYLES

The following section describes each of the major architectural styles, including vernacular styles, observed in the historic districts of DeFuniak Springs with supplementary information from *A Field Guide to American Houses* by Virginia Savage McAlester. The architectural styles for a large portion of the DeFuniak Springs Historic District have been previously identified and can be found in the National Register of Historic Places nomination form for the district.

Frame Vernacular

The term "vernacular" refers to a structure that is not pure in its design style but loosely based on the design features of one or more styles. Frame Vernacular buildings use wood as the dominant structural and exterior elements. Craftsman and builders constructed these buildings using balloon framing techniques. This type of construction used corner posts and horizontal members consisting of two-by-four posts nailed together. Floors were hung on the wall studs, and, on multi-story buildings, the wall studs rose continuously from the floor to the roof. Window treatments range from original double-hung sashes and casements to replacement metal awning, jalousie, and fixed windows.

Frame Vernacular construction was very common in the United States from the late 1800s through the 1940s. Many Frame Vernacular houses built in the late 1910s and 1920s demonstrate Craftsman style elements including exposed rafter ends and wide, overhanging roof eaves. These houses are still modest and demonstrate less details and ornamentation than Craftsman style houses. Examples of Frame Vernacular houses from the 1930s and 1940s are even more restrained than their forerunners and display modest roof overhangs and even fewer decorative elements. Vernacular style structures have single-pile, double-pile, gable-front, and gable-ell floor plans and are one or two-stories in height.

Frame Vernacular is the most common style in the DeFuniak Springs Historic District and the Dorsey Avenue Historic District, with most of the Frame Vernacular buildings being residential.



Figure 25: Examples of more elaborate Frame Vernacular residences within the DeFuniak Springs Historic District.



Figure 26: Examples of more simple Frame Vernacular residences within the DeFuniak Springs Historic District and the Dorsey Avenue Historic District.

Masonry Vernacular

Examples of the Masonry Vernacular style are seen throughout the historic districts of DeFuniak Springs in both residential and commercial buildings. Similarly to the Frame Vernacular style, Masonry Vernacular buildings tend to be simple, largely unadorned, and constructed out of easily accessible materials. These buildings utilize simple masonry construction techniques common to Western architecture.

The advent of ready-mixed concrete revolutionized building techniques after 1920. Buildings constructed after this time (especially commercial buildings) used concrete blocks as the main structural element. Concrete blocks provided the same amount of strength as other traditional masonry units but were lighter and less expensive (McAlester 1984, 38). In order to enhance the exterior appearance, the concrete block was often covered in a veneer of brick or stone, painted or, reticulated block was used.

The typical historic commercial building in the historic districts of DeFuniak Springs features a Masonry Vernacular design with a rectangular footprint. Roofs are typically flat, and some buildings have stepped or flat parapets. Brick is the common exterior wall surface with many walls embellished with decorative corbeling and panels. Storefronts historically contained cast iron posts, transoms, fixed plate glass, wood kick panels, and lighted entrances but this original detailing has been removed from some buildings. Poured concrete is a typical foundation.

Residential masonry vernacular building designs are often derived from widely circulated house plan books. Roofs are usually gabled or hipped. Exterior materials are usually brick or stucco with wooden trim.



Figure 27: Above are examples of commercial and residential Masonry Vernacular style buildings in the historic districts of DeFuniak Springs.

Gothic Revival

The Gothic Revival style emerged from the Picturesque/Romantic Movement and was popularized in the pattern books of Andrew Jackson Downing. It was the earliest of the Victorian styles to challenge classical norms. The Romantic Movement lauded the art, literature, and architecture of Christian medieval times which is reflected in the style. The architectural movement abandoned the symmetry and order of Classicism in favor of asymmetry and variety in texture and color.

The Gothic Revival style became popular in America in the mid-nineteenth century (circa 1830-1860), reaching its peak in the 1830s and 1840s. Civic and religious examples of Gothic Revival tended to follow High Gothic examples and were more authentic. The popularity of Gothic Revival houses faded in the late nineteenth century. The Gothic Revival style remained popular for civic, religious, and educational buildings well into the twentieth century.

Common character-defining features of the Gothic Revival style include:

- One or two-stories
- Pointed arches
- Towers
- Steeply pitched rooflines
- Focus on verticality
- Crenellation/crenellated parapets
- Leaded stained glass
- "Gingerbread" detailing, lace-like spandrels



Figure 28: This is the sole example of a Gothic Revival building in DeFuniak Springs Historic District.

Folk Victorian

The Folk Victorian style is less elaborate than high Victorian styles such as Queen Anne. It is characterized by the presence of Victorian era decorative detailing on simple folk house forms. These simple houses tend to mimic higher Victorian style dwellings while remaining more affordable.

The Victorian details (often referred to as “gingerbread” detailing) used in Folk Victorian houses are most commonly applied to the porch and cornice line. Folk Victorian houses often have symmetrical façades and a lack of textured and varied wall surfaces unlike the true Queen Anne style houses they mimic.

Multiple examples of the Folk Victorian style are present in DeFuniak Springs and are most often seen on Bungalow, Double-Pile, or Gable-Front building types.

Common character-defining features of the Folk Victorian style include:

- One or two-stories
- Symmetrical façade
- Lack of multiple rooflines and textured or varied wall surfaces
- Centered gable roofs often appear on side-gable or hipped pyramidal roof examples
- Decorative elements are limited to the porch and cornice line
- Unadorned window surrounds
- “Gingerbread” or spindle work detailing



Figure 29: Above are examples of Folk Victorian style buildings in the DeFuniak Springs Historic District.

Queen Anne

The Queen Anne style merged a variety of classical and medieval ornamentation. Richly decorated, Queen Anne style houses are commonly recalled with the use of the generic “Victorian” label. It was popular from the 1880s to the 1900s.

The Queen Anne style was successfully adapted to residential, commercial, and institutional uses. These buildings are typically asymmetrical in plan, and feature turrets, window bays, towers, complex rooflines, decorated chimneys, and large and ornate porches. Queen Anne style buildings typical have a variety of materials with contrasting textures. These buildings commonly used materials include brick, wood, stone, slate, and tile which were combined to create a picturesque effect.

Common character-defining features of the Queen Anne style include:

- Two or more stories
- Asymmetrical in plan
- Window bays
- Complex rooflines
- Turrets
- Towers
- Decorated chimneys
- Large and ornate porches
- Multiple wall textures and surfaces achieved with pattered shingles, different patterns or colors of brick courses, and wood siding
- Commonly painted in a mix of bold colors



Figure 30: Above are examples of Queen Anne style buildings in the DeFuniak Springs Historic District.

Colonial Revival

The Colonial Revival style emerged in the 1880s following America's Centennial celebrations which aroused civic pride and sought to restore order to what was perceived to be the Victorian excesses of American domestic architecture by borrowing heavily from early American Georgian and Federal architecture. After 1925, the restoration of Colonial Williamsburg and a rising interest in historic preservation greatly contributed to the popularity of this style, which proliferated in the U.S. through 1955. The Colonial Revival style is sometimes referred to as Georgian Revival and Dutch Colonial Revival, which are more specific subtypes of this style.

The Colonial Revival style often combines authentic colonial details with modern features on a more exaggerated scale than its 18th century models. The name "Colonial" encompasses several styles, all loosely associated with the revival of American and "old world" buildings.

Common character-defining features of the Colonial Revival style include:

- Two-stories
- Symmetrical massing
- Side gable, hipped, or gambrel roofs that often feature boxed eaves with little overhang
- Front entrance adorned with decorative pediment and pilasters
- Main entry door featuring fanlights or rectangular transoms, flanked by side lights
- Cornice frequently adorned with dentils or modillions



Figure 31: Above are examples of Colonial Revival style buildings in the DeFuniak Springs Historic District.

Neo-Classical Revival

The Classical Revival or Neoclassical style is based upon interpretations of classical Greek and Roman models, relying on order, symmetry and detail to create a composition of formal and symmetrical features. This style is adaptable to wood, brick, and stone construction and was popular in many regions of the nation. Neoclassical Revival was popular from the late 19th century through the mid-20th century. Interest in classical models was inspired by the 1893 World's Columbian Exposition in Chicago. Nearly all buildings at the Columbian Exposition were designed based on classical precedents and were widely copied in the United States.

Common character-defining features of the Neo-Classical Revival style include:

- Two-stories
- Overall symmetry
- Low pitched roofs or flat roofs with parapets
- Entry porches with classical columns and triangular pediments, sometimes reaching two stories
- Keystone lintels over windows and doors
- Moldings and cornices featuring dentils and modillions
- Dormers
- Prominent curved or arched center windows on second stories



Figure 32: Above are examples of Neo-Classical Revival style buildings in the historic districts of DeFuniak Springs.

Craftsman

The Craftsman style emerged at the very end of the 19th century and was heavily influenced by the English Arts and Crafts Movement, which emphasized a return to traditional handcraftsmanship and the use of natural materials. It became highly popularized through pattern books and magazine depictions and was the dominant style for small houses and the bungalow building type from the turn of the 20th century through the 1930s.

The rapid growth of Florida from the 1900s to the 1930s, when the Craftsman style flourished, meant this was a commonly used style throughout the state. Multiple examples of the Craftsman style are present in DeFuniak Springs and are most often seen on Bungalow building types.

Common character-defining features of the Craftsman style include:

- One to two-stories
- Wood frame with pier or continuous block foundations
- Roofs can be front-gable, cross-gable, side-gable, or hipped and have widely overhanging, open eaves
- Roofs can feature exposed wood rafter ends, brackets, or triangular knee braces
- Weatherboard, wood drop siding, or stucco exterior walls
- Porches typically full-width and deep-set porches with a variety of porch supports



Figure 33: Above are examples of Craftsman style buildings in the historic districts of DeFuniak Springs.

Mission

The Mediterranean Revival style was part The Mission style originated with the mission churches of California established by Father Junipero Serra during the 1700s. Originating in California during the 1890s, this style flourished throughout the western United States. The style is considered the western states' equivalent of the east coast's Colonial Revival. It was popular from the 1890s–1920s. Influences from the Craftsman style and bungalow building type were evident in the smaller residential Mission style. During the early 20th century Florida also embraced its Spanish heritage using it as a source of architectural inspiration.

On a local level, this architectural style is the style most intimately linked with the 1920s Florida land boom and flourished in the state during the 1920s and 1930s. The style honored the state's Spanish heritage and could be easily modified to suit Florida's hot and humid climate.

Common character-defining features of the Mediterranean Revival style include:

- One or two-stories
- Simple form that can be symmetric or asymmetric
- Stucco exterior
- Low-pitched hip or gable roofs covered with red tiles (commonly half-round barrel tiles or interlocking pantiles)
- Square towers
- Semicircular arches commonly highlight doors and major windows



Figure 34: Above are examples of residential and commercial Mission style buildings in the historic districts of DeFuniak Springs.

Minimal Traditional

The Minimal Traditional style describes small, affordable, cottage-like dwellings constructed between the 1930s and 1950s. This style originally emerged at the height of the Great Depression and was widely adopted by architects to help address housing needs in a struggling economy. It was also well-suited to suburban tract-house developments, which appeared in the late 1930s and 1940s. The style then grew rapidly after World War II to provide housing to returning servicemen.

The Minimal Traditional style acted as an alternative to the indulgence associated with house designs of the 1920s. The houses feature little ornamentation, and many do not reflect any specific historic architectural style, however, subtle details from Colonial Revival or Tudor Revival styles can often be identified.

Common character-defining features of the Minimal Traditional style include:

- Usually one-story in height
- Simple in type but layout and design elements vary
- Roofs are commonly side- or cross-gable; roof eaves are shallow with little overhang
- Large chimney – a reference to the Tudor Revival style
- Exterior material can be brick, stone, stucco, weatherboard, or a combination
- Small entry front porch
- Subtle porch ornamentation with simple wood columns with bases and capitals.



Figure 35: Above are examples of residential Minimal Traditional style buildings in the DeFuniak Springs Historic District.

Contemporary

The Contemporary style was popular for architect-designed buildings from about 1955 to 1970. This modern era style rejected preceding styles' approach to decorative detail which focused on applied elements. These decorative details focused on apertures-windows and doors, porch supports, dormers, and wall junctions. Contemporary style buildings focus on the interior space and how it connects to the outside of the building. Architects therefore designed these buildings forms from the inside out.

In DeFuniak Springs the Contemporary style is manifested as Contemporary Ranch type houses with low pitched roof, mixed exterior materials, ribbon windows, and large groupings of windows. Other Contemporary style buildings include commercial properties used historically as autobody or repair shops or gas stations.

Common character-defining features of the Contemporary style include:

- One or two-stories
- Roofs are typically flat or gabled
- Wide roof eave overhangs
- Examples with flat roofs lack traditional detailing
- Exterior materials can be a combination of wood, brick, and stone



Figure 36: Example of a commercial building with a Contemporary style in the Downtown Business District.

CHAPTER 4. DESIGN STANDARDS

4.1. INTRODUCTION

The following design standards establish a clear and consistent framework for guiding exterior alterations to properties located within the historic districts of DeFuniak Springs. These standards are grounded in the principles outlined in the Secretary of the Interior's Standards for the Treatment of Historic Properties and are organized using a form-based code approach.

Form-based code visuals enhance community understanding of land use regulations by making them more accessible and intuitive. This visual format promotes predictable development outcomes that reflect the community's desired character and values. By defining building placement and form, these standards support the creation of walkable, vibrant neighborhoods, streamline the approval process, reduce costs, and help maintain property values.

This chapter includes standards related to streetscape elements, signage, existing buildings, and new construction. Each section is accompanied by clear visuals that property owners can reference when planning exterior changes. Owners may mark the design elements they intend to implement and submit these visuals with their Certificate of Appropriateness (COA) application. This process simplifies communication with the Planning Director and expedites COA review.

In addition to assisting property owners, this document serves as a consistent decision-making tool for current and future Planning Directors.

Note: These standards are not intended to require the reversal of past alterations that may no longer be appropriate. Instead, they are to be used as a reference for guiding future exterior modifications.

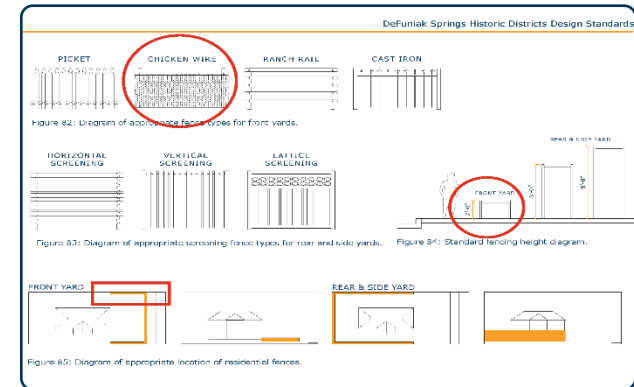


Figure 37: Example page taken from the standards illustrating the visual components that can easily be circled for reference when submitting a COA.

4.2. STREETSCAPE ELEMENTS

Streets and sidewalks are the primary connective networks within the city of DeFuniak Springs, providing safe access for pedestrians and vehicular access throughout the historic districts and beyond. The sidewalks are typically paved in concrete, asphalt, or crushed stone. "Street fixtures" and "street furniture" are terms used to describe elements such as benches, trash receptacles, parking meters, parking kiosks, telephone and electrical poles, streetlamps, fire hydrants, mailboxes, streetlights, bulletin boards, and the like found along a streetscape.

Standard Commercial Streetscape

Commercial streetscapes support high foot traffic and feature angled street parking as well as larger attached sidewalks along the roadway. Street furniture in commercial areas should promote continuity through an established color palette of whites, off-whites, subtle teal, earthy colors, and black accents.

Best Practices

- New commercial construction within the Downtown Business District that maintains commercial streetscape standards.
- A new construction sidewalk that conforms to the standards appearing in the latest edition of FDOT's "Roadway and Traffic Design Standards."
- Street furniture that is uniform in appearance and consistent in placement.

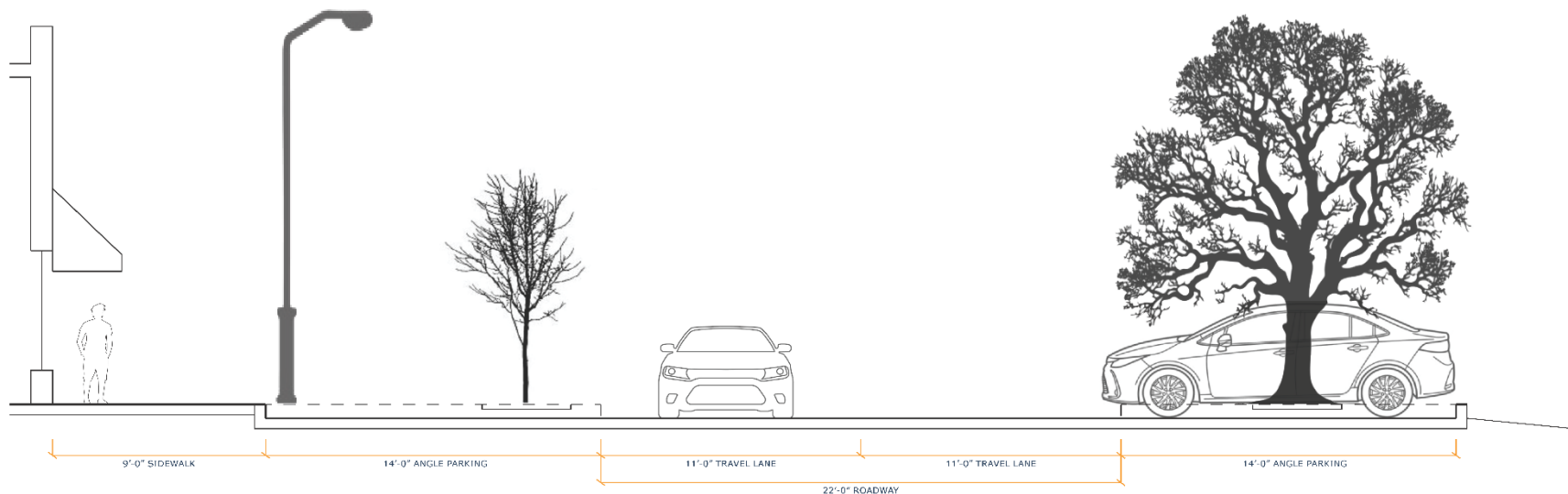


Figure 38: Diagram of typical commercial streetscape in the Downtown Business District.

Standard Residential Streetscape

The design of a streetscape defines a location and directly effects the property value of a residence. Residential streetscapes support less foot traffic than commercial areas, but accessibility remains important in DeFuniak Springs. Residential areas feature less defined street parking as many residences maintain driveways. Detached sidewalks are found throughout the residential streetscapes that are separated from roadways by green parkways, many with planted trees that provide shade and beauty.

Best Practices

- New residential construction within the historic districts that maintains standard residential streetscape standards.
- A new construction sidewalk that conforms to the standards appearing in the latest edition of FDOT's "Roadway and Traffic Design Standards."

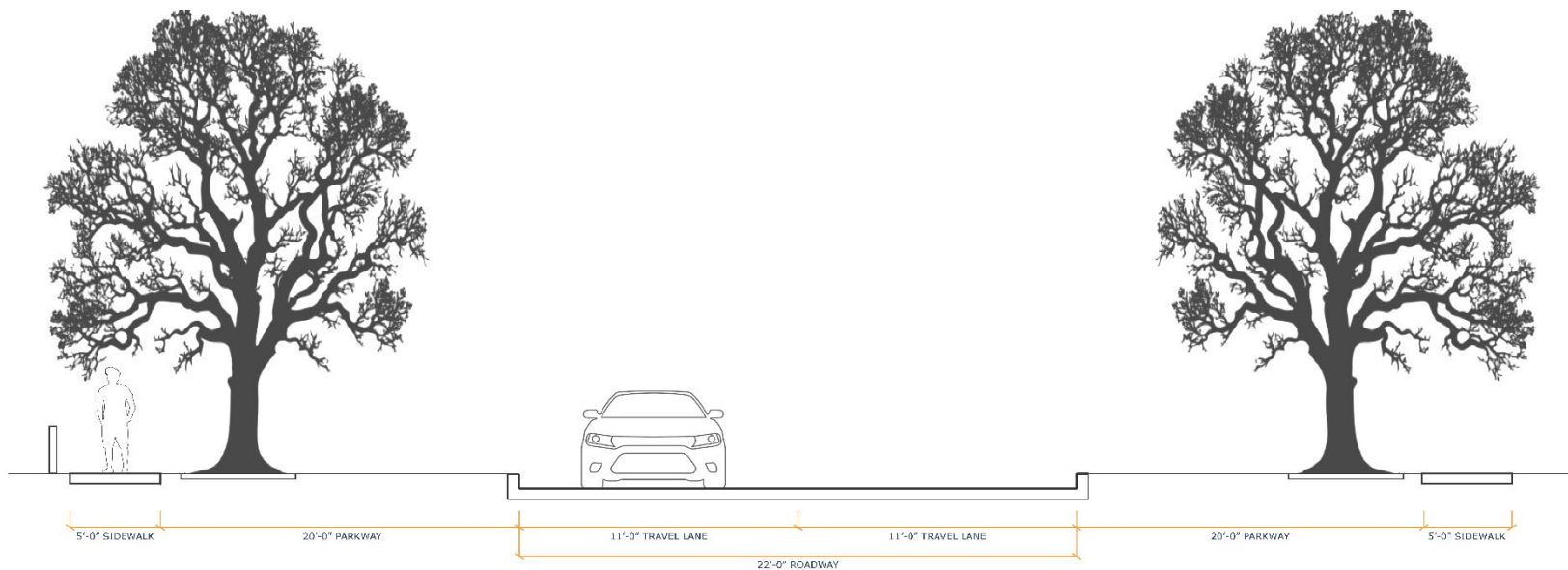


Figure 39: Diagram of typical residential streetscape.

Standard Frontage Types

Frontage types describe the space and features between a building's façade and the street, defining how buildings connect to the right-of-way. Common types include setback frontages with open yards, porch and fence frontages in residential areas, and commercial types like shopfronts and parking. The choice of frontage type depends on the desired streetscape, building use, and local zoning regulations, all which influence walkability and community character.

Common Yard

The main façade of the residence has a small-to-medium setback from the frontage line providing a buffer from the higher-speed thoroughfares. The front yard is visually continuous with adjacent yards, supporting a common landscape and working in conjunction with the other private frontages. Common Yards can be used in conjunction with the Porch frontage type.

Porch

The main facade of the residence has a small-to-medium setback from the frontage line providing a buffer from the higher-speed thoroughfares. The resulting front yard is typically defined by a fence or hedge to spatially maintain the edge of the street and helps to maintain privacy.

Shopfront

The front façade of the commercial building has no setback from the frontage line with an at-grade entrance along the public right-of-way. The Shopfront frontage also typically includes a canopy or awning element that overlaps the sidewalk along the majority of the frontage.

Parking

The main façade of the commercial or public building has a small-to-medium setback from the frontage line between the building and street. The resulting area is defined by no more than two rows of parking and one driving lane. Small setbacks and low plants or walls help separate the parking area from the sidewalk.

Best Practices

- New construction with a setback that conforms with the front yards of buildings within one hundred 150-feet on each side; residents in the DeFuniak Springs Historic District are typically setback 50- to 100-feet, residents in the Dorsey Avenue Historic District are typically setback 20- to 25-feet, commercial properties typically have zero setback.

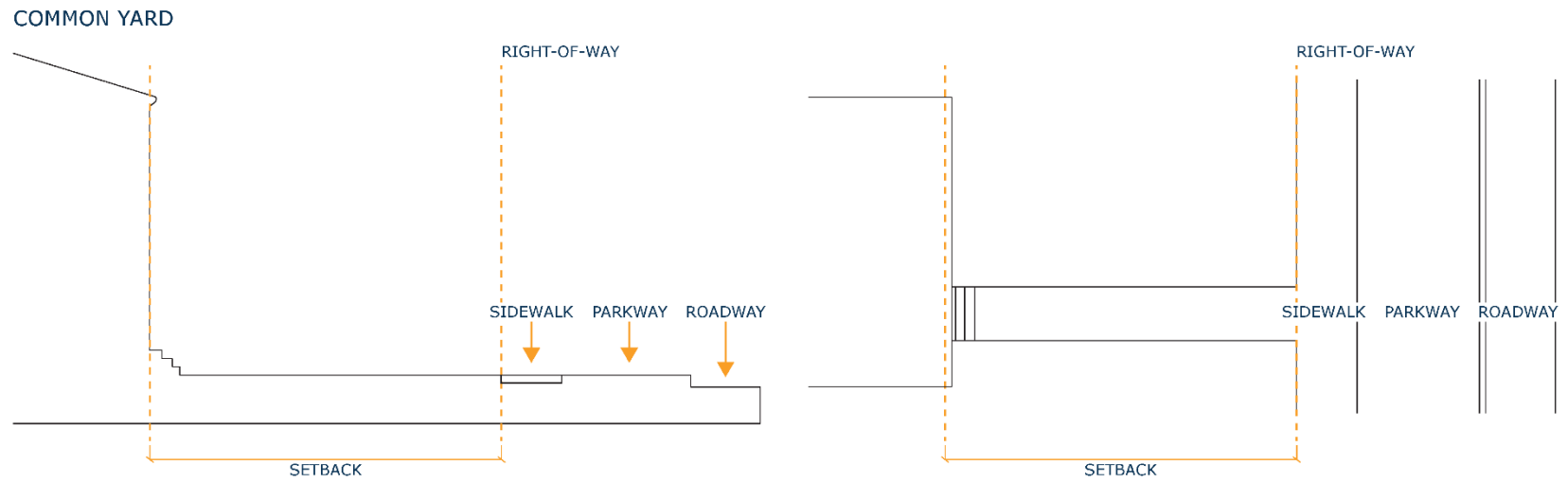


Figure 40:Frontage Type – Common Yard Diagram.

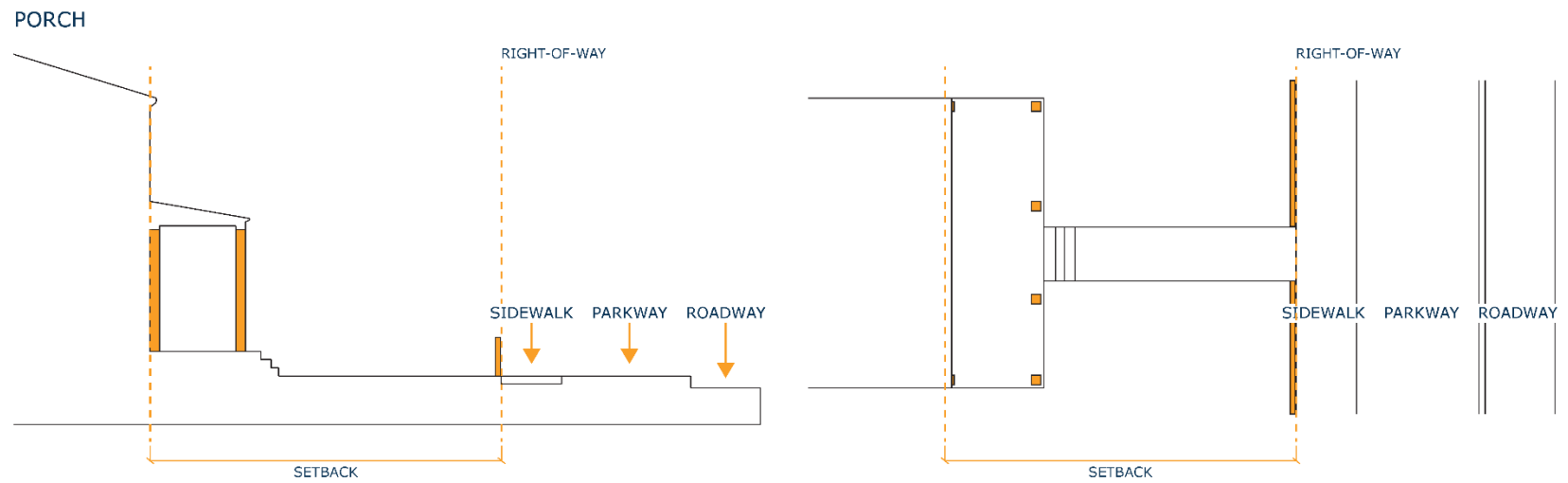


Figure 41:Frontage Type – Porch Diagram.

SHOPFRONT

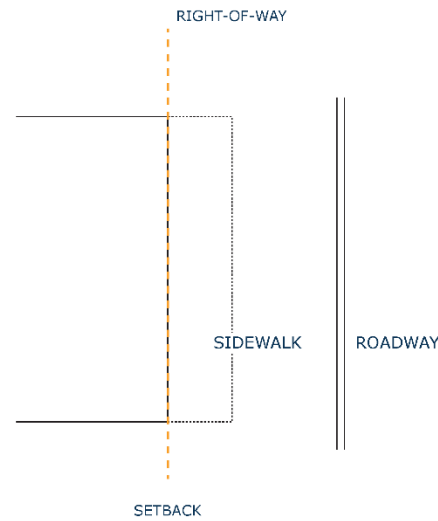
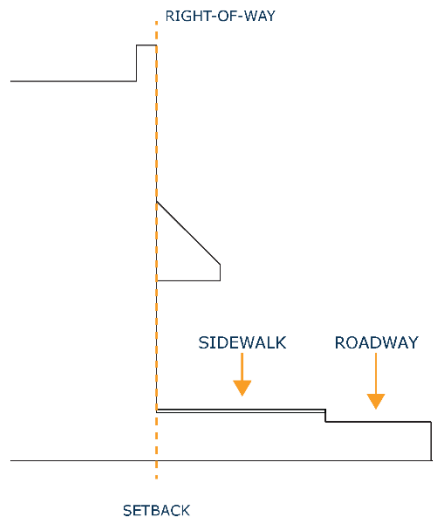


Figure 42:Frontage Type – Shopfront Diagram.

PARKING

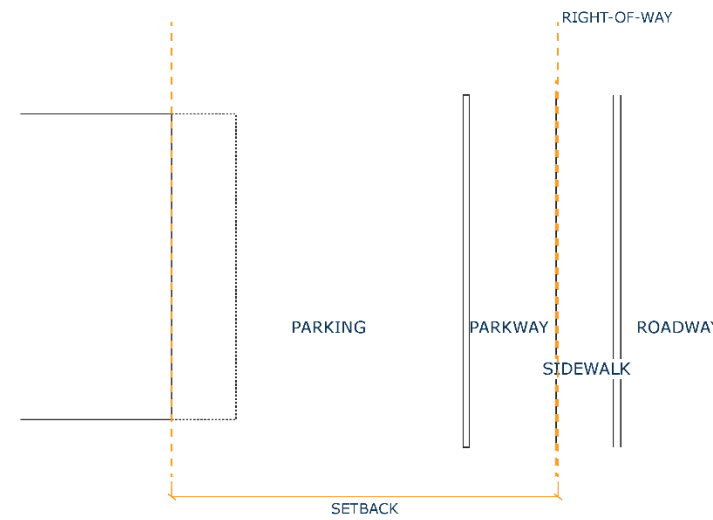
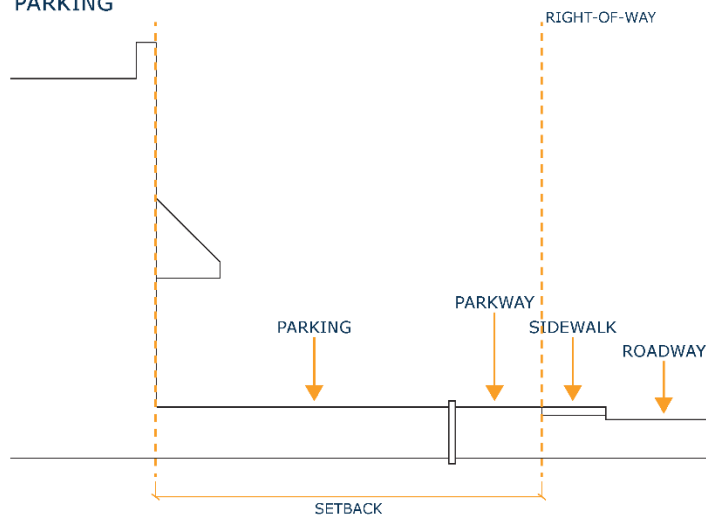


Figure 43:Frontage Type – Parking Diagram.

Standard Parking and Parking Lots

Public and private parking lots in DeFuniak Springs are important to the economic vitality of its businesses as they provide both long- and short-term parking for workers, residents, and visitors. Angled parking is located throughout the commercial corridor for visitors and patrons with private parking for workers and residents located in the rear of buildings accessible by alleys. Few surface parking lots are present in residential areas and those that are present are typically associated with religious, educational, and the occasional commercial building.

While a few existing parking areas are well designed and landscaped, most are very utilitarian in nature and thus do not contribute to the appearance of the historic districts. New parking lot designs should consider parking lot size, parking angle, pedestrian safety, accessibility, and landscaping. Typical parking lot designs include 90-degree, 60-degree, 45-degree, and 30-degree parking layouts.

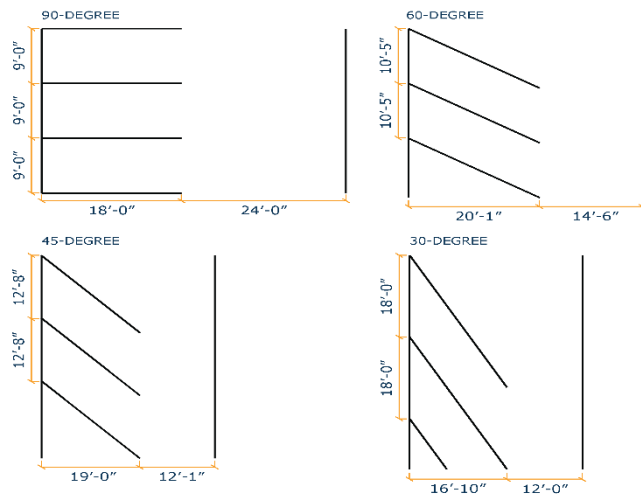


Figure 44: Standard parking lot layout dimensions.



Figure 45: Examples of angled parking lots in DeFuniak Springs.

Best Practices

- Adequate lighting provided on all parking lots.
- Entries and exits to the parking lots are clearly marked and directional signs are provided at appropriate locations.
- Surface parking for new construction oriented behind or to the side of a building, with access from shared driveways or alleys when possible.

Standard Landscaping

Landscaped areas enhance the visual and aesthetic appearance of the city while also being important character-defining features of the historic districts. Landscaping provides appropriate barriers and relief from traffic, noise, heat, glare, and the spread of dust and debris. It also provides a more pleasant and relaxing environment that increases property values.

Planted landscaping, including lawn grasses, ground cover, canopy trees, understory trees, and shrubs, is typically perennial species capable of thriving DeFuniak Springs. Native plants require less maintenance and help prevent the spread of invasive plants while also enhancing the beauty of the natural surroundings on natural surroundings.



Figure 46: Examples of appropriate canopy trees. Left to right: Bald Cypress, Live Oak, Red Maple, Florida Elm, and Crape Myrtle.



Figure 47: Examples of appropriate shrubs. Left to right: Saw Palmetto, Possumhaw Viburnum, Witch Hazel, Sweetshrub, and Florida Azalea.

Best Practices

- If the replacement of existing native shrubs or plantings becomes necessary during exterior alterations, the same or similar types of plantings are replanted.
- Planting new shade trees where they will not obscure important historic features or damage historic buildings with roots or branches.
- New construction proposals that also include landscaping and planting designs that identify the vegetation to be planted.

4.3. SIGNAGE

Standard Signage

Business signs are among the most important contemporary elements of commercial buildings. Well-designed signs contribute to the appearance of a building as well as attract customers and clients. Business signs that are poorly designed detract from the appearance of a building and the image of a business. Common problems with poorly designed business signs include excessive size, illegible graphics and typeface, poor color selection, and improper location.

All signage must comply with the DeFuniak Springs Sign Ordinance. A sign permit is required in order for a sign to be installed, constructed, altered, or relocated in a historic district in DeFuniak Springs. Sign permit application forms are available at the Planning and Code Enforcement Department.

Standard Lighting

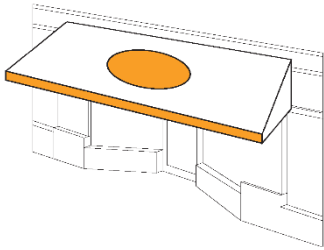
Halo lighting, in which individual letters contain lighting to illuminate the wall behind them, are appropriate for wall signs. Internally illuminated signs, particularly box or cabinet signs in which the entire surface is illuminated or neon signs, are generally not appropriate for the character of the district. Excessively bright or flashing lights and animated signs are also not appropriate for residential or commercial portions of the district. Lighting sources and associated conduit for signs should generally be concealed from view.



Figure 48: Examples of appropriate signage in DeFuniak Springs. Left to right: suspended sign; marquee and bracket signs; wall sign.

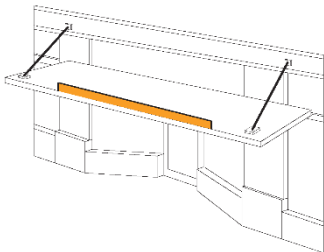
Best Practices

- Avoid attaching any signage to a building in a way that covers or destroys character defining elements of an entry or façade.
- Connect wall-mounted signage through mortar joints rather than masonry units.
- New signage located on the flat, unadorned parts of a façade, such as the horizontal band between the storefront and cornice, or on windows, awning flaps, fascia, and frieze, or other areas where signs have been historically placed on the building.
- Limit the overall number of signs to avoid a cluttered appearance that competes with the building's historic character.



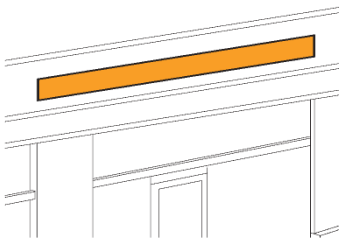
Awning Sign

This sign type is common on traditional storefronts with awnings. Awnings protect merchant wares and keep shopfront interiors shaded and cool in hot weather, but they also serve as a focal point for a commercial property's front façade. Business names and logos can be located on the slopes, returns, and valances of awnings. The most legible awning signs are designed with a color contrasting the awning background or are outlined in a contrasting color.



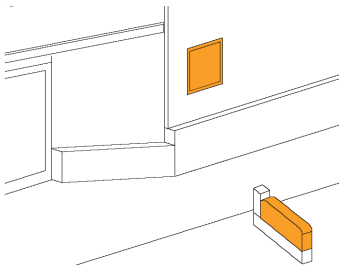
Canopy Sign

This sign type is common on traditional storefronts with canopies, both stationary and suspended. Canopies protect merchant wares and keep shopfront interiors shaded and cool in hot weather, but they also serve as a focal point for a commercial property's front façade. Signage is typically located on top of the canopy.



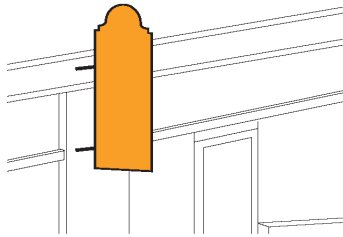
Signboard

This sign type is common on traditional commercial properties, particularly two-part commercial block buildings that were designed with a signboard area on the wall above the storefront. Signboard signs should be mounted flush on the façade centered over the entry to the business or centered in the signboard area.



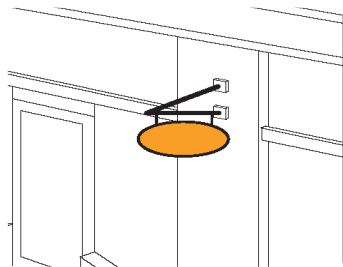
Directory Sign

This sign type provides a listing of establishments within a building or series of buildings. Directory signs are typically designed to complement the design of the entry and façade to which they are attached. They are usually mounted flush on the façade near the front entry or on a monument sign adjacent to the building entrance.



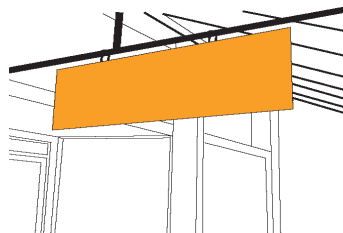
Marquee Sign

This sign type is a vertical sign that is located either along the façade, where it projects perpendicular to the façade, or at the corner of the building, where it projects at a 45-degree angle.



Hanging or Bracket Sign

This sign type is mounted perpendicular to a building's façade located above the entry to ground or upper floor businesses. These signs are small, pedestrian scaled and easily read from both sides. They may be constructed of wood, metal or other appropriate materials.



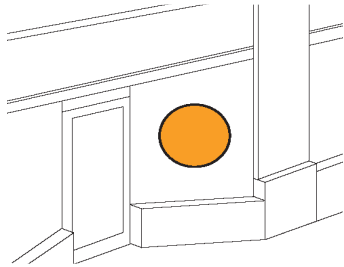
Suspended Sign

This sign type is mounted to the underside of beams or ceilings of a porch, breezeway, stationary canopy, or similar covered area. These signs are small, pedestrian scaled and easily read from both sides.



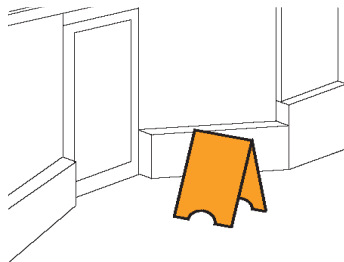
Wall Sign

This sign type is flat against the façade consisting of individual cut letters applied directly to the building or painted directly on the surface of the building. Walls signs are located on the front, side, or rear walls of a building. They may be made of metal, wood or other appropriate materials and attached to the wall.



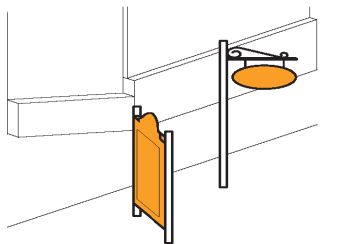
Window Sign

This sign type is professionally painted consisting of individual letters and designs or gold leaf individual letters and designs applied directly on the inside of a window; they may also be attached to Plexiglas, glass, or other transparent material and hung inside the display window. Display windows and glass entry doors are often used as locations for permanent business signs.



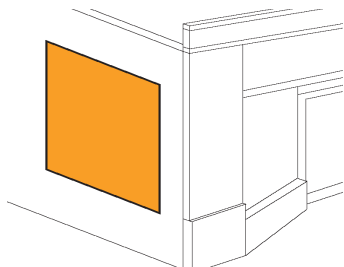
Freestanding Sign

This sign type is not attached to a building and provides secondary signage. Freestanding signs may be made of wood or metal and contain both permanent information such as the name of a business with an arrow pointing to the shop off the sidewalk, and changeable information, such as the daily menu for a restaurant or sale announcements for retail shops.



Pole/Monument Sign

This sign type encompasses a variety of signs that are not attached to a building and have an integral support structure. Two varieties include: Monument and Pole.



Wall Mural Sign

This sign type is flat against a secondary façade, typically along a side street or alley. Wall mural signs are typically painted directly on the building and contain a combination of text and graphic elements.

4.4. ACCESSIBILITY, CODE COMPLIANCE, & SAFETY

The Americans with Disabilities Act (ADA) requires public buildings and spaces to be accessible for Americans with impaired mobility. While not explicitly requiring all private homes to be ADA-compliant, certain aspects of the ADA can influence accessibility considerations for private residences, particularly for public accommodations within those homes or when making renovations.

Key exterior requirements for public properties include creating accessible parking and entrances. All proposed ADA projects should also make sure that they meet the current Florida Building Code (FBC).



Figure 49: Left to right: examples of an appropriate ADA side ramp, rear exterior elevator tower, and rear exterior stair on residential and commercial buildings.

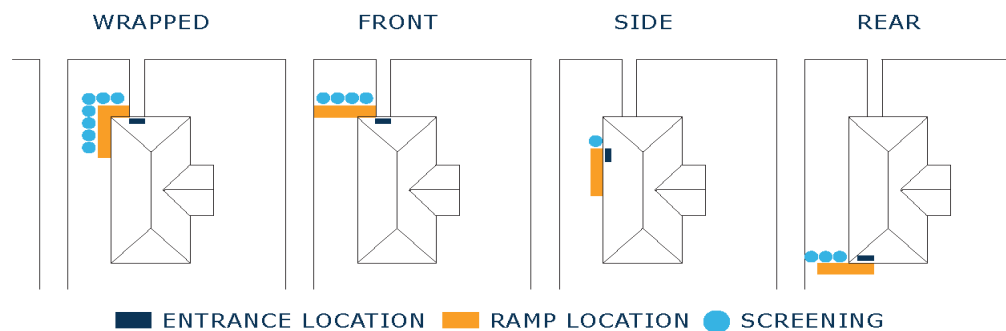


Figure 50: Examples of appropriate locations of ADA ramps on residences with landscaped screening.

Best Practices

- Railing and ramp designs that are compatible with the style and materials of an existing porch or building.
- New handrails that meet current FBC, ADA, and any life safety standards.
- Ramps installed on the rear, side, or secondary elevations of a residence that do not compromise accessibility. Ramps constructed on more visible locations that are appropriately screened.
- New fire escapes, exterior stairs, or elevator tower additions located on secondary elevations or elevations not highly visible from public spaces.
- Elevator tower addition designs that are compatible with the massing, size, scale, and architectural features of the historic structure, and designed so that it is clear that it is a later alteration.

4.5. EXTERIOR MATERIALS

Standard Masonry

The majority of exterior materials used for walls in the commercial and institutional areas of the historic districts of DeFuniak Springs are painted and unpainted brick, painted and unpainted concrete block, and stucco.



Figure 51: Left to right: most masonry buildings are found in the Downtown Business District; inappropriate modern mortar replacement resulting in damaged historic bricks; new brick masonry units installed around a new accessibility door.

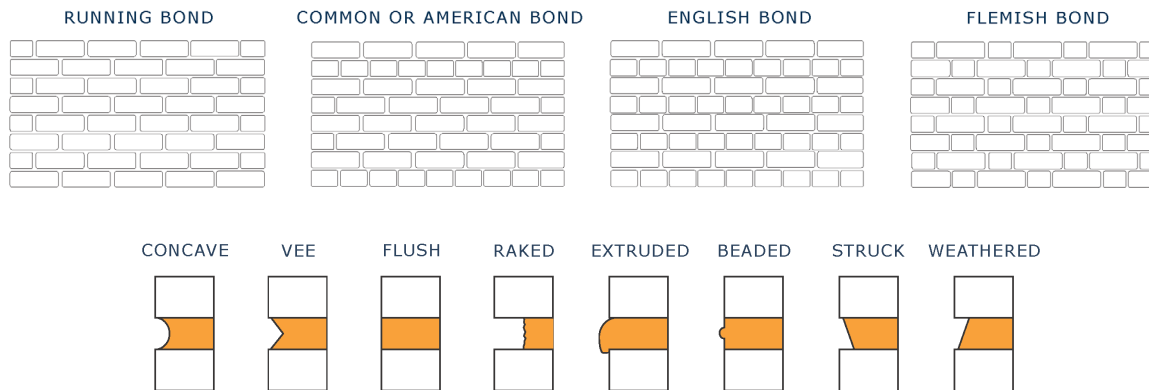


Figure 52: Examples of typical brick bond patterns and brick mortar joints.

Best Practices

- The replacement of deteriorated masonry either in-kind or with a material that matches the original in size, texture, color, and profile.
- Not applying waterproof coatings to masonry walls as this can change the building's appearance and cause moisture to be trapped inside of a brick or other masonry cavity.
- Not stripping the paint off historically painted masonry.

Painting Advisory

If you've determined that repainting is critical to save or maintain your damaged masonry, use a highly vapor-permeable paint. Historic preservation masonry supply companies are available across the country to provide you with the right breathable paint for your project.

Standard Historic Siding

The majority of exterior materials used as wall cladding on residences in the historic districts of DeFuniak Springs are siding and cladding types, including clapboard, bevel, double ogee, board-and-batten, patterned shingles, and novelty drop siding.

Board Widths

Narrower widths like 6-inch and 8-inch are the most common widths for historic wood siding like clapboard and bevel. It was also not uncommon for some siding like bevel to also feature 10-inch and even 12-inch-wide boards.

The main vertical boards installed for board and batten siding are usually a minimum of 8-inches wide with the joints covered by smaller vertical boards that are usually between 1- and 2-inches-wide.

Wood shingles were commonly sized 16-, 18-, and 24-inches long and came in widths from 6- to 13-inches.

Board Thickness

Wood siding boards are historically around 3/4-inches-thick and wood shingles typically feature a thickness of between 3/8- and 3/4-inches-thick.

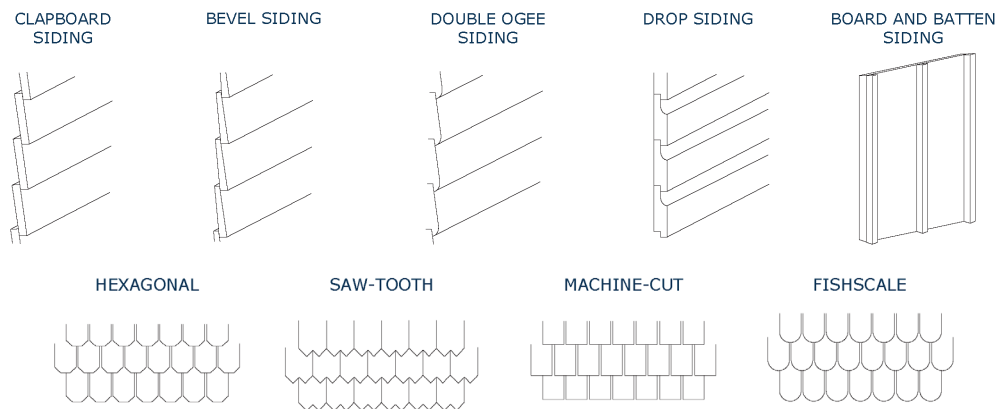


Figure 53: Examples of appropriate wood siding and shingle patterns.

Best Practices

- The piecemeal replacement of damaged historic siding members either in-kind or with a material that matches the original siding in board width, length, and thickness.
- Avoid applying replacement siding that will damage underlying materials, trap moisture, or compromise the structural capacity of the façade.
- Following hazardous material disposal guidelines when removing or replacing asbestos siding.

Painting Advisory

Choosing a compatible paint type for your exterior materials is vital; it should be breathable and compatible with historic materials. Eco-friendly and durable options are preferable to ensure the paint job's longevity.

Standard Contemporary Siding

While maintaining and preserving existing historic siding is the preferred approach in historic districts, contemporary siding replacement can be appropriate if it matches historic siding in board width, length, and thickness; covering historic details does not have nearly the negative effects as removing them.

The use of contemporary building materials on new construction within a historic district assists in making the new construction appear a product of its own time, rather than conveying a false sense of history. However, such materials should still contribute to the visual continuity within its context and appear similar to those seen traditionally.



Figure 54: Example of more appropriate vinyl siding that uses smooth boards with compatible board length, width, and thickness.



Figure 55: Example of inappropriate vinyl siding with incompatible board width.

Best Practices

- The use of contemporary siding in new construction when the boards are laid in a historically accurate manner.
- Use smooth finished boards matching the original historic material profile as closely as possible. Although many contemporary boards come in a wood-grain texture, this is not historically appropriate as historic wood siding was typically planed and sanded smooth prior to painting, and a smooth plank creates a more appropriate finish.
- Siding joints and seams on contemporary siding are to be lapped toward the rear of the building, and joints must be staggered randomly to avoid a "stair step" appearance. Joints should be avoided in areas with spans of less than 12-feet in length.

4.6. FOUNDATIONS

The foundations for historic buildings within the historic districts of DeFuniak Springs primarily consist of slab-on-grade and pier foundations.

Open Foundation Screening

Brick or concrete block pier foundations typically feature screening which includes framed lattice of crisscross design, narrow vertical boards, decorative brick, or other openwork design to obscure the crawlspace under the building.



Figure 56: Examples of foundations found within DeFuniak Springs.

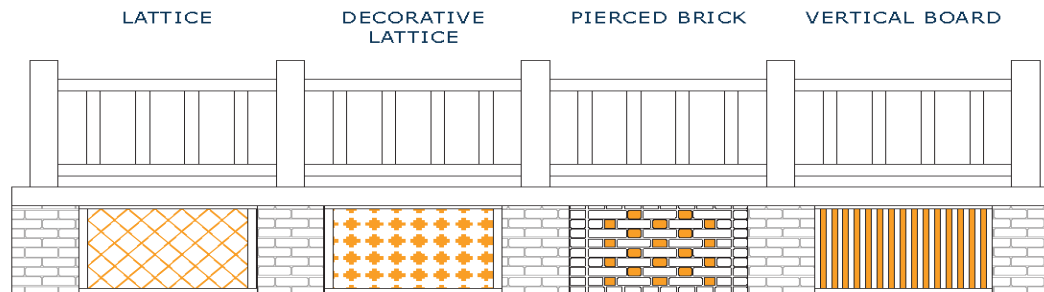


Figure 57: Examples of appropriate open foundation screening.

Best Practices

- Installation of screening to obscure the crawlspace of a pier foundation building.
- The protection, insulation, and/or concealment of utility connections, ducts, and pipes located underneath the building in an open foundation.
- Trees, shrubs, and other plants planted well away from a foundation to prevent damage from moisture and root growth. Typically, a minimum distance of 2-feet between the plantings and the foundation wall is recommended.

4.7. DOORS

Main entry doors on both residential and commercial buildings are usually designed to have a warm, welcoming appearance, while side and rear doors of are usually more utilitarian. Main entry doors designed as part of a storefront are often recessed to provide protection from the weather and allow more room for the display of products within the recessed entry.

Standard Doors

Doors are centered in their bays with front façade doors typically featuring panels that can be raised or flat, or glazing, including plain, colored, stained, beveled, and etched glass. Double doors are often used, as well as single doors with sidelights, transoms, and fanlights. Many residential doors in DeFuniak Springs also feature screen and/or storm doors.

Trims

Doors typically have a 5½ -inch wide flat trim, often edged with a plain band or a simple cap molding.

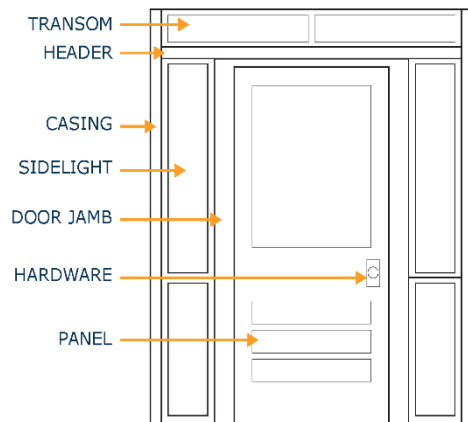


Figure 58: Examples of appropriate historic doors, the center image demonstrating a compatibly designed storm door.

Best Practices

- Screen doors installed with designs that are compatible with the existing door design; full light storm doors are preferred when used on the front façade.
- New or replacement hardware that matches the original finish, type, and style.
- Alterations to historic doorways that respect the historic character of the building.
- Replacement doors that are the same size as the original door and fit within the historic opening.
- Doors on new construction that mimic the fenestration pattern of surrounding historic examples.
- Doors within storefronts that are compatible with the design of the storefront.

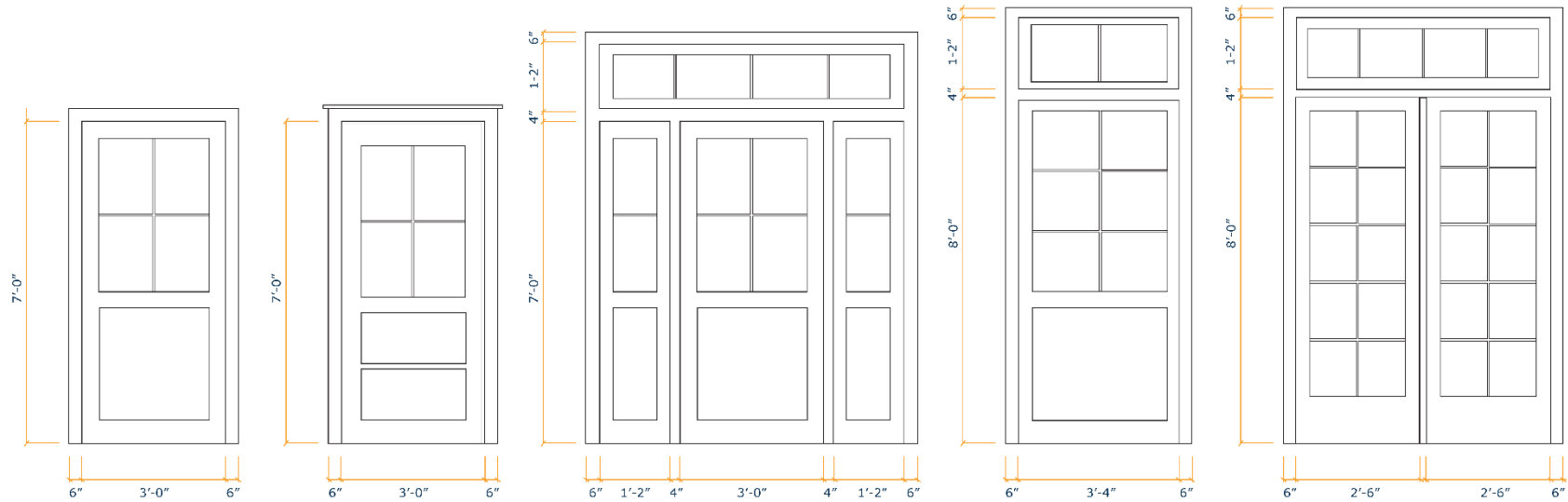


Figure 59: Standard door dimensions.

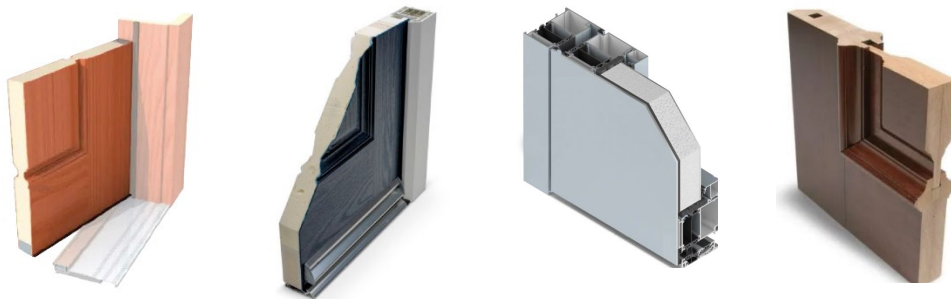


Figure 60: Cross sections showing common materials for replacement doors. From left to right: fiberglass, composite, aluminum, and wood.



Figure 61: Left to right: examples of appropriate fiberglass front door, steel rear door, and composite front door in terms of proportion and design.

4.8. WINDOWS

Windows are among the most prominent features on a building and are important architectural elements of the building's façade.

Standard Windows

Windows are typically vertical in proportion. Two basic window patterns include 1 over 1 and 2 over 2, double-hung with wide trim that is flat or has a simple bond, with simple headers. On the front façade of the principal floor, the sill height may be no more than 3 feet for the majority of the windows.

Special Windows

Special windows include dormers or small rectangular accent windows. Dormers have either shed, hipped, or gabled roofs, and rectangular windows.

Trims

Windows typically have a 5½ -inch wide flat trim, often edged with a plain band or a simple cap molding.

Shutters

Painted, operable shutters are encouraged on single windows. Shutter styles can be louvered or planked. Awning shutters (hinged at the top) are encouraged.

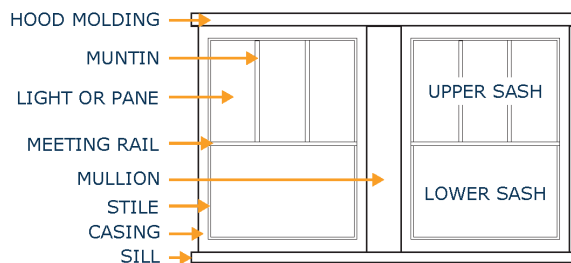


Figure 62: Examples of appropriate historic windows, the right image demonstrating a compatible storm window.

Best Practices

- The removal and replacement of historic wood or steel windows only when it can be demonstrated that they are deteriorated beyond repair.
- The replacement of original deteriorated window elements either in-kind or with a material that can replicate the original's size, configuration, and molding profile.
- New windows that match the architectural character of a historic building's façade in size, pattern, profile, and proportion.
- New construction window heights and sizes that are consistent with that of the surrounding buildings.
- Decorative window elements, such as the sash, muntins, and sill, designed to complement the exterior detailing of a building.

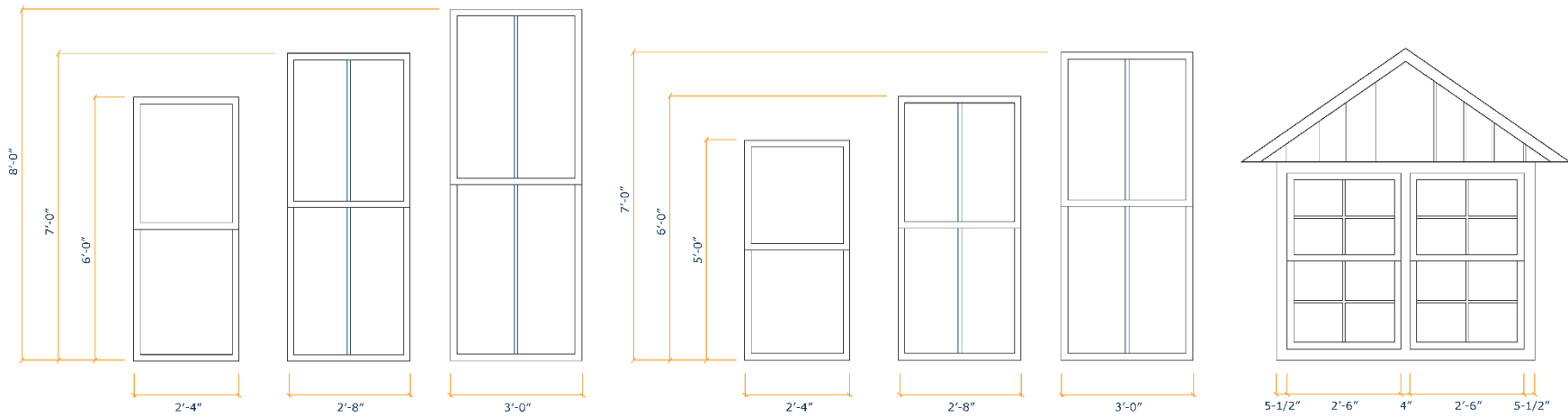


Figure 63: Standard window dimensions - First Floor

- Second Floor

- Gable Roof Dormer

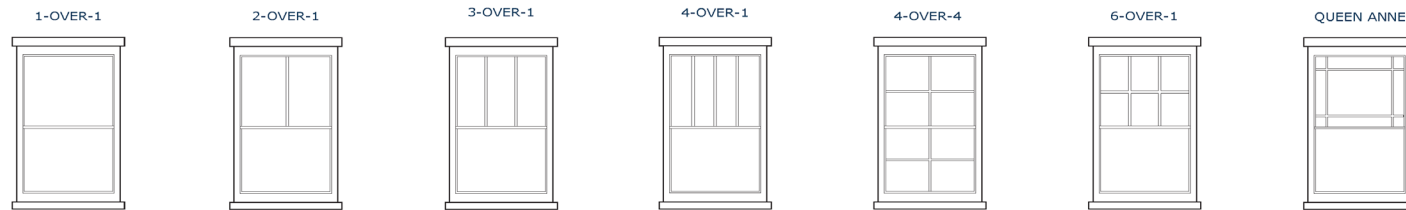


Figure 64: Diagram of typical window types.



Figure 65: Cross sections showing common substitute materials for windows. From left to right: aluminum clad, vinyl clad, vinyl, and composite/fiberglass.



Figure 66: Examples of an appropriate vinyl clad (left) and an incompatible vinyl (right) window replacements in terms of proportions and profile.

4.9. PORCHES

Many historic residences in DeFuniak Springs have front porches that often feature many decorative elements. Porches are especially susceptible to deterioration and are often altered to fit the changing needs and styles of the time. Front porches are held to a higher standard than side or rear porches.

Standard Porches

Porches are a minimum of 8 feet deep and range from partial-width, full-width, to wraparound. They can be one- to two-stories with either shed, gabled, or hipped roofs; they can also be integrated under the roof of the main building.

Column Types

Column types include simple square, turned, tapered or chamfered square columns of 4 to 8 inches, or square box columns up to 12 inches on major porches. Double posts on a singular pier are commonly featured on Craftsman style residences. Balusters should be square with tight spacing, or simple cutouts from wide rails. Column heights are typically 9 to 10 feet for the first floor of a two-story porch, and 8 to 9 feet for a single-story porch. The beam is to be the same width as the column.

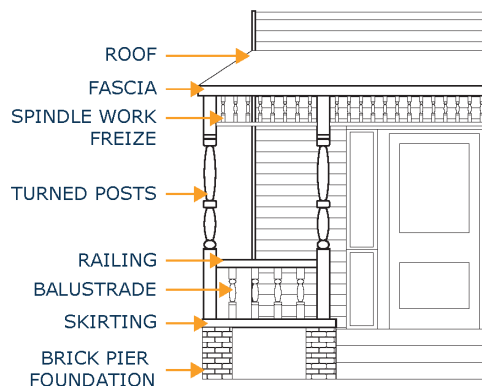


Figure 67: Examples of porches found within DeFuniak Springs.

Best Practices

- The replacement of an original deteriorated porch feature either in-kind or with a material that can replicate the original in size, design, detail, scale, and finish.
- The replacement of missing posts and railings with new ones that match size, shape, profile, proportion, and spacing to the historic feature.
- A new porch added to a side or rear façade if designed to be compatible with the overall character of the building.
- When a side porch is enclosed or screened, a clear or transparent material is incorporated, and the infill material is placed behind porch columns.
- Designing a new construction porch with decorative elements that are compatible with the architectural style of the building and the surrounding district.

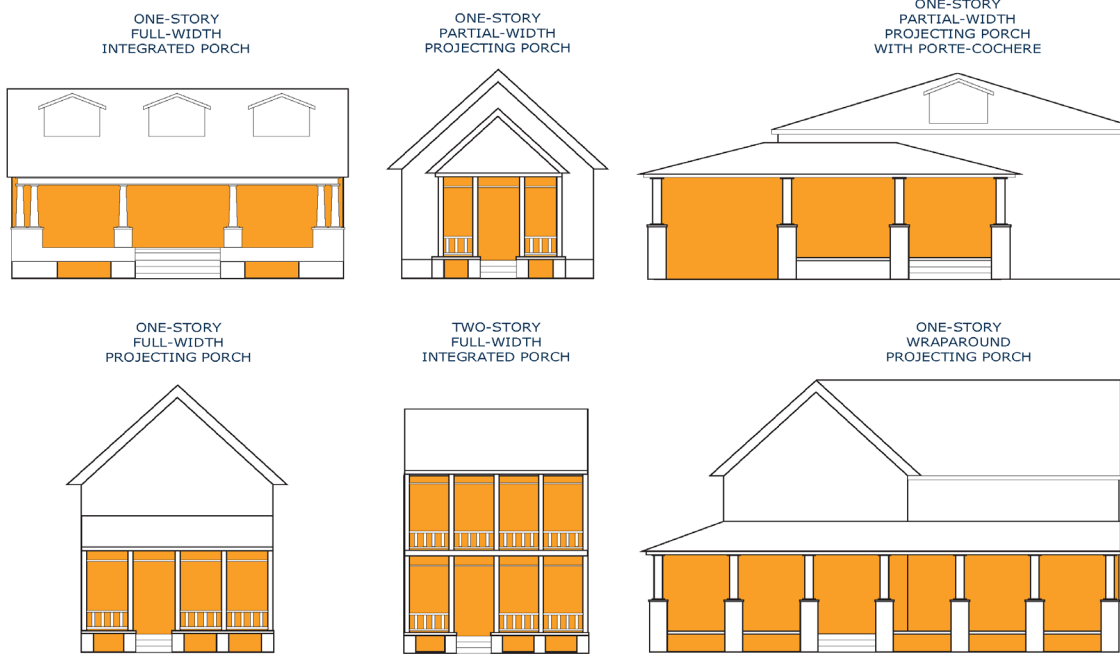


Figure 68: Standard porch type diagrams.

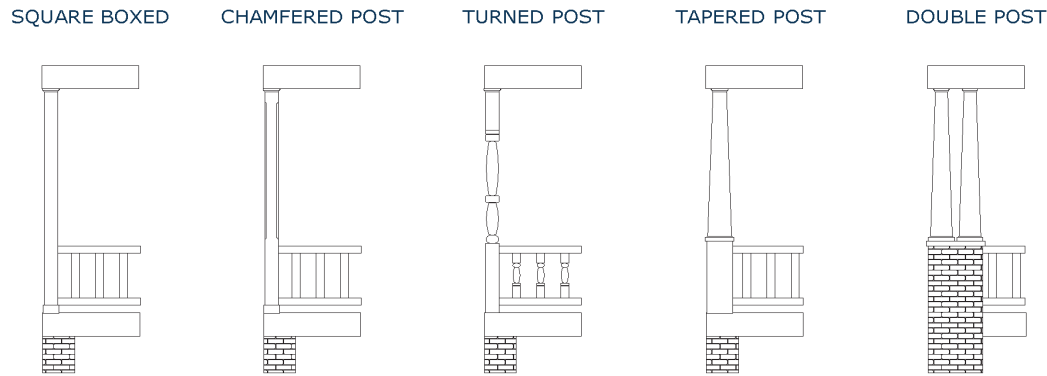


Figure 69: Examples of appropriate porch column styles.

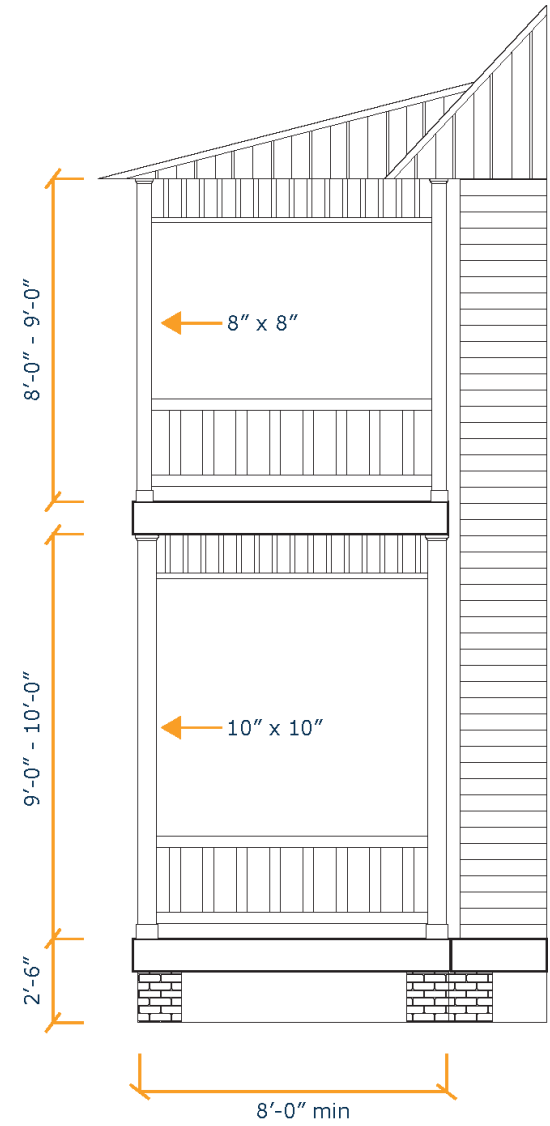


Figure 70: Standard porch dimensions.

4.10. ROOFS

The roof is one of the prominent defining features of a historic building. Historic roof shapes and elements such as chimneys, gables, dormers, and steeples are important character-defining features of roofs. A variety of roof types are common within DeFuniak Springs and are largely dependent on the architectural style and form of the building.

Forms

Residential roofs forms commonly include shed, gable, cross gable, and hip; they can be low or steep pitched and can also feature integrated porches. Commercial roof forms commonly include flat with stepped parapets or flat parapets with detailed cornices.

Materials

Typical roofing materials within the historic districts include composition asphalt shingles, built-up composition, decorative metal roofing tiles, terra cotta, and various types of metal surfacing.

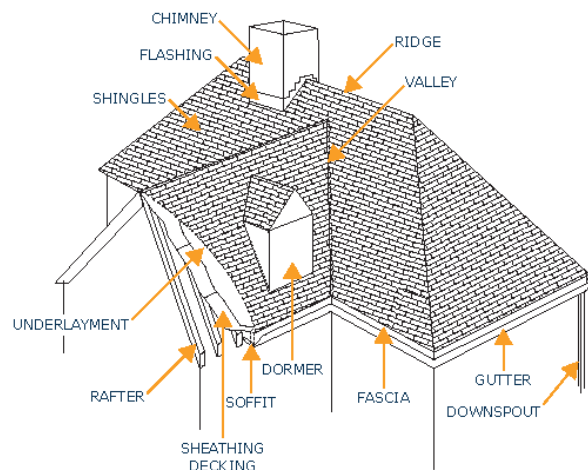


Figure 71: Examples of various roofing forms and roofing materials found within DeFuniak Springs.

Best Practices

- Roof colors, when visible, are compatible with the color scheme of the building and the surrounding district.
- The full replacement of a historic roof material at the end of its useful life either in-kind or with a new material that successfully mimics the texture, pattern, and color of the original.
- Substitute roofing material that is not used to create a false sense of a roof that never existed on a historic building but rather matches the building's architectural style and roof form.
- Asphalt shingles, when chosen as replacement roofing, are an unobtrusive color like dark grey, black, dark brown or a dark reddish brown.
- The cornices on new construction buildings match the heights of surrounding buildings.

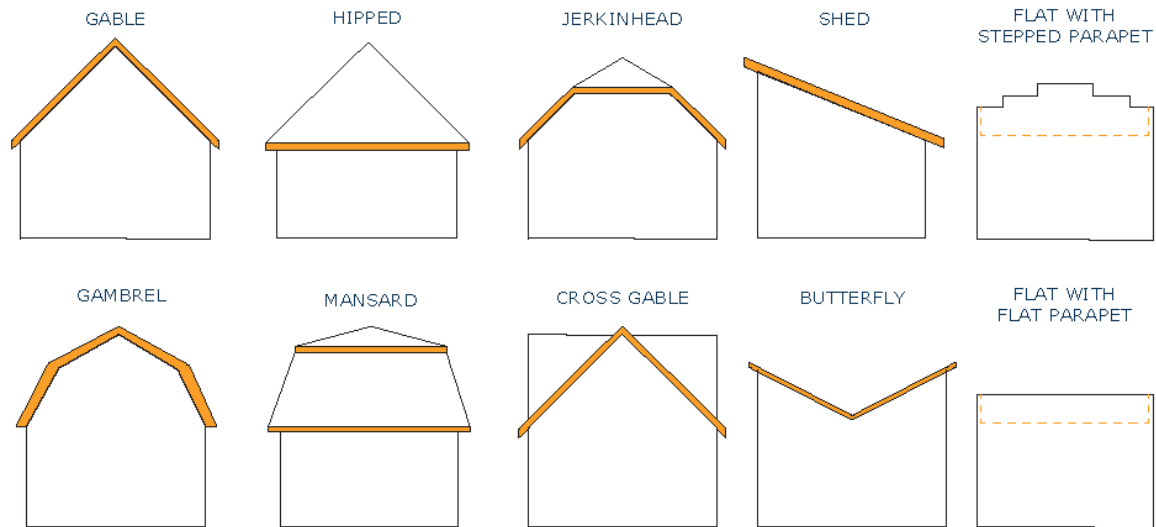


Figure 72: Examples of typical roof forms.

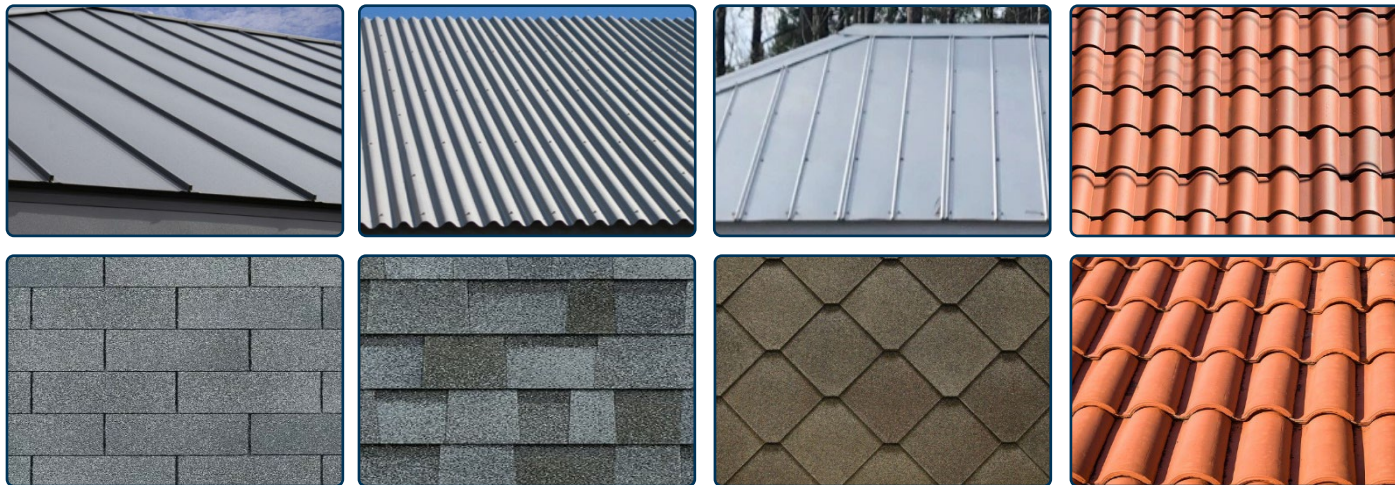


Figure 73: Examples of common and replacement roofing materials. Clockwise: standing seam metal, corrugated metal, 5v crimp metal, decorative metal, terra cotta, diamond shaped luxury asphalt shingles, architectural asphalt shingles, and three-tab asphalt shingles.

4.11. STOREFRONTS

Storefronts are some of the most important elements of the front façade of commercial buildings as they help attract customers and clients to a business by providing an inviting appearance and allowing view into the ground floor. Traditional storefronts are composed of a storefront cornice, signboard area, entrance, display windows, and framing elements consisting of storefront piers and bulkheads.

Standard Storefronts

Standard commercial buildings range from one to three stories in height, the majority being one story. The storefront makes up the first floor of a commercial building and are a minimum of 14-feet tall; the upper stories a minimum of 8-feet tall.

Large plate glass windows at the street level of the façades are the foremost features of a traditional storefront from the late 19th and early to mid-20th centuries. The windows themselves are raised off the ground by wood, cast iron, brick, tile, or pressed metal panels or bulkheads.

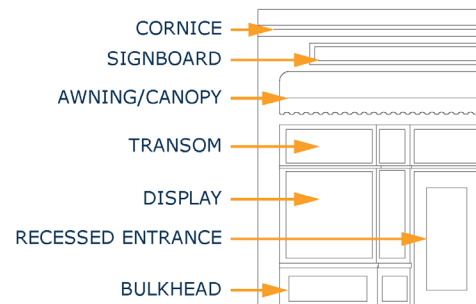


Figure 74: Examples of storefronts found throughout DeFuniak Springs.

Best Practices

- Display windows installed with clear glass, without dark tint. If privacy is desired, blinds or drapes are installed on the inside of the window.
- The replacement of a deteriorated storefront feature in-kind or with a material that can replicate the original feature in design, dimension, detail, texture, color, material.
- The replacement of missing storefront elements with elements designed based on documentary or photographic evidence. If none exists, the replacement element is designed to be compatible in size, shape, profile, color, and character of the storefront.
- Avoid adding details and ornamentation to existing storefronts that create a false sense of history or are incompatible with the overall design of the storefront.
- Designing a new construction storefront to fit within the existing storefront piers and cornice line of the extant block.

Entrances

Storefront doors are typically recessed into the storefront itself and can be centered in their bays amidst display windows. Front façade doors are full or half-light with either single- or multi-light inset glass. Double doors are often used, as well as single doors, both featuring operable or fixed transom windows.



Figure 75: Examples of storefront entrances found within DeFuniak Springs.

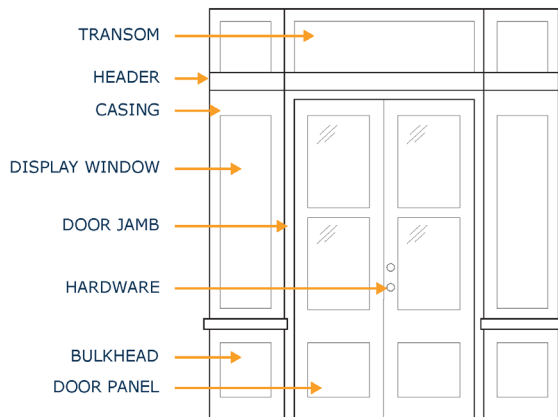


Figure 76: Standard commercial building dimensions.

Best Practices

- The installation of new, code compliant doors that are appropriate to the style of architecture on commercial storefront.
- Avoid the replacement of doors with stock doors that do not fill the original openings or duplicate the unit in size, material, and design.

Upper Façades

Commercial buildings are typically designed for commercial use on the street level and office, mercantile, or residential uses on the upper levels. Parapets, be it flat, stepped, curved, or another shape, often also feature on the upper façade of commercial buildings. Parapets are a minimum of 30-inches above the roof surface.

The upper façades of DeFuniak Springs’ downtown buildings are typically constructed of brick with varying levels of detail including brick corbelling; quoins; dentils; brackets; and pressed tin and sheet metal cornices. The upper façades of two-story commercial buildings typically have rows of windows, allowing natural light into the upper floor or floors.



Figure 77: Examples of upper façades found on commercial buildings within DeFuniak Springs.



Figure 78: Examples of typical commercial cornices.

Best Practices

- The replacement of an original deteriorated cornice detail or element either in-kind or with a material that matches the original in design, dimension, color, and material.
- Avoid replacing, removing, or covering historic upper façade features such as cornices, parapets, and ornamentation.
- Avoid the addition of conjectural features or historically incorrect details or ornamentation to the upper façade of a building.

4.12. AWNINGS & CANOPIES

Awnings provide shelter from the sun, rain, and snow, and help improve the thermal efficiency of windows exposed to direct sunlight in summer. Many historic awnings were operable so they could be retracted, either at night or to allow sunlight to enter the building during the winter. Awnings and canopies are typically found on storefronts, with awnings also featured on the windows of commercial and residential buildings.

Standard Awnings

Commercial awnings on the first-floor project a minimum of 3-feet and a maximum of 9-feet from the building façade and have a minimum of 8-foot clearance from the sidewalk. Awnings frame shapes include traditional, arch, and circular. Metal canopies can be stationary or suspended.

Materials

Fabric awnings were historically made of steel frames and canvas duck. Today the frames are typically made of aluminum covered with a fabric such as canvas or similar woven material that has been treated with a fire retardant. Metal awnings primarily come in two different materials: aluminum and galvanized steel.

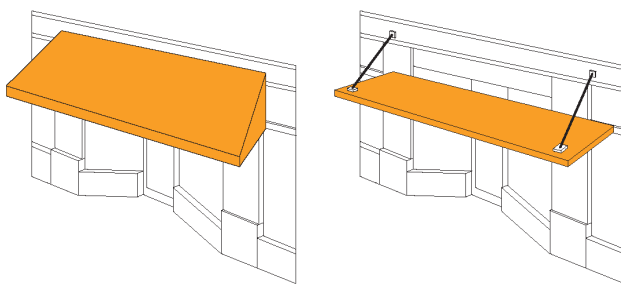


Figure 79: Examples of a typical commercial awning and canopy.



Figure 80: Examples of fabric awnings found within DeFuniak Springs.

Best Practices

- Awnings that fit the opening to which they are applied; arched openings that feature curved or rounded awnings (not bubble) to match the opening.
- Awnings mounted to historic masonry buildings through mortar joints rather than through masonry units, this prevents unnecessary damage to original details and materials.
- Awning colors that coordinate with the building's overall color scheme; solid colors and stripes are generally appropriate.
- Awnings and canopies installed so that they do not obscure significant decorative windows or architectural features.

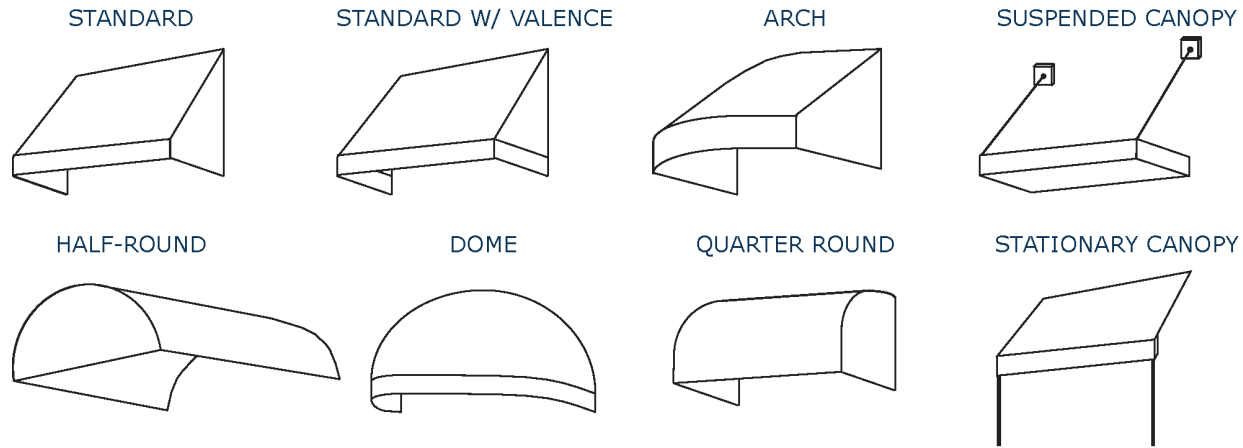


Figure 81: Examples of typical awning styles.

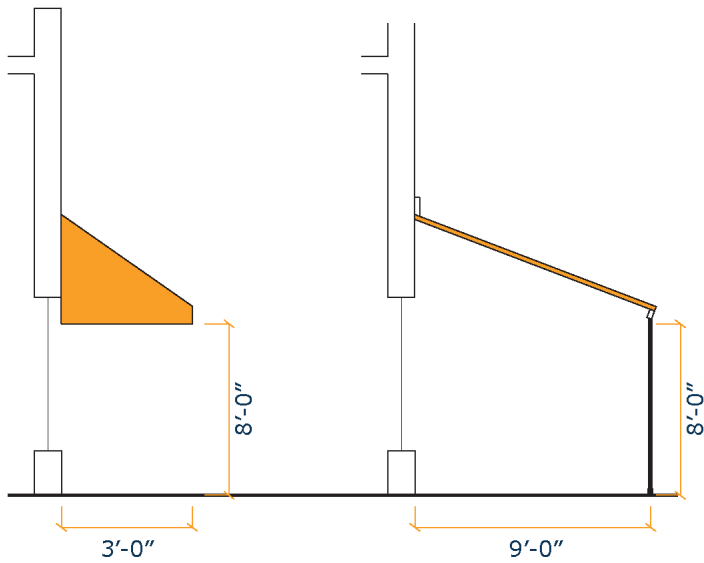


Figure 82: Standard awning dimensions.

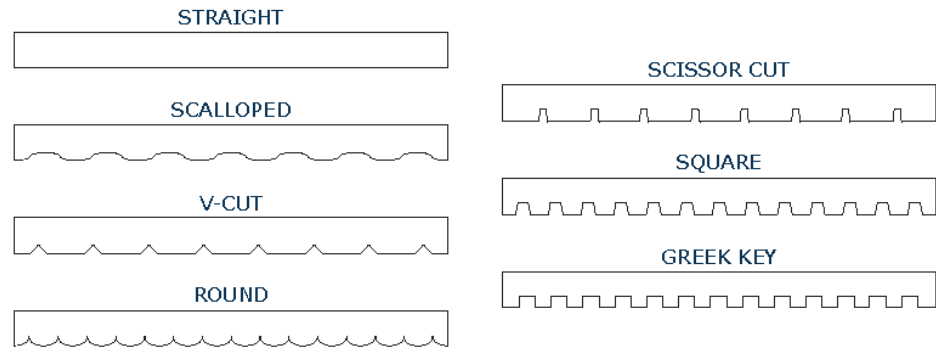


Figure 83: Examples of standard valance styles.

4.13. EXTERIOR LIGHTING

Historically, exterior light fixtures were confined to business signs, entries, and sometimes architectural features such as cornices. Public, religious, and institutional buildings were often full illuminated to confirm their importance to the entire community. Exterior illumination on residential buildings is limited to porch lights, entry lights, and sometimes lighting at driveway and sidewalk entries.

Style

Exterior light fixtures are designed and chosen to best match a building's architectural style through complementary shapes and finishes. For traditional homes, choose classic lanterns or traditional forms. Modern homes benefit from sleek, geometric fixtures with straight lines. Simple lantern designs are the most appropriate for vernacular homes.

Scale

To determine the right size for a front entry light fixture, consider the dimensions of the entryway and the scale of the building. Depending on the light fixture, it is common to choose light fixtures that are 1/3, 1/4, or 1/5 the size of the entry door's height. Door-framing lights are a natural choice for symmetrical entries and typically placed 6- to 12-inches from the door casing.

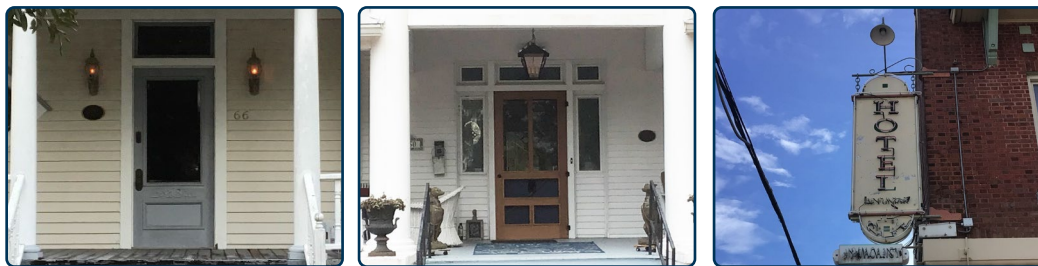


Figure 84: Examples of exterior light fixtures found within DeFuniak Springs.

Best Practices

- The repair of deteriorated or damaged historic light fixtures that maintains the original historic appearance.
- The replacement of missing or damaged light fixtures with new fixtures that replicate the original or with another similar example appropriate to the architectural character of the building.
- New fixtures installed in a manner that minimizes damage to historic building materials, installation through a mortar joint rather than through a masonry unit.
- Carefully consider the material of new fixtures as this will contribute their durability.
- Lighting with a warm glow is preferred over bright blue LEDs in the commercial corridor.

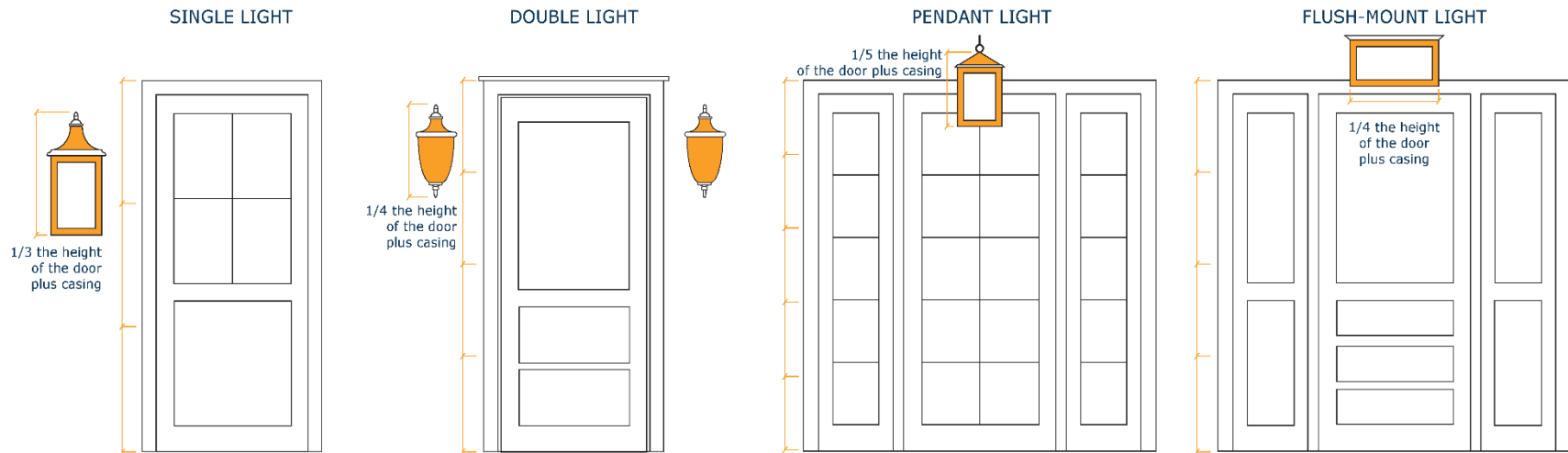


Figure 85: Examples of appropriate scales for exterior lighting around residential front entrances.

4.14. FENCING

Fences and perimeter walls are typically located at the front property lines in residential areas. They help to define public from private space, as well as significantly contribute to the character of the district. Screening fences are located around side and rear yards.

Standard Fences

A number of historic perimeter wall and fence types can be found throughout the DeFuniak Springs historic districts. These include brick walls; wood fences including picket and ranch rail; chicken wire; and cast-iron fences.

Front yard fences in a residential district do not exceed 2-feet above the nearest street grade. Screening fences along rear or side yards are between 6- and 8-feet in height and are generally opaque at a distance of 10-feet.



Figure 86: Examples of appropriate front yard fencing in DeFuniak Springs, the right image also demonstrating appropriate rear yard screening.

Best Practices

- Fences of an appropriate height that do not screen front yards.
- The replacement of a deteriorated historic wall or fences either in-kind or with a material that can replicate the original in type, scale, texture, and color. If use of the same material is not feasible, a simple fence in a style that complements the surrounding architecture is appropriate.
- New walls and fences that are consistent with the setback of the subject building and adjacent properties and that match the style of the building in scale and material.
- New fences constructed in a durable fashion with a consistent pattern.
- The use of chain link fences limited to rear yards.

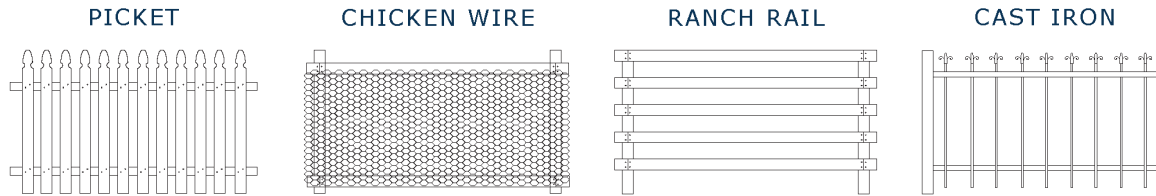


Figure 87: Diagram of appropriate fence types for front yards.



Figure 88: Diagram of appropriate screening fence types for rear and side yards.

Figure 89: Standard fencing height diagram.



Figure 90: Diagram of appropriate location of residential fences.

4.15. OUTBUILDINGS & ACCESSORY STRUCTURES

Outbuildings and accessory structures are primarily associated with residential properties and often contribute to the overall character of a property and the district. Accessory structures are subordinate to and typically compatible with the principal building and are often not easily seen from the public right-of-way.

Standard Accessory Structure

A number of outbuildings and accessory structures can be found throughout the DeFuniak Springs historic districts. These include but are not limited to sheds, carriage houses, garages, summer kitchens, and carports.

Accessory structures are located at least 10-feet from any principal building or other accessory structures in the rear or side yard; they may be appropriate in the front yards of double frontage lots they're at least 15-feet from the lot line. Accessory structures in a residential district should not exceed 800-square feet of heated and cooled area.

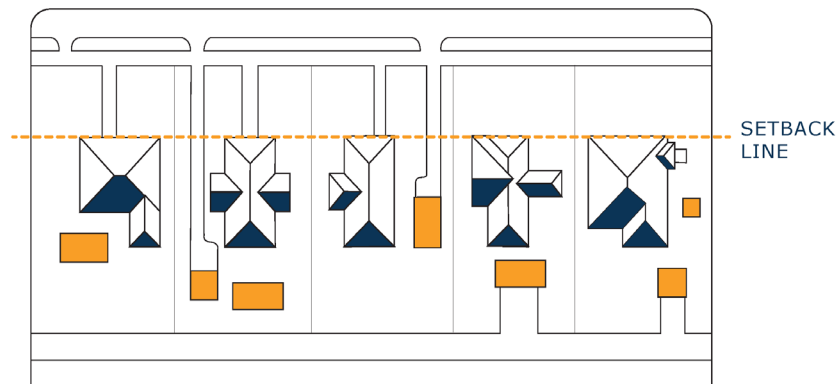


Figure 91: Diagram of appropriate locations of accessory structures within a residential block.

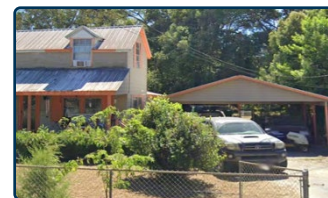


Figure 92: Examples of accessory structures found within DeFuniak Springs.

Best Practices

- The piecemeal replacement of damaged historic siding members either in-kind or with a material that matches the original siding in board width, length, and thickness.
- New accessory structures constructed in rear or side yards of a property that are designed to be compatible with the architectural style, scale, form, and materials of the principal building on the property.
- New or replacement hardware on accessory structure doors that matches the original finish, type, and style.
- Avoid new accessory structures that are a greater height than the principal building on the lot.
- The construction of prefabricated, non-permanent sheds in the rear of the property that are small in scale and congruous with the style of the principal building, including materials.

Standard Parking Structure

Parking structures must be delicately incorporated into the design of a property. Parking structures include carports, garages, and carriage houses; the impact of a garage structure can be minimized by constructing a carriage house that includes living space above the garage. Porte cocheres or carports integrated under the roof of the principal building are also encouraged as parking structures.

Garage doors can be out-swinging, overhead, or sliding and are typically carriage style or paneled and constructed with wood or aluminum.

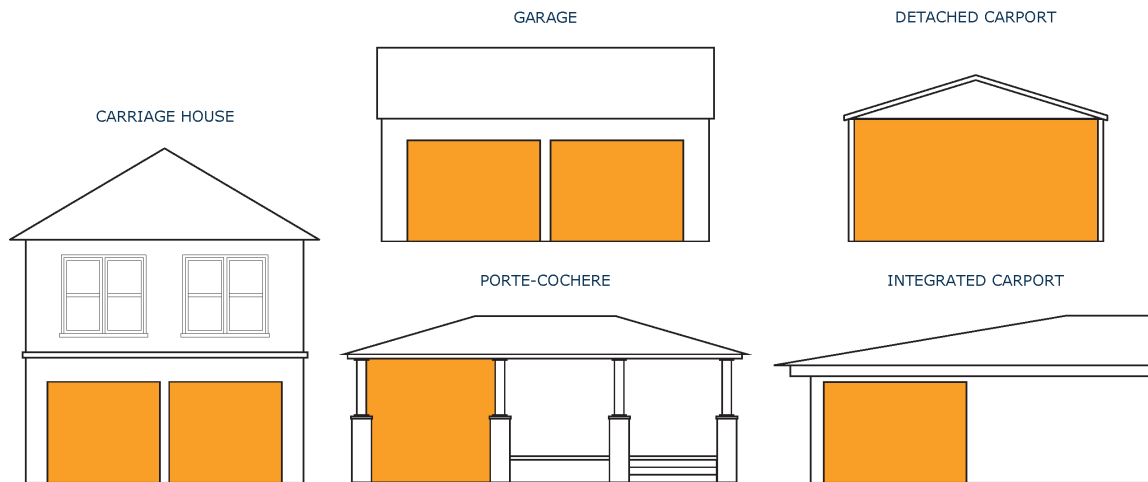


Figure 93: Standard parking structure types.

Best Practices

- New parking structures constructed in rear or side yards of a property that are designed to be compatible with the architectural style, scale, form, and materials of the principal building on the property.
- The use of appropriate carriage style garage doors and hardware in keeping with the architectural style.
- New or replacement hardware on parking structure doors that matches the original finish, type, and style.
- Avoid new parking structures that are a greater height than the principal building on the lot.

4.16. PAINT & COLOR

The paint or other architectural coatings applied to the exterior materials help contribute to the character of a building. Some construction materials have colors that are integral to their manufacture, including brick, stone, cast stone, concrete, copper, and bronze. Other materials are painted or finished with other types of applied architectural coatings, including wood, tin, zinc, and stucco.

Although paint color is not regulated in the historic districts of DeFuniak Springs, there are certain color schemes that are recommended. In relation to the Chautauqua history in the DeFuniak Springs Historic District, it is recommended that the residences along Circle Drive primarily feature white paint. It is also recommended that the commercial buildings in the Downtown Business District feature white, subtle teal, natural brick, off white, and earthy colors and that the streetscape elements such as planters, benches, and canvas awnings feature black paint or fabric; this creates continuity within the commercial corridor.



Figure 94: Examples of appropriate color schemes for their building's architectural styles and for their location in DeFuniak Springs.

Best Practices

- Choosing a new building paint scheme that features a harmonious color palette with contrasting colors to accent details such as trim, dentil molding, etc.
- Limit your color scheme to no more than three colors unless your paint analysis shows the original paint scheme of your house or building had more than three colors.
- Consider what materials on your building will be painted or finished and choose paint appropriate to that material.
- Choose paint that is high quality and matches the existing paint composition on your building.

Choosing a Color Scheme

A residence's architectural style can help guide paint color choice. For example, Victorian homes often feature bold, contrasting colors, while Craftsman-style homes typically use earth tones. Research color schemes that are historically accurate or complementary to a residence's style to ensure a cohesive look. Cues can also be taken from the surrounding buildings of your property when selecting colors. Overall, colors should be chosen that harmonize with neighboring homes and the natural landscape while still showcasing the building's unique charm.

Most buildings can be categorized into three parts for a color scheme:

- body of the building
- major trim
- minor trim/accent



Figure 95: Example of appropriate color schemes for a frame vernacular (left) and Craftsman style (right) residence. Similar color schemes for other architectural styles can be found in the adjacent links.

Property Owner Resources

- Sherwin Williams:
<https://www.sherwin-williams.com/homeowners/historic-collection/exterior-historic-colors>
- Benjamin Moore:
<https://www.benjaminmoore.com/en-us/paint-colors/historical-collection>
- PPG:
<https://www.ppgpaints.com/color/color-collections/historic>

4.17. UTILITIES

As advancements in modern technology continue to grow, a compromise must be met between these ever-changing needs and the preservation of historic districts. Utilities include heating and air conditioning equipment, electrical panels and meters, telecommunications equipment, satellite dishes, and freestanding antennas.



Figure 96: Examples of best practice screened and painted utilities (left) and rear utility placement appropriately screened (right) on residential properties.



Figure 97: Examples of best practice fencing/landscaping screening of utilities (left) and rooftop utility placement (right) on commercial properties.

Best Practices

- Exterior conduit and housing utilities located as inconspicuously as possible.
- If possible, housing utilities painted to match the exterior surface to which it is applied; installation mounted to the side of a residence painted to match the siding color.
- Rooftop mechanical systems positioned so that they are not visible from the street.
- Equipment installed in a manner that minimizes damage to historic building materials, installation through a mortar joint rather than through a masonry unit.

4.18. NEW CONSTRUCTION

In planning new construction in a DeFuniak Springs historic district, building form and streetscape elements should be carefully considered. Streetscape elements can reinforce the area's attractiveness and make it a desirable place to live or do business. Building form is the largest element within the streetscape and tends to command with "form" referring to the shape and massing of a building. Historic downtown commercial buildings, for example, often have a form that is rectangular, tall in proportion, and long or deep.

To ensure compatibility with contributing historic structures within the historic districts of DeFuniak Springs, designs for new buildings should strive for compatibility with the following characteristics of surrounding buildings:

- a) Height, scale, orientation, spacing, and site coverage of surrounding buildings.
- b) Façade proportions and window patterns of surrounding buildings.
- c) Size, shape, and proportions of entrances of surrounding buildings.
- d) Materials, textures, color, and architectural details of surrounding buildings.
- e) Roof forms of surrounding buildings.
- f) Horizontal or vertical emphasis of surrounding buildings.
- g) Landscaping, walls, and fences in the surrounding area.



Figure 98: Examples of new residential and commercial construction that would be appropriate within a historic district.

Best Practices

- Site new construction on existing vacant lots.
- Use surrounding historic buildings to inspire new construction.
- The width and proportion of infill buildings should be similar to or compatible with surrounding buildings.
- Maintain solid-to-void (wall-to-window) ratios as found on surrounding historic buildings.
- Orient new construction toward the street and align new buildings with the setback of the surrounding buildings.
- The best new construction proposals are compatible with the existing environment without exactly duplicating existing buildings; they are products of their own time.



Figure 99: Diagram showing new construction residential examples with compatible and incompatible characteristics, including massing, scale, style, and fenestration, within a block in the DeFuniak Springs Historic District.

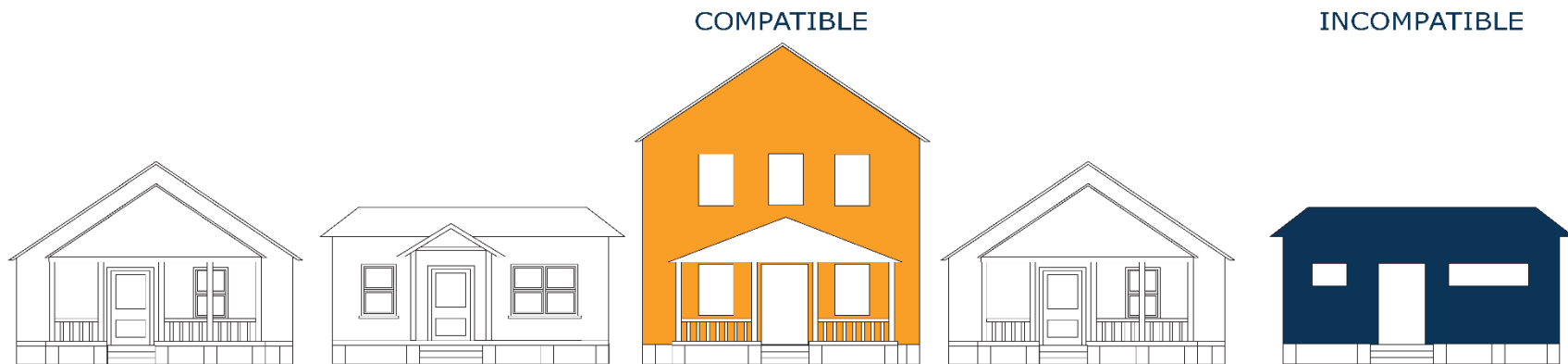


Figure 100: Diagram showing new construction residential examples with compatible and incompatible characteristics, including height, massing, scale, architectural character, and fenestration, within a block in the Dorsey Avenue Historic District.



Figure 101: Diagram showing new construction commercial examples with compatible and incompatible characteristics, including height, cornice line, and fenestration, within a block in the Downtown Business District.

The following design principles serve as guidelines for new construction within the historic districts of DeFuniak Springs, ensuring that new projects contribute to the aesthetic and integrity of the area.

Orientation

Orientation refers to the direction that a building faces in relation to the street. Most buildings are oriented so that the main entrance on the primary façade faces the street.

Setback

Setback describes the distance between a building and its property line. For the purposes of this document, it generally refers to the setback from the street-adjacent property boundary. Buildings shall conform with front yards of buildings within one hundred fifty (150) feet on each side.

Mass and Scale

Mass and scale are significant design features that contribute to the visual character and rhythm of historic districts. Commonly, historic buildings along a given street were built with similar mass and scale. While new buildings may be larger than historic ones, it is important that new construction not be dramatically greater in mass and scale than that which has been established in

the historic district. A building that is much larger than surrounding historic structures will compromise the visual continuity of the streetscape.

Height

A building's height is determined by the number of stories, as well as the shape of the roof and the presence or absence of projecting features such as chimneys or towers. Visual continuity is obtained when building heights are similar along a street or within a historic district. The height of newly constructed buildings should be within the range of heights historically found within the block and likewise, prominent features such as cornices or parapets should be of similar height as those traditionally found in the district. In order to maintain the established visual continuity of the streetscape, it is important that new buildings do not overwhelm surrounding historic structures in height but respect the established height pattern of the buildings in the block.

Width

A building's width creates a sense of rhythm that contributes to the sense of visual continuity and cohesiveness of the streetscape. When designing new construction, it is important to reflect the established pattern of building width in the area. New buildings may be wider than existing building widths as long as they convey a perception of width similar to historic buildings. This can be achieved by incorporating vertical divisions or subtle setbacks in the building's design which gives the appearance of traditional widths.

Rhythm and Spacing

Rhythm is the repetition of architectural forms along a streetscape. Width, height, spacing, setback, and orientation, as well as the placement of architectural features such as cornice lines, windows, and doorways contribute to the rhythm of the street. Proportions of window and door openings as well as the rhythm and spacing of window and door openings strongly contribute to the visual appearance and character of a district. This includes the pattern of display windows along storefronts as well as upper façade windows.

Alignment

When buildings on the same street are constructed with the same setback distance, they are aligned to one another. Elements such as cornices, rooflines, windows, and doors can be aligned vertically or horizontally and can be aligned based on the top, middle, or bottom of the element. You may not notice when things are aligned but it would likely be noticeable when they are not.

Proportion

Proportion refers to the visual effect of the relationship between architectural elements and the building as a whole. Proportions may be expressed as mathematical ratios drawn from classical architectural theory, which may be used to determine the placement and size of architectural features including windows, doors, columns, etc.

Architectural Style

A building's architectural style is defined by its overall appearance and common features which refer to particular trends that were in use in the region and time period in which the building was designed and constructed. Each architectural style combines qualities of massing, scale, proportion, rhythm, detail, and ornamentation. It is important to be able to distinguish new buildings from historic ones. Avoid replicating historic styles in new construction design or developing a design that contrasts too dramatically with the existing historic architectural context. New buildings need to be visually compatible with neighboring historic buildings yet be representative of their own time. Contemporary interpretations of traditional details are encouraged.

4.19. ADDITIONS

When designing and constructing an addition to a historic building, the primary goal is to protect the principal building's historic character and integrity. The most appropriate location for a new addition is where it has minimal visibility from public areas or primary views, such as on a rear or inconspicuous side elevation. New designs should be compatible in style, size, and location, but also clearly distinguishable from the historic building. The best additions achieve a balance, avoiding both identical and excessively contrasting styles.

Construction must be carefully planned to protect existing systems like roofing, drainage, and HVAC. While small additions like decks, porches, or fire stairs are common, any new construction, especially multi-story additions, should account for new structural loads.

Essential considerations for a new addition include:

- Placement or location of the new addition on the site
- Size, scale, and massing of the new addition
- Differentiating the new addition from the historic building



Figure 102: Examples of appropriate rear additions to residential and commercial buildings in DeFuniak Springs.

Best Practices

- Additions that are compatible with the massing and scale of the main building. In general, additions that are the same or lower height as compared to the surrounding historic buildings.
- Materials for the new additions that complement or otherwise harmonize with the surrounding historic materials.
- Additions that reflect but do not copy earlier architectural styles.
- Additions located on the side of a building that aligns with the façade of the principal building and respects the alignment and setback of other buildings on the street.
- Additions located on the rooftop that are set back from the front façade, that use similar roof form as the existing building, and that do not remove or alter historic character-defining rooftop features.

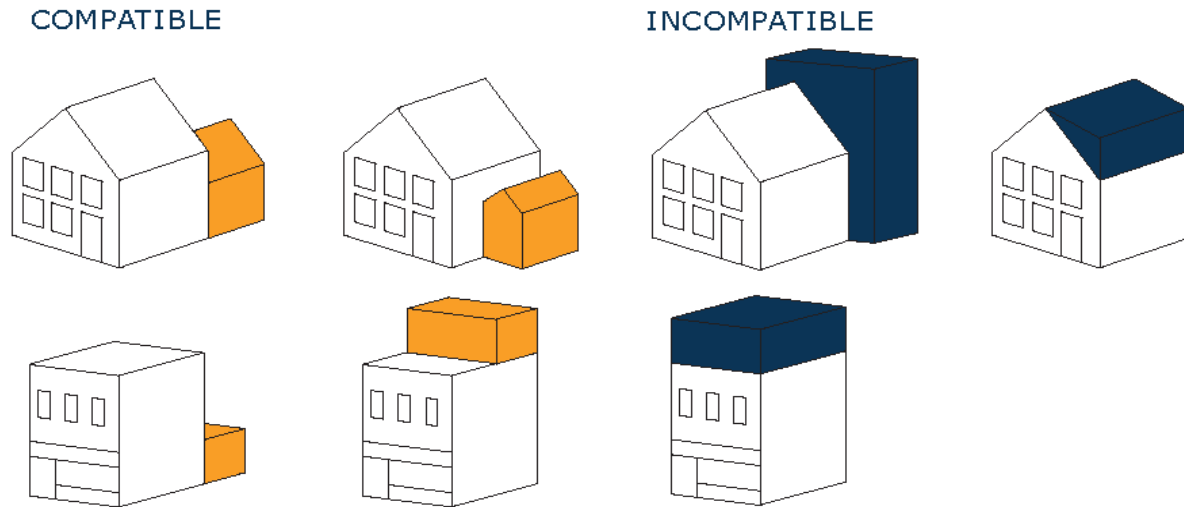


Figure 103: Examples of appropriate locations of additions for residential and commercial buildings.



Figure 104: Examples of compatible additions, in terms of scale and façade design, for residential and commercial buildings.

CHAPTER 5. DEMOLITION AND RELOCATION

5.1. DEMOLITION

Historic buildings contribute to the overall historical and physical significance of the city; the loss of any one of these historic buildings is a historic loss for the city. As such, demolition is strongly discouraged for any historic building. Demolition results in a loss of architectural and historical integrity and can dramatically change the character of a neighborhood. Demolition is generally discouraged; however, it may be approved in certain situations.

No permit for the demolition of a principal improvement in the Historic District shall be issued until a Certificate of Appropriateness (COA) has been granted by the Planning Director for both the demolition and proposed plans for new construction on the site. Preservation alternatives should also first be evaluated and the site to be demolished should be properly recorded.

Demolition by Neglect

Demolition by neglect is the willful negligence of a historic property in order to hasten its deterioration to a point where demolition is the only option. Property owners are expected to keep their buildings in sound repair in compliance with all applicable codes, laws, and regulations governing the maintenance of property.

Partial Demolition

In some cases, it may be appropriate to demolish a non-historic, non-contributing, or structurally unsound portion of a contributing property. Partial demolitions will be evaluated by the Planning Director on a case-by-case basis, taking into account the significance of the building, the portion to be demolished, and the context of the surrounding area.

Total Demolition

Total demolition is rarely the best choice, and the Planning Director supports exploring all possible options before considering total demolition.

If Total Demolition is approved, the following measures must be taken:

- a) Document the existing building, site, and setting through photographs, site plans, drawings, and other written measures.
- b) Save reusable architectural materials and features prior to demolition.

- c) Protect significant site features including landscaping and archaeological resources from damage before, during, and after demolition.
- d) Submit post-demolition site development plans to the Planning Director for approval before the demolition.

5.2. RELOCATION

Relocation – into or out of a historic district - should only be considered when there are no other reasonable alternatives to preserving a historic building. Relocation methods include:

- a) Moving the entire structure to a new setting,
- b) Moving the structure in parts to a new setting, or
- c) Disassembling and moving materials from the structure and rebuilding on a new setting.

Regardless of how it is moved, relocating a historic building compromises the building's historic setting and unavoidably impacts original historic material. The goal of relocation is to minimize impacts on the historic building to be relocated and the impacts on the properties surrounding the proposed relocation site.

CHAPTER 6. SUBSTITUTE MATERIALS

6.1. REPLACEMENT IN-KIND VS. SUBSTITUTE MATERIALS

While the preferred method for treatment of historic properties emphasizes repairing original features to the greatest extent possible, and to replace historic features with like materials where repair is not possible, there are several instances in which utilizing substitute materials appropriately is acceptable. Substitute materials are new materials or technology which are designed to simulate the appearance of a historic material.

a) Replacement In-Kind

Replacement In-Kind means to replace a material with the same material as the existing thing needing repaired. For example, a deteriorated wooden door sash can only be replaced in-kind with wood. Replacement in-kind is the highest degree of integrity available when architectural elements need replacing.

b) Substitute Materials

Sometimes, replacement in-kind is not financially feasible or necessary to maintain a property's integrity. It may be appropriate to replace elements of a building with a matching element of a different material, if that material can mimic the appearance of the historic material. A deteriorated wood window can be replaced with a substitute material if it mimics the proportions and profile of the original window. Substitute materials are new materials designed to simulate the appearance of a historic material that are often made of synthetics.

Situations in which the use of substitute materials may be appropriate include:

- Where the historic material does not meet existing code requirements.
- When the historic material is unavailable, such as a particular type of slate or old growth lumber.
- Where historic craft techniques or skilled artisans are unavailable.
- When the historic feature has already been lost, and little is known about its original appearance.

Problems associated with using substitute materials include a lack of repairability, a lack of durability, and/or a shorter lifespan as compared to traditional materials. Some substitute materials are physically incompatible with existing historic building fabric

and can trap moisture or cause damage to remaining historic fabric due to incompatible thermal expansion and contraction. Substitute materials should not be used to replace sound historic materials for the sake of convenience.

Substitute materials should only be used if they will not damage existing historic features and if they will not negatively alter the appearance of the historic resource. The new material should mimic the original in form, color, proportion, profile, and perceived texture. The Planning Director will judge applications which propose the use of a substitute material in place of historic materials on a case-by-case basis and may approve or deny such materials based on each particular situation.

c) Cost Evaluation

Maintenance of a material, particularly where accessibility is difficult or expensive, can be an important part of a cost evaluation. Maintenance costs should not be considered without also considering life-cycle expenses. While some substitute materials may offer reduced initial costs, they may be as or more costly than traditional materials to maintain over time. For example, many substitute materials are not readily repairable, necessitating full replacement when damaged. The cost to replace a material or assembly at the end of its lifespan may also be greater than the accumulated incremental expense to maintain the historic material, particularly if it is a more traditional, repairable material.

Maintenance cost should never be the sole reason for replacing a historic material that is not deteriorated.

APPENDIX A. GLOSSARY

A

Abutting Property - Any property that is immediately adjacent or continuous to, or immediately across any road or public right-of-way from the subdivision.

Accessory Use or Structure - A use or structure on the same lot, with, and of a nature customarily incidental and subordinate to, the principal use or structure.

Adaptive Use - The restrained alteration of an historical or architectural resource to accommodate uses for which the resource was not originally constructed, but in such a way as to maintain the general historical and architectural character.

Addition - New construction added to an existing building or structure.

Alignment - The arrangement of objects along a straight line.

American Bond - Also known as Common Bond. The pattern of laying bricks in which several horizontal rows (usually an odd number - three, five, or seven) of stretchers are placed between every row of headers. (See "Brick Bonds")

Applicant - A person who submits an application for issuance of a Certificate of Appropriateness (COA).

Appropriate - Typical of the historic architectural style, compatible with the character of the historic district, and consistent with local preservation criteria.

Appurtenances - An additional object added to a building; typically includes vents, exhaust hoods, air conditioning units, etc.

Architectural Style - A category of architecture of similar buildings distinguished by similar characteristics of construction, design, materials, etc. (See [Chapter 3: Architectural Style Guide](#))

Attic - The upper level of a building, not of full ceiling height, directly beneath the roof.

B

Balcony - A platform that projects from the exterior wall of a building above the ground floor, which is exposed to the open air, has direct access to the interior of the building, and is not supported by posts or columns extending to the ground.

Baluster - A banister; the upright, often vase-shaped, support of a rail, in the railing of a staircase, balcony, or porch.

Balustrade - A series of balusters with a handrail.

Bargeboard - A board which hangs from the projecting end of a gable roof, covering the end rafters, and often sawn into a decorative pattern.

Bay - The portion of a façade between columns or piers providing regular divisions and usually marked by windows.

Bay Window - A window built in a recess or bay, in a room projecting from the outer wall and usually having windows on three sides.

Beaded Clapboard - A wooden board similar to clapboard which has a groove cut into the board for its width near the bottom of the side. The bottom edge may be slightly rounded. (See "Clapboard")

Beveled Glass - Glass having a sloping edge across edge of the glass.

Board and Batten - Vertical flush board which has had smaller strips of wood nailed over cracks between adjacent boards used as exterior siding.

Bracket - A support element under eaves, shelves or other overhangs; often more decorative than functional.

Brick Bonds - Patterns in which bricks are laid, determined by the inter-relationship of headers and stretchers.

Broken Pediment - A pediment-like triangle which is interrupted by a recessed compartment which "breaks" the top angle. (See "Pediment")

Building Type - Describes a structure's function and form. Building types, such as "Double Pile," "American Foursquare," or "Bungalow" houses are sometimes associated with one or more architectural styles.

Building Setback - The minimum horizontal distance permitted between the front or side of a building and the nearest street line.

Bulkhead - The section of a storefront that forms the base for the display windows.

C

Canopy - An ornamental roof-like structure, or cloth covering held horizontally over an entrance.

Cantilever - A projecting beam or part of a structure supported only at one end.

Capital - The uppermost part of a column or pilaster. Examining the capital is usually the simplest means of determining the order of a column. (See "Column" and "Order")

Carport - A private garage not completely enclosed by walls and doors.

Casement Window - A hinged window frame that opens horizontally like a door.

Casing - Moldings that go around windows and doors.

Certificate of Appropriateness (COA) - This application is used for all exterior alteration projects on properties located within DeFuniak Springs' historic districts.

Character - Attributes, qualities, and features that make up and distinguish a particular place or development and give such a place a sense of definition, purpose, and uniqueness.

Character-Defining - Those architectural materials and features of a building that define the historic nature of that building. Such elements may include the form of the building, exterior cladding, roof materials, door and window design, exterior features, exterior and interior trim, etc.

Clapboard - A wooden board, often with one side thicker than the other, used for exterior siding. Term is synonymous with weatherboard.

Classical Order - Derived from Greek and Roman architecture, a column with its base, shaft, capital and entablature having standardized details and proportions, according to one of the five canonized modes: Doric, Tuscan, Ionic, Corinthian, or Composite.

Column - A cylindrical vertical support in classical architecture, the column has three parts - capital, shaft, and base.

Compatible/Compatibility - The characteristics of different uses or activities that permit them to be located near each other in harmony and without visual conflict.

Conservation - The sustained use and appearance of a structure or area, maintained essentially in its existing state.

Contemporary - Existing or happening in the same time period; from the same time period.

Context - The setting in which a historic element, site, structure, street, or district exists.

Contributing Building/Structure/Site - A classification applied to a site, structure, or object within an historic district signifying that it contributes generally to the qualities that give the historic district cultural, historic, architectural, or archeological significance.

Coping - A protective cap, top, or cover of a wall or parapet, often of stone, terra cotta, concrete, metal, or wood. This may be flat but commonly is sloping to shed water.

Corbel - In masonry, a projection or one of a series of projections, each stepped progressively farther forward with height.

Corbelled - Furnished with a bracket or block projecting from the face of a wall to bear weight, generally supporting a cornice, beam, or arch.

Corner Board - A vertical board at the intersection of two walls. A corner board serves as a joint for the intersecting clapboard as well as concealing the ends of the clapboard. During the Greek Revival and Classical Revival periods, corner boards were frequently ornamented to resemble pilasters at every corner.

Cornice - Projecting ornamental molding on top of a building or wall.

Course - A continuous row or layer of stones, tile, brick, shingles, etc. in a wall.

Cross-Gable - A secondary gable roof which meets the primary roof at right angles. (See "Gable")



Demolition – Any act or process that partially or totally destroys a structure or object, or the razing of a building or a structure or the removal of any exterior architectural feature or structure or object.

Partial Demolition – Partial demolition is the removal of a portion of a building, including structural members, floors, walls, or architectural features.

Demolition by Neglect - The act or process of neglecting the maintenance and repairs of a building, thus allowing the building to deteriorate to the point where demolition may be necessary.

Dentils - Small rectangular blocks in a series - like teeth - usually on a molding.

Design Standards - A set of directions that have been adopted for historic buildings to guide rehabilitation, additions, and other construction, in order to retain the building's (and the district's) original design features and ensure compatibility between the old and the new.

Detail - A small piece of the overall character of a building, which contributes to its architectural significance.

Display Window - A large area of glass within a storefront opening.

District - A portion of the territory of the town for which certain uniform regulations and requirements or various combinations thereof apply under the provisions of the zoning ordinance.

Door Frame - The part of a door opening to which a door is hinged. A door frame consists of two vertical members called door jambs and a horizontal top member called a lintel or head.

Door Jamb - The vertical portion of the door frame onto which the door is attached.

Dormer Window - A window set upright in a sloping roof. The term is also used to refer to the roofed projection in which this window is set.

Double Frontage Lot - A lot having two (2) non-adjointing property lines abutting upon a street or streets.

Double-Hung Window - A window where both sashes slide up and down by a means of cords and weights.

Dutchman Repair – Any new or salvaged material (stone or wood) fitted into the existing facade material. This new material is chosen and installed to match existing.

Dwelling - A building or portion thereof designed exclusively for residential occupancy, including one family, two family and multiple family dwellings, but not including hotels, boarding, lodging houses or house trailers whether such trailers be mobile or located in a stationary fashion as when on blocks or other foundation.

E

Easement - A grant by a property owner of the use of land for a specific purpose or purposes by the general public, or a corporation or a certain person or persons.

Eave - The projecting overhang at the lower edge of a roof.

Eclectic - Exhibiting elements and characteristics of more than one historic style simultaneously.

Element - A material part or detail of a site, structure, street, or district.

Elevation - A flat representation of the vertical view of one side of a building's exterior. The front elevation is often referred to as the façade. (See "Façade")

Engaged Column - Columns partly embedded in a wall, often referred to as half-rounded columns.

Engaged Porch - A porch whose roof is continuous structurally with that of the main section of the building.

Entablature - A part of a building of classical order resting on the column capital; consists of an architrave, frieze, and cornice.

Entry - A door, gate, or passage used to enter a building.

Exterior Features - The architectural type, style, design, and general arrangement of the exterior of an historic structure, including the nature and texture of building material, and the type and style of all windows, doors, light fixtures, signs, or similar items found on or related to the exterior of an historic structure.

Eyebrow Dormer - A small, curved window in an attic story.

F

Fabric – The physical material of a building, structure, or community, connoting an interweaving of component parts.

Façade - The primary elevation of a structure, typically containing the main entrance.

Fanlight - A semicircular or semielliptical window above a door.

Fascia - The flat band or board around the edge of a roof or a part of the entablature.

Fenestration - The arrangement of windows and doors in a wall.

Finial - A roof ornament, usually projecting from the top of a gable.

Fish-Scale Shingles - Shingles with rounded edges, which when placed in staggered rows are reminiscent of fish scales.

Flashing - Sheet metal or other flexible material formed to prevent water from entering a building or structure at joints or intersections, such as where a roof intersects a wall or chimney.

Fluting - Vertical grooving, usually found on columns or pilasters. (See “Column”)

Form - The overall shape of a structure (i.e., most structures are rectangular in form).

Foundation - A foundation is the supporting portion of a structure below the first-floor construction, or below grade, including the footings.

Foundation Enclosures - Many foundations were enclosed with open brickwork or wood lattices, which were often decorative and open to allow ventilation. Foundations should be enclosed only with the materials that are appropriate to the building style.

French Door - A door having rectangular glass panes extending throughout its length, often hung in pairs. Also called a casement door.

Frieze – The middle portion of a classical cornice; also applied decorative elements on an entablature or parapet wall. (See “Cornice”)

Frontage of a Building - Shall mean the side or wall of a building approximately parallel and nearest to a street. When on a corner, frontage of a building shall be determined by the planning department.

G

Gable - The triangular wall segment at the end of a ridged roof.

Gable Roof - A roof which forms a gable at each end. It is also referred to as a peak roof.

Gambrel Roof - A roof with two slopes of different pitch on either side of the ridge with the flatter slope adjoining the ridge.

Ghosts - Outlines or profiles of missing buildings or building details. These outlines may be visible through stains, paint, weathering, or other residue on a building's façade.

Glazing - Fitting glass into windows and doors.

Guardrail - A building component or a system of building components located at or near the open sides of elevated walking surfaces that minimizes the possibilities of a fall from the walking surface to a lower level.

H

Half-Story - A partial story under the roof, usually denoted by the presence of dormer windows or by full windows within gables.

Half-Timbering - A wall construction in which the spaces between members of the timber frame are filled with brick, stone, or other material.

Handrail - A horizontal or sloping rail intended for grasping by the hand for guidance or support.

Hardscape - Portions of the exterior environment of a site, district, or region that is constructed with masonry or other impermeable materials, including sidewalks, driveways, or patios.

Height of Building - The height of a building shall be the vertical distance measured from the mean level of the finished grade to the level of the highest point of the underside of the finished ceiling line. Where a structure is set back from the street line, the mean level of the finished grade of the premises along the line of that part of the structure nearest the street line may be substituted for the established grade for the purpose of determining the height of a building.

High Style - The more ornately detailed version of a particular architectural style; used in contrast to simpler examples, both from different periods or the same period; the opposite of vernacular.

Hipped Roof - A roof with four uniformly pitched sides.

Historic - Important in history; distinguished from "historical," which conveys the sense of things or events related to the past.

Historic Building - A building important because of its association with a historic event or with the history of a locality.

Historic District - A geographically definable area with a significant concentration of buildings, structures, sites, spaces, or objects unified by past events, physical development, design, setting, materials, workmanship, sense of cohesiveness or related historical and aesthetic associations. The significance of a district may be recognized through listing in a local, state, or national landmarks register and may be protected legally through enactment of a local historic district ordinance administered by a designated building-zoning official.

Historic Fabric - Those elements and features of a historic building that are original and contribute to the integrity of the historic building.

Historic Imitation - New construction or rehabilitation where elements or components mimic an architectural style but are not of the same historic period as the existing buildings (historic replica).

Hood Molding - A large molding over a window, originally designed to direct water away from the wall; also called a drip molding.



In-Kind - To replace existing materials or features with materials of identical appearance and composition (or similar approved substitute).

Infill Construction - New construction, or the move of existing structures, on vacant lots or replacement of blighted or thoroughly deteriorated structures within existing neighborhoods or developments.

Integrity - The ability of a property to convey its historic significance through the retention of location, design, setting, materials, workmanship, feeling, and association.

Iron lace - Decorative, lacy patterns formed in cast iron and used for railing.

J

Jerkinhead Roof - A gable roof where the peak is clipped, forming a slope and resulting in a truncated gable on the wall below. Also known as a clipped gable roof.

Jalousie - A type of window comprised of a series of horizontal slats connected to a mechanical device operated by a crank.

K

Keystone - A wedge-shaped stone at the top of a masonry arch.

Kickplate - A metal plate (usually brass) attached to the bottom of a door to protect the door from damage.

Knee Brace - An oversize bracket supporting a cantilevered or projecting element.

L

Landmark - A building, structure, object or site which is identified as a historic resource of particular significance

Landscape - The whole of the exterior environment of a site, district, or region, including landforms, trees, plants, rivers, and lakes and the built environment.

Landscape Elements - Those elements that contribute to the landscape, such as exterior furniture, decks, patios, outdoor lighting, and other elements that may be located in conjunction with a landscape.

Lattice - A panel of crisscrossed, diagonal or perpendicular slats often utilized as decorative infill between masonry foundation piers.

Leaded Glass - Small panes of glass which are held in place with lead strips; the glass may be clear or stained.

Light - A section of a window, also called "pane" or "sash light."

Lintel - A beam over an opening in a wall, such as for a window or door, or over two or more pillars.

Lot - For zoning purposes, a lot is a parcel of land of at least sufficient size to meet minimum zoning requirements for use, coverage, and area, and to provide such yards and other open spaces as are herein required.

M

Main Building - The primary historic building in an individual historic site.

Maintain – To keep in an existing state of preservation or repair.

Maintenance and Repair - Any work meant to remedy damage or deterioration of site elements or a structure or its appurtenances that involves no change in materials, dimensions, design, configuration, texture, surface coating, or visual appearance. A COA is not needed for regular maintenance and repair. This work may include cleaning, repainting, in-kind repairs, or yard maintenance. (See [Appendix B: Basic Maintenance](#))

Mansard Roof - A roof that has two slopes on all four sides.

Mass or Massing - Building mass is established by the arrangement and proportions of its basic geometric components- the main block and side blocks, the roof and the foundation. Similarly, massing helps create rhythm along the street, which is one of the appealing aspects of historic districts.

Masonry - Construction materials such as stone, brick, concrete block or tile which is secured with mortar.

Material - Material refers to the physical elements that were combined or deposited in a particular pattern or configuration to form a historic resource.

Modillion – A horizontal bracket, often in the form of a plain block, ornamenting, or sometimes supporting, the underside of a cornice. (See “Cornice”)

Module - The appearance of a single facade plane, despite being part of a larger building. One large building can incorporate several building modules.

Molding - A continuous decorative band that is either carved into or applied to a surface.

Mortar - The materials used to fill the joints of masonry.

Mortar Joint - Masonry joint between masonry units, such as brick or stone, filled with mortar to transfer the load, provide a bond between the units, and keep out the weather.

Mullion - A vertical member separating (and often supporting) windows, doors, or panels set in a series.

Multi-Light Window - A window sash composed of more than one pane of glass.

Muntin - A bar member supporting and separating panes of glass in a window or door.

N

New Construction - The act of adding to an existing structure or erecting a new principal or accessory structure or appurtenances to a structure, including but not limited to buildings, extensions, outbuildings, fire escapes, and retaining walls.

Non-Contributing Building/Structure/Site - A property that does not add to the historical significance of the district because it was built after the district's period of significance, lacks historical integrity, or has been so extensively altered that its original historic character is lost.

O

Order - Any of several specific styles of classical and Renaissance architecture characterized by the type of column used (e.g., Doric, Ionic, Corinthian, Composite, Tuscan).

Orientation - Generally, orientation refers to the manner in which a building relates to the street. The entrance to the building plays a large role in the orientation of the building. It should face the street.

Original - Features, components, materials, or other elements of a structure that were part of its initial construction; or, structures that were part of the initial development of a site (such as accessory structures built at the same time as the related primary structure). Features or structures that are not original to the structure or site may have gained historic significance in their own right and may still be considered "historic."

Ornamentation - Any decorative objects or series of objects, which are added to the basic structure to enhance its visual appearance.

Owner – The person or persons holding record title to the building, site or property; provided, however, the last previous tax roll in the records of the City Assessor's office may be relied upon as showing record ownership in the absence of substantial evidence to the contrary

P

Paired Columns – Two columns supported by one pier, as on a porch.

Palladian Window - A three-part window opening with a large arched central light and flanking rectangular side lights.

Paneled Door – A door composed of solid panels (either raised or recessed) held within a framework of rails and stiles.

Parapet - A low, solid protective, wall or railing along the edge of a roof or balcony, usually used to surround a flat or built-up roof.

Pedestrian Crosswalk - A right-of-way dedicated to the public for pedestrian use, and which is designed to provide access to adjacent roads, lots or public use areas.

Pediment - The space forming the gable of a two-pitched roof in classic architecture.

Period of Significance - The length of time when a property was associated with important events, activities, or persons, or attained the characteristics which qualify it for National Register Listing.

Pier - The upright support for a structure, such as for a porch column.

Pilaster - A flat-faced representation of a column against a wall.

Pillar - A vertical supporting member in a building, may be ornamental.

Pitch - The angle of slope.

Planning Director – Government official who leads and manages the DeFuniak Springs Planning Department, overseeing all aspects of urban development and planning for the city. Also, the designated “building-zoning official” who reviews permits including COA applications, sign permits, etc.

Porch - A roofed over space attached to the outside of an exterior wall of a building, which has no enclosure other than the exterior walls of such building. Open mesh screening shall not be considered an enclosure.

Porch Ornamentation - Decorative elements include, but are not limited to, scrollwork, balustrade, and porch supports that are decorative.

Porte-Cochere - A large, covered entrance porch through which vehicles can drive.

Portico - A large porch having a roof, often with a pediment supported by columns or pillars.

Portland Cement - A strong, inflexible hydraulic cement used to bind mortar. Mortar or patching materials with a high Portland cement content should not be used on old buildings. (The Portland cement is harder than the masonry, thereby causing serious damage over annual freeze-thaw cycles.)

Post - A piece of wood, metal, etc. usually long and square or cylindrical, set upright to support a building, sign, gate, etc.; Also referred to as a pillar or pole.

Preservation - The adaptive use, conservation, protection, reconstruction, restoration, rehabilitation, or stabilization of sites, buildings, districts, structures, or monuments significant to the heritage of the people of DeFuniak Springs (or any area).

Proportion - The dimensional relationship between one part of a structure or appurtenance and another. Façade proportions involve relationships such as height to width, the percent of the façade given to window and door openings, the size of these openings, and floor-to-ceiling heights. Often described as a ratio, proportions may be vertical (taller than wide), horizontal (wider than tall), or non-directional (equally tall and wide).

Public Right-of-Way - Any street, avenue, boulevard, road, highway, sidewalk, alley, or easement that is owned, leased, or controlled by a government entity.

Q

Quoin - Units of stone or brick used to accentuate the corners of a building.

R

Rafter - Any of the parallel beams that support a roof.

Rafter Tail - Exposed rafter supporting the eave.

Ramp - A sloped surface that makes a transition between two different levels; typically used to provide access to a building or raised surface for those persons with disabilities.

Recessed Entry - An entry set back from the storefront. Historically, storefronts step in, towards the interior of the building at the entry point.

Reconstruction - The act or process of duplicating the original structure, building form, and materials by means of new construction based on documentation of the historic condition.

Rehabilitation - The act or process of making possible a compatible use for a property through repair, alterations, and additions, while preserving those portions or features which convey its historic, cultural, or architectural values.

Relocation - Any removal or relocation of a structure on its site or to another site.

Remodeling, Redecorating, or Refinishing - Any change, removal, replacement, or addition to walls, floors, ceilings, and roof surfaces or coverings which do not support any beam, ceiling, floor load, bearing partition, columns, exterior walls, stairways, roofs, or other structural elements of a building structure.

Renovation - The act or process of repairing and/or changing an existing building for new use or to make it functional; this may involve replacement of minor parts.

Replacement - To interchange a deteriorated element of a building, structure, or object with a new one that matches the original element.

Replicate - To copy or reproduce an historic building or element.

Repointing - Repairing existing masonry joints by removing defective mortar and installing new mortar.

Restoration - The process of accurately recovering all or part of the form and detail of a resource and its setting, as it appeared at a particular period of time, by means of the removal of later work and the replacement of missing earlier work.

Retain - To keep secure and intact. In the standards, "retain" and "maintain" describe the act of keeping an element, detail, or structure and continuing the same level of repair to aid in the preservation of elements, sites and structures.

Reveal - The vertical side of a door or window opening between the frame and the wall surface.

Rhythm - The repetitive use of a group of visual elements, to establish a recognizable pattern.

Ridge - The horizontal line of meeting of the upper slopes of a roof.

Rusticated – Roughening of stonework of concrete blocks to give greater articulation to each block.

S

Sash - The framing in which panes of glass are set in a glazed window. Also, a window frame that opens by sliding up or down.

Scale - The harmonious proportions of parts of a building, structure, or monument to one another and to the human figure.

Screening - Construction or vegetation of which the essential function is to separate, protect, conceal, or shield from view but not support.

Semi-Engaged Porch - A porch whose roof forms a continuous surface with, but is in a different plane than, the roof of the building.

Setback Line - A line generally parallel with and measured from the lot line, defining the limits of a yard in which no building, other than accessory building, or structure, may be located above ground, except as may be provided in subdivision regulations or zoning ordinances.

Setting – The sum of attributes of a locality, neighborhood, or property that defines its character.

Shaft - The main part of a column between the base and the capital. (See “Column”)

Shed Dormer - A dormer with a series of separate windows connected by sections of the facade material, with a shed roof. Frequently found on a gambrel roof, a shed dormer may stretch the entire length of the house.

Shed Roof - A roof resembling a lean-to. Shed roofs are often used for extensions of gable roofs or for additions or porches.

Shutter - A solid panel of wood or metal made to close over a window. Technically, a louvered panel is an exterior blind, but it is usually referred to as a shutter.

Sidelight - Narrow windows on either side of a door to admit light.

Siding – The exterior wall covering or sheathing of a structure.

Significant – Having particularly important associations within the contexts of architecture, history, and culture.

Sill - The lowest horizontal member in a frame or opening for a window or door. Also, the lowest horizontal member in a framed wall or partition.

Site - The land upon which a significant event, activity, building, structure, archaeological resource, or another feature is located.

Soffit - The exposed undersurface of any overhead component of a building, such as an arch, balcony, beam, cornice, or roof overhang.

Spandrel - The triangular space between adjacent arches and the horizontal molding, cornice or framework above them; in skeleton frame construction, the horizontal panels below and above windows between the continuous vertical piers.

Spindle/Spindlework - A short decorative turned piece.

Spindle Frieze - A series of parallel spindles which are located between supporting posts just beneath a veranda roof in such a manner that they resemble a frieze. A spindle frieze is a characteristic of the Queen Anne Style.

Stabilization - The act or process of applying measures designed to reestablish a weather resistant enclosure and the structural stability of an unsafe or deteriorated property.

Storefront - A ground level façade of a commercial building with display windows with minimal mullions or columns; this is often with a recessed entrance.

Story - The space between two floors of a structure or between a floor and roof.

Street - A thoroughfare used for public foot and vehicular traffic other than an alley as herein defined, shall be deemed a street.

Street Furniture – Objects placed or fixed in the street for public use space including benches, trash receptacles, parking meters, parking kiosks, telephone and electrical poles, fire hydrants, mailboxes, streetlights, bulletin boards.

Streetscape - The character of the street, or how elements of the street form a cohesive environment.

String Course - A narrow horizontal band projecting from the exterior walls of a building, also known as a stringcourse. It is often located between the stories of a building and provides a visual break in the mass of bricks or stones, defining the interior floor levels.

Stucco - A masonry material applied as exterior wall fabric.

Style - A type of architecture distinguished by special characteristics of structure and ornament and often related in time; also a general quality of a distinctive character.

Surround - The term applied to the outside of a window or door opening. It is also called "casing."

Synthetic Materials - Building materials that are manufactured with man-made or artificial components as opposed to materials derived from natural sources, such as plants, trees, or earth (e.g. vinyl, aluminum, fiber cement, plastic resin).

T

Terra-Cotta - A fine-grained, brown-red fired clay used for roof tiles and decoration.

Texture - The feel, appearance, or consistency of a surface or substance.

Transom - A narrow horizontal window over a door or part of a door.

Trim - The decorative framing of openings and other features on a façade.

Turret - A small, slender tower usually at the corner of a building.

U

Upper Façade - The mostly solid part of the wall above the display window. May be a plain surface on a one-story building or may contain rows of windows defining the number and location of floors in a multi-story building and may include decorative bands or patterns.

V

Valance – A short piece of fabric that hangs from the front edge of an awning, essentially acting as a decorative trim that adds style and can provide a bit of extra shade to the area beneath the awning.

Veranda - A roofed open gallery or porch.

Vergeboard - An ornately curved board attached to the projecting edges of a gable roof; sometimes referred to as verge boards.

Vernacular - The non-academic local architecture of the region.

Viewshed - The natural environment that is visible from one or more viewing points.

Visibility from a Public Right-of-Way - Able to be seen from any public right-of-way, or other place, whether privately or publicly owned, upon which the public is regularly allowed or invited to be.

Visual Continuity - A sense of unity or belonging together that elements of the built environment exhibit because of similarities among them.

W

Wall - A structure or hedgerow that provides a physical barrier, typically constructed of a solid material such as stone or rock.

Water Table – A projecting horizontal ledge, intended to prevent water from running down the face of a wall's lower section.

Weatherboard - Clapboard; wooden siding.

Workmanship - The physical evidence of the crafts of a culture, people or artisan.

Y

Yard - An open space on the same lot with a building, unoccupied and unobstructed from the ground upward, except by trees or shrubbery or as otherwise provided herein.

Z

Zoning District - A zoning district is a geographically defined area within a municipality where land use is regulated by a specific set of rules and regulations. These rules govern what types of development and activities are permitted within that district, helping to manage and direct growth and development.

APPENDIX B. DEFUNIAK SPRINGS ZONING INFORMATION

The City of DeFuniak Springs is divided into zoning districts defined in the City’s Municipal Code. A zoning district is a geographically defined area within a municipality where land use is regulated by a specific set of rules and regulations. These rules govern what types of development and activities are permitted within that district, helping to manage and direct growth and development.

See the Municipal Code for all uses allowed without review within a zoning district as well as any prohibited uses or use exceptions allowed upon special approval. Consult the [City of DeFuniak Springs Zoning Map](#) to identify what zoning designation aligns with your property.

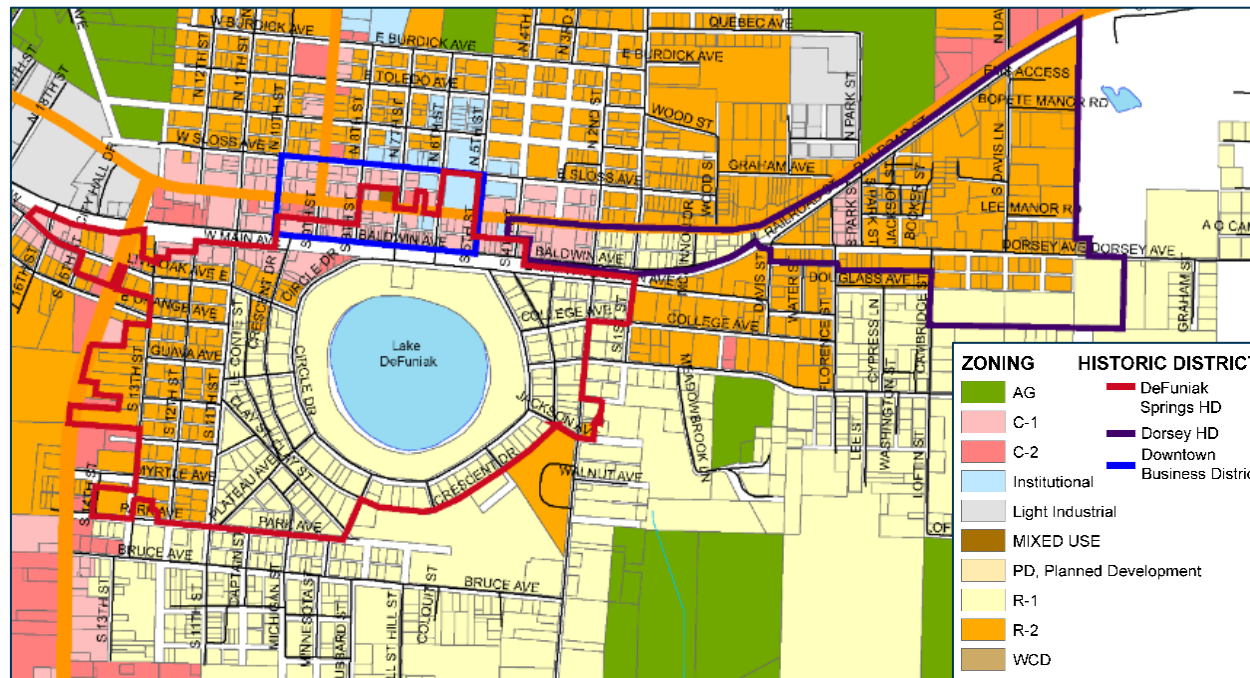


Figure 105: DeFuniak Springs Zoning Map with historic district boundaries.

APPENDIX D. RESOURCES FOR PROPERTY OWNERS

D.1 LOCAL RESOURCES

State of Florida

[Florida Building Code](#) is a comprehensive set of rules and regulations governing construction in Florida, designed to ensure public health, safety, and general welfare. It's based on the International Building Code (IBC) but includes Florida-specific amendments and supplements. The FBC is updated every three years by the Florida Building Commission.

[Florida Division of Historical Resources](#) is responsible for preserving and promoting Florida's historical and archaeological resources. They oversee a variety of programs, including grants, state historical markers, and the Florida Main Street program.

[Florida Master Site File](#) is the State of Florida's official inventory of historical, cultural resources.

[Florida Memory](#) is a digital outreach program providing free online access to select archival records from collections housed in the State Library and Archives of Florida. Florida Memory digitizes materials that illuminate the state's history and culture.

[Florida Native Plant Society](#) is a non-profit organization dedicated to the preservation, conservation, and restoration of native plants and plant communities in Florida.

[Walton County Cooperative Extension Service](#) is a helpful resource to consult when selecting appropriate tree species and planting procedures for a property within DeFuniak Springs.

[Walton County Interactive Mapping \(Wetlands\)](#) includes information on addresses, parcels, future land use, wetlands, flood zones and other within Walton County.

City of DeFuniak Springs

[DeFuniak Springs City Limits Map](#)

[Community Redevelopment Agency Area Map](#)

[City of DeFuniak Springs Municipal Code](#)

[Current Municipal Code for Land Development](#)

[Current Municipal Code for Zoning](#)

[City of DeFuniak Springs Planning and Code Enforcement Department](#)

[Certificate of Appropriateness](#)

[City of DeFuniak Springs Zoning Map](#)

[DeFuniak Springs Historic District Map](#)

[Main Street DeFuniak Springs](#)

[The Tivoli Historical Society](#)

About the Planning and Code Enforcement Department

The primary goal of the Planning and Code Enforcement Department is to provide impeccable customer service in assisting the City of DeFuniak Springs' citizens, visitors, and business owners with development efforts and enforcement actions to ensure the City's community is a desirable place to live and work. The Department serves as the primary point of contact for these efforts by coordinating with various departments to ensure plans comply with the City regulations contained in documents such as the [City's Comprehensive Plan](#), the [Municipal Code](#), and the [Technical Specifications Manual](#).

The Planner Director of the City of DeFuniak Springs Planning and Code Enforcement Department has been identified as the "building-zoning official" in charge of reviewing submitted Certificates of Appropriateness.

Physical Address: 1350 Baldwin Ave, DeFuniak Springs, FL 32435

Mailing Address: P.O. Box 685, DeFuniak Springs, FL 32435

Phone: (850) 892-8500 opt. 4

Planning Director Email: planningdirector@defuniaksprings.net

Planning Administrative Assistant Email: planningassist@defuniaksprings.net

Phone: (850) 892-8500, ext. 1116

Code Enforcement Officer Email: codeenforcement@defuniaksprings.net

About the Community Redevelopment Agency (CRA)

Established by Resolution 2018-017, the DeFuniak Springs City Council created the [Community Redevelopment Agency \(CRA\)](#) after determining a need to initiate the revitalization of blighted areas inside the city limits. The CRA is funded through tax incremental financing (TIF), which is used to implement the goals of the CRA Redevelopment Plan, as adopted by the City Council. Redevelopment actions are guided by the CRA Board, which is comprised of five members appointed by each council seat. The board meets the fourth Wednesday of the month at 5:00 p.m. at City Hall, Council Chambers, 1350 Baldwin Ave, DeFuniak Springs, FL 32435.

The mission of the CRA is to protect and improve the commercial areas of DeFuniak Springs through thoughtful, controlled economic growth and build upon and preserve the residential neighborhoods through activities building higher quality of life for all. The CRA economic revitalization process will forge an environment that attracts investors, encourages improvements in building structure and aesthetics and attracts new construction and business. The CRA will focus on obtaining necessary funding for public infrastructure improvements, streetscape build-out and marketing of the commercial district to attract new businesses to the district.

See **Chapter 1.3** for more information about the CRA Growth and Development Assistance Program.

Executive

Director of the CRA Email: CRADirector@DeFuniakSprings.net

D.2 TECHNICAL RESOURCES

National Park Service (NPS) Preservation Briefs

Preservation Briefs are produced by the NPS and provide information on preserving, rehabilitating, and restoring historic buildings. These publications provide guidance on a number of topics to help both professionals and building owners. Briefs can be revised, removed, or added, please consult the NPS website for the most up to date list: [Preservation Briefs - Technical Preservation Services \(NPS\)](#)

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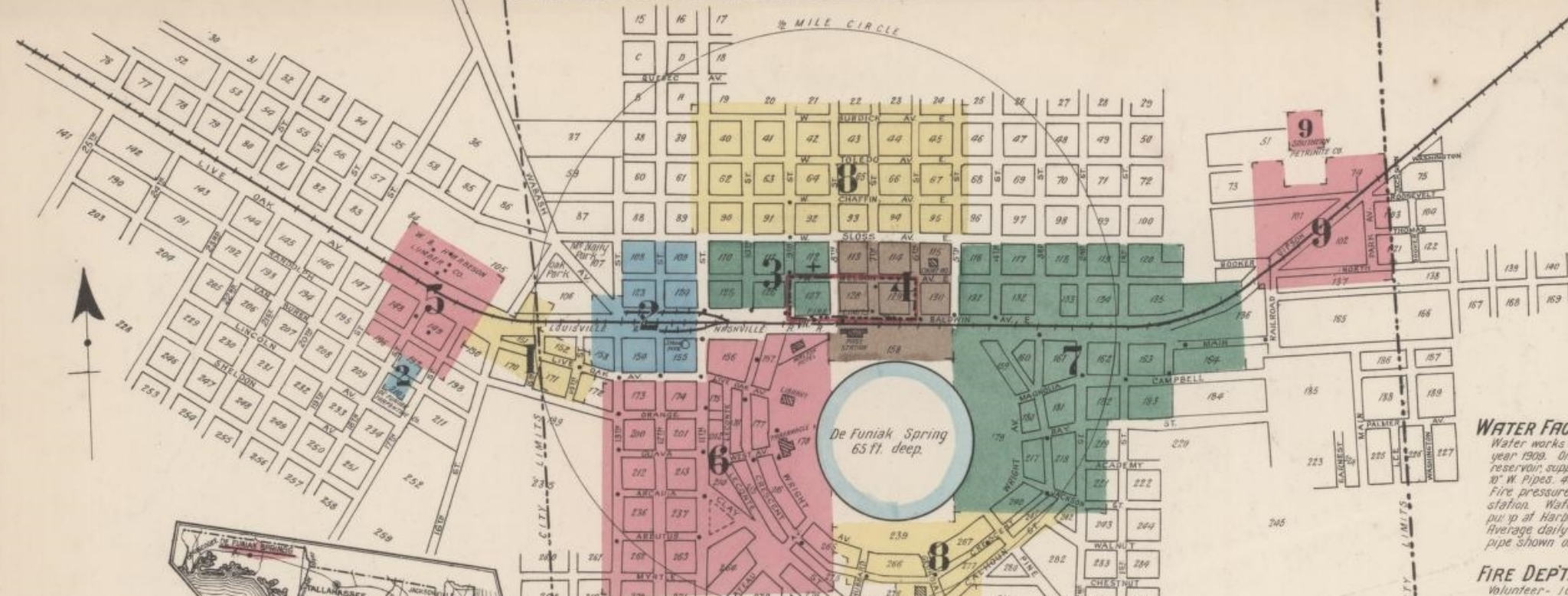
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Library of Congress

WATER FACILITIES.
Water works owned by town, gravity & direct pressure, installed in year 1909. One Platt pump, cap'y 500 gals. per min. drawing from reservoir supplies 75,000 gal. tank elev. 120' on steel tower; 4 miles 4" to 10" W. Pipes. 45 double hydrants; domestic pressure, 60 lbs. per sq. inch. Fire pressure direct 100 lbs. per sq. inch. Constant steam at pumping station. Water supply from wells. This system also conn'd to fire pump at Harbeson Lumber Co. cap'y of which is 500 gals. per min. Average daily consumption 75,000 gals. Pumping station and stand pipe shown on Sheet No. 2.

FIRE DEPT.
Volunteer - 1 chief, 1 paid driver, 24 call men, 1 motor-driven fire engine.

Week of October 27, 2025



DeFuniak Springs Historic Districts Design Standards

Presented to: DeFuniak Springs Stakeholders



About Us

Carolyn Gimbal – Senior Architectural Historian

- MA/Historic Preservation: Cornell University
- BA/Anthropology: Appalachian State University
- Qualified under 36 CFR 61
- 6 Years of Experience

Samantha Smith – Architectural Historian

- MS/Historic Preservation: Tulane University
- BA/History: University of Cincinnati
- Qualified under 36 CFR 61
- 4 Years of Experience



Historic District Design Standards – Second Draft

DEFUNIAK SPRINGS HISTORIC DISTRICTS

DESIGN STANDARDS

A Handbook for the Preservation
of DeFuniak Springs' Historic Resources





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New section on Financial Incentives.

Information on the difference between locally and nationally designated historic districts as well contributing vs. non-contributing properties.



Second Draft – Financial Incentives

1.3. HISTORIC PRESERVATION FINANCIAL INCENTIVES

a) Historic Rehabilitation Tax Credit Program

Exercising preservation in accordance with the Secretary of the Interior's Standards for Rehabilitation may have additional fiscal incentives including providing eligibility for historic tax credits. The federal historic tax credit program is administered by the National Park Service (NPS) and the State Historic Preservation Offices (SHPOs) and provides a 20% tax credit for income producing properties which are determined to be a "certified historic structure" (a property that is listed in the National Register of Historic Places or eligible for listing, or contributing to a listed district as determined by the NPS). The tax credit process requires that all work be conducted in compliance with the Standards and inspected by the SHPO. For additional information and guidance on the HRTC, consult the [Florida Division of Historical Resources](#). DeFuniak Springs includes both a nationally designated and a locally designated historic district—each named the DeFuniak Springs Historic District. To determine whether your property may qualify for the federal historic tax credit program, please refer to the boundaries of the nationally designated district, which are provided in [Appendix C](#).

b) Property Tax Exemption for Historic Properties

The State of Florida enacted legislation in 1997 which allows counties and municipalities to adopt ordinances which create property tax exemptions. The statute allows local governments to provide an exemption for up to 100% of the increase in assessed improvements. The tax exemption may remain in effect for up to 10 years. The exemption only applies to the portion of the property tax levied by the government who is granting the exemption. For example, if the City of DeFuniak Springs offered a tax exemption, only the taxes due to the City will be exempt. The County and any Federal taxes would remain unaffected.

A rehabilitation or restoration project which may be eligible for the local tax exemption would result from an approved rehabilitation of a qualified historic property. Like the federal tax incentive program, approved rehabilitations must adhere to the Secretary of the Interior's Standards. A qualifying historic property is a commercial or residential property which is:

- Listed in the NRHP,
- A contributing building in a NRHP listed district,
- A locally designated historic resource.

Additionally, to qualify for an exemption, the owner must place a covenant on the property for the term of the exemption. A covenant places restrictions on the alteration of a building to prevent loss or changes to work adhering to the Standards. The State of Florida does not offer any additional fiscal preservation incentives.

Applications for local property tax exemptions are reviewed either by the local preservation office if the local government is a Certified Local Government (CLG) or by the [Florida Division of Historical Resources](#) if the project is in a county or municipality that is not a CLG. DeFuniak Springs is not currently a CLG and so any future property tax exemptions would be reviewed by the Florida Division of Historical Resources.

c) Main Street America Program

Other programs which provide fiscal incentives include the Main Street America program which is administered by [Florida Main Street](#). The Florida Main Street is a program to encourage revitalization of downtown areas. The program supports certified Florida Main Street communities through the Main Street Historic Tourism and Revitalization Act (Florida House Bill 499 and Senate Bill 288) which provide a 20% rehabilitation tax credit for certified historic structures and a 30% tax credit for a certified historic structure within the official district boundaries of an active Florida Main Street community. Like the federal tax incentives, the rehabilitation must meet the Standards and be a certified historic structure. [Main Street DeFuniak Springs](#) is a recognized Florida Main Street community.

d) Community Redevelopment Agency Growth and Development Assistance Program

The Community Redevelopment Agency (CRA) is a local program that offers funding for qualified development and improvements to parcels within the CRA review area through the CRA Growth and Development Assistance Program, as approved by the CRA Board on November 30, 2022. The CRA currently offers the following six grants:

- Income-Based Hazardous Tree Removal Grant
- Income-Based Roofing Improvement Grant
- Residential Development Incentive Grant
- Residential Site and Building Improvement Grant
- Commercial Site and Building Improvement Grant
- Site Cleanup Grant

For further information visit the city's website or to schedule an appointment, please contact the Executive Director, at CRADirector@DeFuniakSprings.net.

All disbursements of grant funds are made following the completion and final inspection of the improvement project. Funds are appropriated annually in the CRA Budget and are available on a first come-first served basis. The program is subject to the availability of allocated funds in that CRA Budget.



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Standards for all three districts combined as well as all existing and new construction standards.

Inclusion of more diagrams and imagery.



Second Draft – Layout & Visual Development

Standard 11. Residential Signage

The most common types of signage on residential buildings in the DeFuniak Springs Historic District are hanging signs, glass signs, mounted signboards, and freestanding signs. Keeping a historic sign is encouraged, even if the business or product promoted is no longer the occupant. Preserved historic signs can have strong recognition value and can become community landmarks.

For Reference

Preservation Brief 25: [The Preservation of Historic Signs](#).

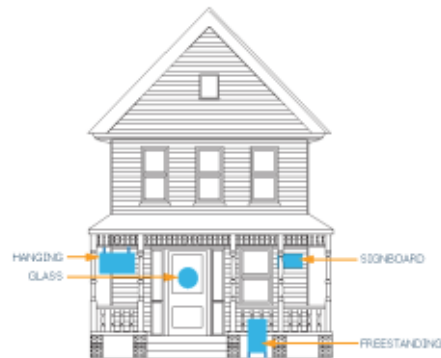


Figure 52: Types of signage and their locations on residential properties.



4.3. SIGNAGE

Standard Signage

Business signs are among the most important contemporary elements of commercial buildings. Well-designed signs contribute to the appearance of a building as well as attract customers and clients. Business signs that are poorly designed detract from the appearance of a building and the image of a business. Common problems with poorly designed business signs include excessive size, illegible graphics and typeface, poor color selection, and improper location.

All signage must comply with the DeFuniak Springs Sign Ordinance. A sign permit is required in order for a sign to be installed, constructed, altered, or relocated in a historic district in DeFuniak Springs. Sign permit application forms are available at the Planning and Code Enforcement Department.

Standard Lighting

Halo lighting, in which individual letters contain lighting to illuminate the wall behind them, are appropriate for wall signs. Internally illuminated signs, particularly box or cabinet signs in which the entire surface is illuminated or neon signs, are generally not appropriate for the character of the district. Excessively bright or flashing lights and animated signs are also not appropriate for residential or commercial portions of the district. Lighting sources and associated conduit for signs should generally be concealed from view.





Figure 48: Examples of appropriate signage in DeFuniak Springs. Left to right: suspended sign; marquee and bracket signs; wall sign.

Best Practices

- Avoid attaching any signage to a building in a way that covers or destroys character defining elements of an entry or façade.
- Connect wall-mounted signage through mortar joints rather than masonry units.
- New signage located on the flat, unadorned parts of a façade, such as the horizontal band between the storefront and cornice, or on windows, awning flaps, fascia, and frieze, or other areas where signs have been historically placed on the building.
- Limit the overall number of signs to avoid a cluttered appearance that competes with the building's historic character.

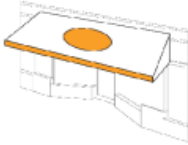
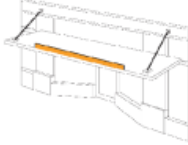
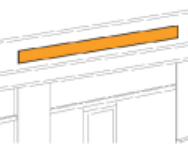
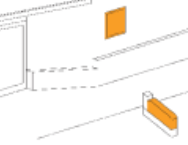


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Appropriate	Not Acceptable
<ul style="list-style-type: none"> Limit the overall number of signs to avoid a cluttered appearance that competes with the building's historic character. Where possible, preserve historic signs. Connect wall-mounted signage through mortar joints rather than masonry units. For historic signs for businesses or products no longer on site, coordinate the placement of updated signage in a way that appropriately advertises the current business without removing or covering the historic sign. Lighting sources and associated conduit for signs should generally be concealed from view. 	<ul style="list-style-type: none"> Mounting signage in a way that damages historic fabric. Covering or obscuring architectural features with new signage. Internally illuminated signs, particularly box or cabinet signs in which the entire surface is illuminated, and neon signs, are generally not appropriate for the character of the district. Excessively bright or flashing lights and animated signs are not appropriate for residences.
	
<p>Figure 53: Appropriate signage on front porch of a historic residence.</p>	<p>Figure 54: Not acceptable illuminated and incompatible hanging signage on the front facade of a former residence.</p>



DeFuniak Springs Historic Districts Design Standards

Awning Sign

This sign type is common on traditional storefronts with awnings. Awnings protect merchant wares and keep shopfront interiors shaded and cool in hot weather, but they also serve as a focal point for a commercial property's front façade. Business names and logos can be located on the slopes, returns, and valances of awnings. The most legible awning signs are designed with a color contrasting the awning background or are outlined in a contrasting color.

Canopy Sign

This sign type is common on traditional storefronts with canopies, both stationary and suspended. Canopies protect merchant wares and keep shopfront interiors shaded and cool in hot weather, but they also serve as a focal point for a commercial property's front façade. Signage is typically located on top of the canopy.

Signboard

This sign type is common on traditional commercial properties, particularly two-part commercial block buildings that were designed with a signboard area on the wall above the storefront. Signboard signs should be mounted flush on the façade centered over the entry to the business or centered in the signboard area.

Directory Sign

This sign type provides a listing of establishments within a building or series of buildings. Directory signs are typically designed to complement the design of the entry and façade to which they are attached. They are usually mounted flush on the façade near the front entry or on a monument sign adjacent to the building entrance.

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Standard 8. Fences and Walls

A number of historic perimeter wall and fence types can be found throughout the DeFuniak Springs Historic District. These include brick walls; wood fences including picket and ranch rail; chicken wire; and cast-iron fences. Fences and perimeter walls are typically located at the front property lines in residential areas. They help to define public from private space, as well as significantly contribute to the character of the district.

In any residential district no fence, wall, hedge or planting shall be erected, constructed, maintained or grown to a height exceeding two feet above the nearest street grade. No wall or fence used for screening purposes shall be less than six feet or greater than eight feet above grade. All walls or fences used for screen purposes should be located around rear or side yards and shall be generally opaque at a distance of ten feet.

For Reference

Preservation Brief 27: [The Maintenance and Repair of Architectural Cast Iron](#).



Figure 42: Diagram of appropriate fences at the appropriate height for residential front yards.



Figure 43: Example of a historic ranch rail in DeFuniak Springs.



Figure 44: Example of an appropriate chicken wire fence, historic to DeFuniak Springs.



4.14. FENCING

Fences and perimeter walls are typically located at the front property lines in residential areas. They help to define public from private space, as well as significantly contribute to the character of the district. Screening fences are located around side and rear yards.

Standard Fences

A number of historic perimeter wall and fence types can be found throughout the DeFuniak Springs historic districts. These include brick walls; wood fences including picket and ranch rail; chicken wire; and cast-iron fences.

Front yard fences in a residential district do not exceed 2-feet above the nearest street grade. Screening fences along rear or side yards are between 6- and 8-feet in height and are generally opaque at a distance of 10-feet.



Figure 86: Examples of appropriate front yard fencing in DeFuniak Springs, the right image also demonstrating appropriate rear yard screening.

Best Practices

- Fences of an appropriate height that do not screen front yards.
- The replacement of a deteriorated historic wall or fences either in-kind or with a material that can replicate the original in type, scale, texture, and color. If use of the same material is not feasible, a simple fence in a style that complements the surrounding architecture is appropriate.
- New walls and fences that are consistent with the setback of the subject building and adjacent properties and that match the style of the building in scale and material.
- New fences constructed in a durable fashion with a consistent pattern.
- The use of chain link fences limited to rear yards.



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Appropriate

- Retain and preserve original fences whose features are character-defining elements of the property including, gates, pillars, hardware, decorative pickets, and rails.
- Repair or restore damaged or deteriorated historic perimeter walls and fences. Where repair is not possible due to the severity of the deterioration, replace historic walls or fences in-kind using the same material as the original and matching in size, shape, height, profile, texture, and color. If use of the same material is not feasible, the substitute material should approximate the original as closely as possible.
- New walls and fences should be consistent with the setback of the subject building and adjacent properties and shall match the style of the building in scale and material.
- Fences shall be constructed in a durable fashion with weather resistant wood and be of a consistent pattern.
- Historic wood fences should be protected with a painted surface.
- Privacy fences should be limited to side and rear yards and shall be between six and eight feet in height.

May Be Appropriate

- When replacement is necessary, in-kind replacements are the first choice. A simple fence in a style that complements the surrounding architecture may also be appropriate.
- Chain link fences may be permitted at the rear of a property if not visible from a primary right-of-way.

Not Acceptable

- Using multiple fencing materials and/or styles.
- Concrete block, horizontal boards, vinyl, and similar styles fences.
- Replacing a historic fence with incongruous materials, such as chain-link or plain concrete block, or constructing a new fence of nonhistorical, incongruous material.
- Painting or covering a historic masonry fence or wall with stucco is not acceptable.
- It is not acceptable to use fences or walls to screen front yards.


➔



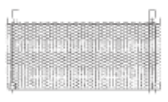
Figure 45: Inappropriate variety of fencing surrounding a historic residence.

DeFuniak Springs Historic Districts Design Standards


PICKET



CHICKEN WIRE



RANCH RAIL



CAST IRON

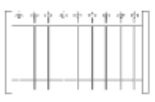




Figure 87: Diagram of appropriate fence types for front yards.

HORIZONTAL SCREENING



VERTICAL SCREENING



LATTICE SCREENING




Figure 88: Diagram of appropriate screening fence types for rear and side yards.

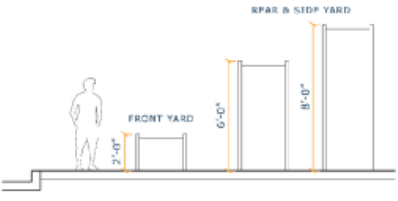



Figure 89: Standard fencing height diagram.

FRONT YARD



REAR & SIDE YARD




Figure 90: Diagram of appropriate location of residential fences.

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Second Draft – Layout & Visual Development

Standard 21. Windows

Windows are among the most prominent features of a historic building and are important architectural elements of the building façade. The decorative elements of windows, such as the sash, muntins, and sill, as well as the wood or masonry materials that surround them, are designed to complement the exterior detailing of the building.

When properly maintained, historic wood windows can have a serviceable life of 150 years. While many windows are replaced under the guise of "energy efficiency," historic windows, when properly maintained and with appropriate storm windows, can be just as efficient as modern windows. Weatherstripping and caulking can be used to improve the thermal and acoustic performance of an existing window.

See [Chapter 7. Substitute Materials](#) for additional guidance.

For Reference

Preservation Brief 9: [The Repair of Historic Wooden Windows.](#)

Preservation Brief 13: [The Repair and Thermal Upgrading of Historic Steel Windows.](#)

Preservation Brief 33: [The Preservation and Repair of Stained and Leaded Glass.](#)

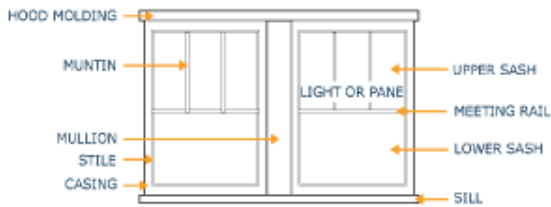


Figure 78: Diagram of typical window parts.



4.8. WINDOWS

Windows are among the most prominent features on a building and are important architectural elements of the building's façade.

Standard Windows

Windows are typically vertical in proportion. Two basic window patterns include 1 over 1 and 2 over 2, double-hung with wide trim that is flat or has a simple bond, with simple headers. On the front façade of the principal floor, the sill height may be no more than 3 feet for the majority of the windows.

Special Windows

Special windows include dormers or small rectangular accent windows. Dormers have either shed, hipped, or gabled roofs, and rectangular windows.

Trims

Windows typically have a 5½ -inch wide flat trim, often edged with a plain band or a simple cap molding.

Shutters

Painted, operable shutters are encouraged on single windows. Shutter styles can be louvered or plank. Awning shutters (hinged at the top) are encouraged.



Figure 62: Examples of appropriate historic windows, the right image demonstrating a compatible storm window.

Best Practices

- The removal and replacement of historic wood or steel windows only when it can be demonstrated that they are deteriorated beyond repair.
- The replacement of original deteriorated window elements either in-kind or with a material that can replicate the original's size, configuration, and molding profile.
- New windows that match the architectural character of a historic building's façade in size, pattern, profile, and proportion.
- New construction window heights and sizes that are consistent with that of the surrounding buildings.
- Decorative window elements, such as the sash, muntins, and sill, designed to complement the exterior detailing of a building.



Second Draft – Layout & Visual Development

Appropriate	
<ul style="list-style-type: none"> • Maintain the condition of historic windows through routine maintenance such as weatherstripping and reglazing. • Retain and repair historic window sashes, exterior cap moldings, sills, and frames. • If replacement is deemed necessary, replacement in-kind with original window material of similar size, configuration, and molding profile. • The replacement of inappropriate prior replacements, such as vinyl units, with more historically appropriate units. • If aluminum frame storm windows are added, the aluminum elements should be painted to match the window trim. The dividers of the aluminum window should match those of the existing windows. • Missing elements should be replaced in-kind and informed by documentary evidence. 	
May Be Appropriate	Not Acceptable
<ul style="list-style-type: none"> • Replacing original window with aluminum, aluminum clad wood, or fiberglass windows on non-primary elevations with minimal visibility from the public right-of-way. • Replacing vinyl windows in-kind. • Installing a storm window on the interior of a window. 	<ul style="list-style-type: none"> • Replacing a historic window with a vinyl replacement. • Changing the size of window openings. • Enclosing historic window openings. • Adding window openings where there was not a window historically. • Installing screen or storm windows that conceal the glass and/or do not properly align with the sash.



DeFuniak Springs Historic Districts Design Standards

Figure 63: Standard window dimensions - First Floor - Second Floor - Gable Roof Dormer

Figure 64: Diagram of typical window types.

Figure 65: Cross sections showing common substitute materials for windows. From left to right: aluminum clad, vinyl clad, vinyl, and composite/fiberglass.

Figure 66: Examples of an appropriate vinyl clad (left) and an incompatible vinyl (right) window replacements in terms of proportions and profile.

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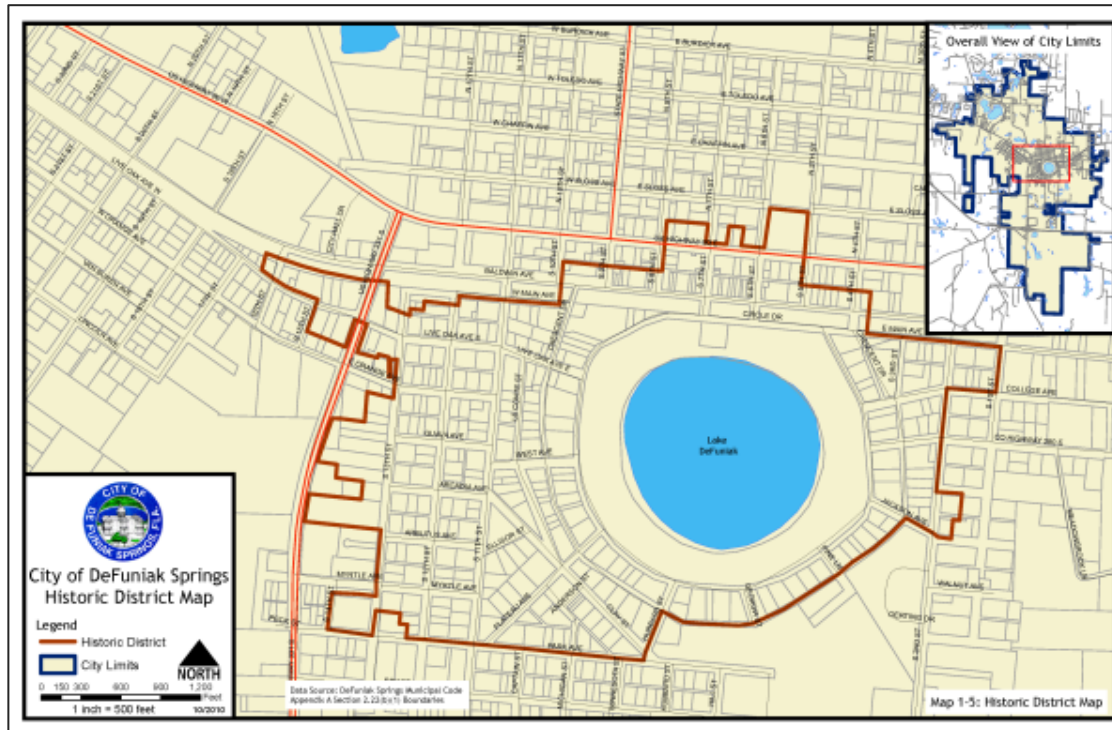
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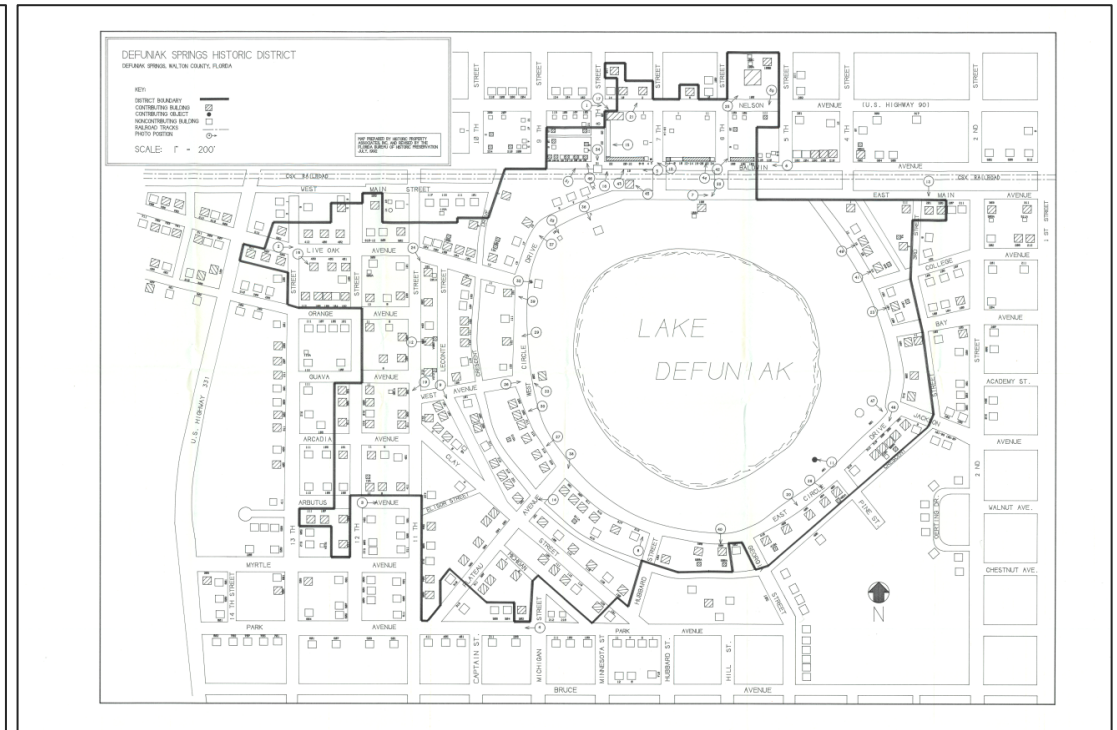
NRHP Map addition.



Second Draft – DeFuniak Springs Historic District



Local Historic District Boundaries



NRHP Historic District Boundaries



What's Next?



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Questions

Following stakeholder meetings held in June, JMT has incorporated feedback received by the CRA Board, City Council, and other DeFuniak Springs stakeholders into a second draft of Design Standards. This document will provide a brief overview illustrating the changes made between the first and second draft. The biggest changes include the following:

- First draft condensed from three documents, one for each of the historic districts, to one document that combines all three.
- Inclusion of more visual elements such as diagrams and imagery. Document layout changed from portrait to landscape to better display these added visual elements.
- Three “levels of appropriateness” (Appropriate, May Be Appropriate, and Not Acceptable) removed and replaced with more descriptive standards and “Best Practice” boxes.
- Restoration and maintenance language removed throughout the document.
- A new section was added to Chapter 1 which goes over financial incentives.
- Clarification added to Chapter 2 on the difference between nationally and locally designated historic districts as well as contributing and non-contributing structures. A map showing the boundaries of the national register DeFuniak Springs Historic District added to the Appendices to provide clarity in how that boundary differs from the locally designated DeFuniak Springs Historic District.
- Removal of the procedures outlined in Chapter 3 and the information about the Planning Department was moved to the Appendices.
- The chapter on substitute materials was condensed with discussion on substitute materials added throughout Chapter 4 with a focus being more on matching proportions and profiles over choice of materials.

The following visuals illustrate how the layout differences between the first and second drafts.

SIGNAGE

1st Draft

DeFuniak Springs Historic District - Residential

Standard 11. Residential Signage

The most common types of signage on residential buildings in the DeFuniak Springs Historic District are hanging signs, glass signs, mounted aluminum, and freestanding signs. Keeping a historic sign is encouraged, even if the business or product provided is no longer the occupant. Preserved historic signs can have strong recognition value and can become community landmarks.

For Reference
 Preservation Brief 25: The Preservation of Historic Signs.

FIGURE 43: Types of signage and their locations on residential properties.

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2nd Draft

DeFuniak Springs Historic Districts Design Standards

4.3. SIGNAGE

Standard Signage

Business signs are among the most important contemporary elements of commercial buildings. Well-designed signs contribute to the appearance of a building as well as attract customers and clients. Business signs that are poorly designed detract from the appearance of a building and the image of a business. Common problems with poorly designed business signs include excessive size, illegible graphics and typeface, poor color selection, and improper location.

All signage must comply with the DeFuniak Springs Sign Ordinance. A sign permit is required in order for a sign to be installed, constructed, altered, or relocated in a historic district in DeFuniak Springs. Sign permit application forms are available at the Planning and Code Enforcement Department.

Standard Lighting

Halo lighting, in which individual letters contain lighting to illuminate the wall behind them, are appropriate for wall signs. Internally illuminated signs, particularly box or cabinet signs in which the entire surface is illuminated or neon signs, are generally not appropriate for the character of the district. Excessively bright or flashing lights and animated signs are also not appropriate for residential or commercial portions of the district. Lighting sources and associated conduit for signs should generally be concealed from view.

FIGURE 44: Examples of appropriate signage in DeFuniak Springs. Left to right: hanging sign, masonry, and mounted sign, wall sign.

Best Practices

- Avoid attaching any signage to a building in a way that covers or destroys character-defining elements of an entry or facade.
- Connect wall-mounted signage through mortar joints rather than masonry units.
- New signage located on the flat, unadorned parts of a facade, such as the horizontal band between the storefront and cornice, or on windows, awning flaps, porches and porches, or other areas where signs have been historically placed on the building.
- Limit the overall number of signs to avoid a cluttered appearance that competes with the building's historic character.

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DeFuniak Springs Historic District - Residential

Appropriate

- Limit the overall number of signs to avoid a cluttered appearance that competes with the building's historic character.
- Where possible, preserve historic signs.
- Connect wall-mounted signage through mortar joints rather than masonry units.
- For historic signs for businesses or products no longer on site, coordinate the placement of replacement signage in a way that appropriately advertises the current business without removing or covering the historic sign.
- Lighting sources and associated conduit for signs should generally be concealed from view.

FIGURE 45: Appropriate signs on the rear porch of a historic residence.

Not Acceptable

- Placing signs in a way that damages historic fabric.
- Covering or obscuring architectural features with new signage.
- Internally illuminated signs, particularly box or cabinet signs in which the entire surface is illuminated, and neon signs, are generally not appropriate for the character of the district.
- Excessively bright or flashing lights and animated signs are not appropriate for residential.

FIGURE 46: Inappropriate signage and placement on the front facade of a historic residence.

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DeFuniak Springs Historic Districts Design Standards

Awning Sign

This sign type is common on traditional storefronts with awnings. Awnings protect merchant signs and keep storefront interiors shaded and cool in hot weather, but they also serve as a focal point for a commercial property's front facade. Business names and logos can be located on the slopes, returns, and valances of awnings. The most legible awning signs are designed with a color contrasting the awning background or are outlined in a contrasting color.

Canopy Sign

This sign type is common on traditional storefronts with canopies, both stationary and suspended. Canopies protect merchant signs and keep storefront interiors shaded and cool in hot weather, but they also serve as a focal point for a commercial property's front facade. Signage is typically located on top of the canopy.

Signboard

This sign type is common on traditional commercial properties, particularly two-part commercial brick buildings that were designed with a signboard area in the wall above the storefront. Signboard signs should be mounted flush on the facade centered over the entry to the business or centered in the signboard area.

Directory Sign

This sign type provides a listing of establishments within a building or series of buildings. Directory signs are typically designed to complement the design of the entry and facade to which they are attached. They are usually mounted flush on the facade near the front entry or on a prominent sign adjacent to the building entrance.

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WINDOWS

1st Draft

DeFuniak Springs Historic Districts - Residential

Standard 21. Windows

Windows are among the most prominent features of a historic building and are important architectural elements of the building facade. The decorative elements of windows, such as the sash, muntin, and sill, as well as the wood or masonry materials that surround them, are designed to complement the exterior detailing of the building.

When properly maintained, historic wood windows can have a serviceable life of 100 years. While many windows are replaced under the guise of "energy efficiency," historic windows, when properly maintained and with appropriate storm windows, can be just as efficient as modern windows. Weatherstripping and caulking can be used to improve the thermal and acoustic performance of an existing window.

See Chapter 7, *Substitute Materials* for additional guidance.

For Reference

- Preservation Brief 9: *The Repair of Historic Wooden Windows.*
- Preservation Brief 13: *The Repair and Thermal Upgrading of Historic Steel Windows.*
- Preservation Brief 32: *The Preservation and Repair of Stained and Leaded Glass.*

Figure 70: Diagram of typical window parts.

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DeFuniak Springs Historic Districts - Residential

Appropriate

- Maintains the condition of historic windows through routine maintenance such as sanding, applying and re-glazing.
- Repair and repair historic window sashes, exterior cap moldings, sills, and frames.
- If replacement is deemed necessary, replacement is kind with original window material of similar size, configuration, and muntin profile.
- The replacement of inappropriate prior replacements, such as vinyl units, with more historically appropriate units.
- If aluminum frame storm windows are added, the aluminum elements should be added to match the window unit. The divisions of the aluminum window should match those of the existing window.
- Missing elements should be replaced in kind and informed by documentary evidence.

May Be Appropriate	Not Acceptable
<ul style="list-style-type: none"> • Replacing original window with a material other than old wood, or fiberglass windows on non-patented buildings with minimal visibility from the public right-of-way. • Replacing vinyl windows in-kind. • Installing a storm window on the interior of a window. 	<ul style="list-style-type: none"> • Replacing a historic window with a vinyl replacement. • Changing the size of window openings. • Enlarging historic window openings. • Adding window openings where there were not a window historically. • Installing screens or storm windows that conceal the glass and/or do not properly align with the unit.

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2nd Draft

DeFuniak Springs Historic Districts Design Standards

4.8. WINDOWS

Windows are among the most prominent features on a building and are important architectural elements of the building's facade.

Standard Windows

Windows are typically vertical in proportion. Two basic window patterns include 1 over 1 and 2 over 2, double-hung with wide trim that is flat or has a simple bond, with simple headers. On the front facade of the principal floor, the sill height may be no more than 3 feet for the majority of the windows.

Special Windows

Special windows include dormers or small rectangular accent windows. Dormers have either shed, hipped, or gabled roofs, and rectangular windows.

Trims

Windows typically have a 5/8" inch wide flat trim, often edged with a plain band or a simple cap molding.

Shutters

Painted, operable shutters are encouraged on single windows. Shutter styles can be louvered or planked. Awning shutters (hinged at the top) are encouraged.

Figure 52: Examples of appropriate historic windows, the right image demonstrating a compatible storm window.

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Best Practices

- The removal and replacement of historic wood or steel windows only when it can be demonstrated that they are deteriorated beyond repair.
- The replacement of original deteriorated window elements either in kind or with a material that can replicate the original's size, configuration, and muntin profile.
- New windows that match the architectural character of a historic building's facade in size, pattern, profile, and proportion.
- New construction window heights and sizes that are consistent with that of the surrounding buildings.
- Decorative window elements, such as the sash, muntin, and sill, designed to complement the exterior detailing of a building.

DeFuniak Springs Historic Districts Design Standards

Figure 63: Standard window dimensions - First Floor, Second Floor, Gable Roof Dormer

Figure 64: Diagram of typical window types.

Figure 65: Cross-sections showing common substitutes made for windows, from left to right: aluminum clad, vinyl clad, vinyl, and composite fiberglass.

Figure 66: Examples of an appropriate vinyl clad (left) and an inappropriate vinyl (right) window replacement in terms of proportion and profile.

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FENCING

1st Draft

DeFuniak Springs Historic Districts - Residential


Standard 8. Fences and Walls

A number of historic perimeter wall and fence types can be found throughout the DeFuniak Springs Historic District. These include brick walls, wood fences including picket and ranch rail, chicken wire, and cast-iron fences. Fences and perimeter walls are typically located at the front property lines in residential areas. They help to define public from private space, as well as significantly contribute to the character of the district.

In any residential district no fence, wall, hedge or planting shall be erected, constructed, maintained or grown to a height exceeding two feet above the nearest street grade. No wall or fence used for screening purposes shall be less than six feet or greater than eight feet above grade. All walls or fences used for screen purposes should be located around rear- or side yards and shall be generally opaque at a distance of ten feet.

For Reference
 Preservation Brief 27: [The Maintenance and Repair of Architectural Cast Iron](#).


PICKET



CHICKEN WIRE



RANCH RAIL



CAST IRON



Figure 43: Diagram of appropriate fence and screening heights for residential front yards.






Figure 43a: Example of a historic masonry wall in DeFuniak Springs. Figure 43b: Example of an opaque chain-link fence in DeFuniak Springs.

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2nd Draft

DeFuniak Springs Historic Districts Design Standards

4.14. FENCING

Fences and perimeter walls are typically located at the front property lines in residential areas. They help to define public from private space, as well as significantly contribute to the character of the district. Screening fences are located around side and rear yards.

Standard Fences

A number of historic perimeter wall and fence types can be found throughout the DeFuniak Springs Historic Districts. These include brick walls, wood fences including picket and ranch rail, chicken wire, and cast-iron fences.

Front yard fences in a residential district do not exceed 2 feet above the nearest street grade. Screening fences along rear or side yards are between 6- and 8-feet in height and are generally opaque at a distance of 10-feet.








Figure 56: Examples of appropriate front yard fencing in DeFuniak Springs, the right image also demonstrating opaque rear yard screening.

Best Practices

- Fences of an appropriate height that do not screen front yards.
- The replacement of a deteriorated historic wall or fences either in-kind or with a material that can replicate the original in type, scale, texture, and color. If use of the same material is not feasible, a simple fence in a style that complements the surrounding architecture is appropriate.
- New walls and fences that are consistent with the setback of the subject building and adjacent properties and that match the style of the building in scale and material.
- New fences constructed in a durable fashion with a consistent pattern.
- The use of chain-link fences limited to rear yards.

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DeFuniak Springs Historic Districts - Residential

Appropriate

- Repair and preserve original fences unless features are character defining elements of the property including, gates, pillars, hardware, decorative pickets, and rails.
- Repair or restore damaged or deteriorated historic perimeter walls and fences. Where repair is not possible due to the severity of the deterioration, replace historic walls or fences in-kind using the same material as the original and matching in form, slope, height, profile, texture, and color. If use of the same material is not feasible, the substitute material should approximate the original as closely as possible.
- New walls and fences should be consistent with the setback of the subject building and adjacent properties and shall match the style of the building in scale and material.
- Fences shall be constructed in a durable fashion with weather resistant wood and be of a consistent pattern.
- Historic wood fences should be protected with a painted surface.
- Privacy fences should be limited to side and rear yards and shall be between six and eight feet in height.

May Be Appropriate

- When replacement is necessary, in-kind replacements are the first choice. A simple fence is a style that complements the surrounding architecture may also be appropriate.
- Chain-link fences may be permitted at the rear of a property if not visible from a primary right-of-way.




Figure 45: Examples of use of fencing materials in a historic residence.


Not Acceptable

- Using multiple fencing materials and/or styles.
- Concrete block, horizontal boards, vinyl, and linear stone fences.
- Replacing a historic fence with non-traditional materials, such as chain-link or chain-link-like block, or constructing in new form of non-historic, inappropriate material.
- Painting or covering a historic masonry fence or wall with stucco is not acceptable.
- It is not acceptable to use fences or walls to screen front yards.


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DeFuniak Springs Historic Districts Design Standards


PICKET



CHICKEN WIRE



RANCH RAIL



CAST IRON






Figure 57: Diagram of appropriate fence types for front yards.


HORIZONTAL SCREENING



VERTICAL SCREENING



LATTICE SCREENING



SCREENING WALL





Figure 58: Diagram of appropriate screening fence types for rear and side yards. Figure 59: Standard fencing height diagram.

FRONT YARD



REAR & SIDE YARD




Figure 60: Diagram of appropriate location of residential fences.

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Income-Based Hazardous Tree Grant Application

DeFuniak Springs Redevelopment Agency · 694 Baldwin Ave., DFS, FL 32435 · (850) 951-3054 · defuniakspringscra.com

Please PRINT or TYPE. Fill out completely. If field does not apply, put N/A. **INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED**

Date Application Submitted		Application Number <i>(to be completed by CRA)</i>	
-----------------------------------	--	-----------------------------------------------------------	--

APPLICANT'S INFORMATION

Property Owner(s)		Social Security Number(s)	
Mailing Address		Household Size	
		Employed	YES NO
Phone Number			
Email Address			

ADDITIONAL OWNER INFORMATION (if more than one owner)

Additional Owner		Phone Number	
Additional Owner Address		Email Address	

PROPERTY AND PROJECT INFORMATION

Physical Address of Property			
Parcel Number			
Does this property have a mortgage lien?	YES	NO	If "Yes", name of lien holder: Balance: \$
Have you received any CRA improvement grants in the last thirty-six (36) months?	YES	NO	
If "YES" above, provide details <i>(date, address of property improved, amounts, etc.)</i> :			

Project Description *(Attach additional sheet if needed)*

Project Budget
Please provide details of all estimated costs for the tree mitigation project. Include ALL expenses so the entire scope of the project can be understood, and an eligibility determination can be made. Only eligible expenses will be reimbursed. *(Attach additional sheets if needed)*

Project/Category Item	Estimated Cost	Eligible Expense? (Y/N) To be filled out by CRA
1		
2		
3		
4		
5		
6		
Sub-Total (items 1-6)		
Eligible Expenses TOTAL (to be filled out by CRA)		

It is not guaranteed that award funding/reimbursement will increase if final costs exceed initial estimates. Please estimate project costs carefully.

Print Name

Signature of Applicant

Date

APPLICATION CHECKLIST

All applicants must submit a completed application including all requirements attached and organized prior to the start of any work to be considered for grant funding. No work can begin before approval has been received.

The following is required with your initial application, before the start of any work:

- Completed and signed application
- Proof that property is homestead exempt
- Proof that household income does not exceed 65% of the Walton County Area Median Income (AMI) as published annually by U.S. Department of HUD
- Four (4) photographs clearly showing existing conditions of the building to be improved
- Project Budget
- Copy of property / liability insurance
- Copy of Arborist's License
- Proof of property ownership
- Proof that all taxes are paid on property
- Proof that no liens exist for which payment on associated debt is delinquent
- Documentation identifying that any loans and mortgages on the property are current and in good standing, or a copy of the title if no mortgage exists
- Two (2) estimates / quotes (CRA staff will assist)
- W9 Forms, Identification

The following is required to be provided upon completion of work:

- Photographs of all completed work
- Copies of all invoices, and proof of payment including but not limited to: verification of all project costs, including contractor invoicing, lien releases, and evidence of payment of all expenses, including any match (copies of checks, credit card receipts, etc.)
- Evidence that work was performed by licensed and insured contractors, where required
- Evidence that utilities are up to date
- No Code Enforcement fines and/or liens for which payment on associated debt is delinquent
- All Regulatory Requirements have been met (building inspections, approvals and final completions, etc.)

Estimated Cost of Project		Grant Amount Requested	\$	
----------------------------------	--	-------------------------------	-----------	--

Print Name

Signature of Applicant

Date

HOUSEHOLD:

	FULL NAME	RELATIONSHIP	DATE OF BIRTH	SOCIAL SECURITY #
1		Applicant		
2				
3				
4				

***For more than 4 household members please provide a letter indicating full name, relationship to applicant, date of birth and social security number for all other household members.**

**APPLICANT
ACKNOWLEDGEMENT FORM**

By requesting financial assistance, ***Understand and agree*** with the following conditions:

Filing an application does not guarantee funding, and approval of grant funds does not guarantee issuance until all requirements have been fulfilled.

Applicant understands the Income-Based Hazardous Tree Grant Program is income-based, thereby requiring proof of income. Household income shall not exceed **630%** of the Walton County Area Median Income, as published annually by the United States Department of HUD.

All improvements must follow plans as approved by the CRA Income-Based Hazardous Tree Grant Program.

Any properties owned by the applicant and sought to be improved with the grant hereby applied for may not be involved in court action with the City of DeFuniak Springs. If applicable, the applicant must verify code enforcement actions currently active against the building or the business and that the work undertaken in conjunction with the improvement project will incorporate mitigation of code violations.

All improvements must comply with all applicable Walton County building code requirements, local ordinances, permit requirements, and established design and historic preservation standards for the designated area.

Eligible activities include hazardous tree mitigation to eligible homesteaded parcels within the DeFuniak Springs CRA Redevelopment Area. These activities may include removal or trimming of trees that have been deemed hazardous by CRA staff through consultation with a certified tree arborist.

The tree or limb must present a danger to the homeowner's or neighbor's primary residence and/or show obvious signs of rot or damage. The DeFuniak Springs CRA will provide a licensed and insured arborist to conduct tree mitigation in accordance with city procurement policies.

No improvements should be made prior to the issuance of an Approval in writing, and no grants will be awarded retroactively. Any changes made to the project that have not been approved will not be eligible for funding and may disqualify the entire project for reimbursement. Grant funds cannot reimburse past projects.

Following issuance of the Income-Based Hazardous Tree Grant award, the applicant shall have ninety (90) calendar days to complete the approved project. Where substantial project completion has not begun within ninety calendar days, or where substantial progress has not been made during any ninety-day period following commencement of project, the approved grant application shall be reevaluated by the appropriate bodies. One extension of 60 calendar days may be granted by the CRA Director on request of the applicant, if the request is made at least 30 days prior to expiration and where conditions or codes have not changed, to affect the public health, safety and welfare of the citizens of the city. Extensions granted will begin on the last day of the original application expiration date. All requests must be in writing and must be received before any consideration is given.

Final payment will be made only after the work has been completed and a final inspection has been made by CRA and/or City Staff to determine that the work has been satisfactorily and entirely completed according to approved plans and specifications and building requirements.

All work shall be performed by a Florida licensed and insured arborist. Work/labor performed by the property owner, relative or tenant, even if a licensed contractor, will not be reimbursed for work done on an owner's own property.

All improvements/changes that have been approved should be maintained for at least three (3) years. To the fullest extent of the law, the applicant shall indemnify and hold harmless DeFuniak Springs from and against any and all liability, claims, demands, damages, expenses, fees, fines, penalties, suits, proceedings, actions and cost of actions, including reasonable attorney's fees, of any kind or nature arising or growing out or in any way connected with the performance of the improvement. The program is a one-time service per property owner.

Applicant's Certification:

I have read and understand this application. I hereby submit this application, together with the attached photos, plans, and additional supporting documentation for the proposed project. I understand that the City of DeFuniak Springs Community Redevelopment Agency, hereinafter referred to as "Agency," must approve the application. I further understand that if I accept the award, I will comply with all the requirements contained therein. No funding will be awarded until a completed application has been approved by the Agency and the required items from the checklists have been submitted to CRA/City satisfaction. At the discretion of the Agency, I agree to place a program sign on my property for the duration of the project. I understand the project must be completed within ninety days of grant approval, or the approval and funding shall expire unless appropriate grant extension approvals are secured. I understand that this income-based grant program is a one-time service per property owner.

Print Name

Signature of Applicant

Date

PLEASE READ - GENERAL INFORMATION FOR APPLICANTS ABOUT CRA ELIGIBILITY PARAMETERS, LIMITATIONS and REQUIREMENTS

Eligible Improvements: Eligible projects must be to a homestead exempt parcel ~~with obvious signs of tree decay and/or damage~~, that are visible (street facing) portions of structure or site. The program can fund **up to 100%** of cost incurred per eligible project, upon approval of CRA Director.

<p>Program details:</p> <ul style="list-style-type: none"> • The tree or limb must present a danger to the homeowner’s or neighbor’s primary residence and/<u>or</u> show obvious signs of rot or damage. • CRA staff and/or hired contractor(s) will inspect the tree(s) to determine the extent of mitigation. • Through city procurement policies, the CRA will provide a licensed and insured tree arborist to perform tree removal/trimming services. 	<p>Requirements:</p> <ul style="list-style-type: none"> • Improvements MUST be visible from the district / corridor • Improvements MUST be completed within of project approval • Grant funds CANNOT reimburse past projects (no retroactive reimbursement allowed) • Applicant or family member CANNOT receive financial benefit from this grant • Improvements MUST comply with Walton County’s building codes, local ordinances, and permit requirements
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

Program funds cannot be used for the following:

- Services performed by a non-licensed arborist
- Repairs made in response to citations by the City’s Code Enforcement Department
- Work/labor performed by the property owner, relative or tenant (materials purchased by the owner may qualify; however, labor performed by the property owner, relative or tenant, even if a licensed contractor, will not be reimbursed for work done on an owner’s own property)

Vendor/Quotation Requirements:

- Vendor **MUST** be licensed to work and pull permits in City of DeFuniak Springs and Walton County, where required
- Vendor **CANNOT** start the project until the approval is issued by CRA program office
- Quote **MUST** be on the vendor’s letter head and include **ALL** costs associated with the project (cost of permits, use agreements, design, site plans, surveying, engineering, etc.).
- Vendors cannot be a relative of or the applicant of the grant program
- DeFuniak Springs recommends that the vendor provide a certificate of insurance with Workers’ Compensation (\$100k), Commercial General Liability (\$500k), and Business Automobile Liability (\$100k)

CRA Regular Grants and Special Consideration Grants will be based on the building type and size, per the chart below:

Building type and size:	Regular Grant (total)
Single-family Homestead Exempt Residential	Up to \$5,000

I have read and understand the above CRA ELIGIBILITY PARAMETERS, LIMITATIONS, REQUIREMENTS and AWARD AMOUNTS.

Print Name

Signature of Applicant

Date



EMPLOYMENT HISTORY:

1. APPLICANT

CURRENT EMPLOYER:

NAME: _____

PHONE: _____

ADDRESS: _____

DATES EMPLOYED: _____

POSITION: _____

SUPERVISOR: _____

PREVIOUS EMPLOYER:

NAME: _____

PHONE: _____

ADDRESS: _____

DATES EMPLOYED: _____

POSITION: _____

SUPERVISOR: _____

2. CO-APPLICANT

CURRENT EMPLOYER:

NAME: _____

PHONE: _____

ADDRESS: _____

DATES EMPLOYED: _____

POSITION: _____

SUPERVISOR: _____

PREVIOUS EMPLOYER:

NAME: _____

PHONE: _____

ADDRESS: _____

DATES EMPLOYED: _____

POSITION: _____

SUPERVISOR: _____

PLEASE PROVIDE EMPLOYMENT INFORMATION AND SUPPORTING DOCUMENTATION FOR ALL OTHER WORKING HOUSEHOLD MEMBERS AGE 18 YEARS OR OLDER, OR A NOTARIZED AFFIDAVIT CONFIRMING UNEMPLOYMENT, AND STATING SOURCE OF FINANCIAL SUPPORT.



SOURCE(S) OF ANNUAL INCOME:

SOURCE	APPLICANT	CO-APPLICANT	OTHER HOUSEHOLD MEMBER	TOTAL
GROSS ANNUAL SALARY*				
OVERTIME, TIPS, BONUSES				
SOCIAL SECURITY INCOME				
SSI				
RETIREMENT/PENSION/VA				
UNEMPLOYMENT				
WORKERS COMPENSATION				
WELFARE PAYMENTS				
WELFARE PAYMENTS				
BUSINESS NET INCOME				
INTEREST/DIVIDENDS				
OTHER INCOME				

***ANNUAL SALARY PRIOR TO DEDUCTIONS**

PROVIDE SUPPORTING DOCUMENTATION FOR ALL ANNUAL INCOME SOURCES RECEIVED BY THE APPLICANT, CO-APPLICANT, AND/OR HOUSEHOLD MEMBERS, AND/OR A NOTARIZED AFFIDAVIT CONFIRMING LACK OF INCOME, AND EXPLAINING SOURCE OF FINACIAL SUPPORT FOR ALL HOUSEHOLD MEMBERS AGES 18 YEARS OR OLDER.

The information provided above is true and complete to the best of my knowledge and belief. I consent to the disclosure of such information for purposes of income verification related to my application for assistance under DeFuniak Spring’s Community Redevelopment Agency Income-Based Hazardous Tree Grant Program. I understand that any willful misstatement of material facts will be grounds for disqualification and may result in legal action against me. I understand the information provided is required to determine assistance eligibility and does not assure qualification for assistance. I agree to provide other documentation as may be required to determine my eligibility for assistance under this program.

Applicant Signature: _____

Date: _____

Co-Applicant Signature: _____

Date: _____

THIRD-PARTY ASSET VERIFICATION FORM
Checking, Savings, Certificate of Deposit, and Money Market Accounts



Name of Financial Organization: _____

Address: _____

PLEASE RETURN FORM TO:
DeFuniak Springs Community Redevelopment Agency
694 Baldwin Avenue, Suite 4
DeFuniak Springs, FL 32435
Phone: 850-951-3054
Email: cradirector@defuniaksspringscra.com

SUBJECT: **Verification of Information Supplied by an Applicant for the DeFuniak Springs CRA Income-Based Hazardous Tree Grant Program**

NAME: _____

ADDRESS: _____

This person has applied for assistance under a program of the DeFuniak Springs CRA. The CRA requires the housing owner to verify all information that is used in determining this person's eligibility or level of benefits.

We ask your cooperation in providing the following information and returning it to the person listed at the top of the page. Your prompt return of this information will help to ensure timely processing of the application for assistance. The applicant/tenant has consented to this release of information as shown below.

Area to be completed by Financial Organization
(Please answer all questions. Answer N/A if the question does not apply.)

Checking Account

Average Balance for

Account # _____ Previous Six (6) Months: \$ _____ Interest Rate: _____ Date Account Opened: _____ Date Account Closed: _____

Average Balance for

Account # _____ Previous Six (6) Months: \$ _____ Interest Rate: _____ Date Account Opened: _____ Date Account Closed: _____

Savings Account

Account # _____ Current Balance: \$ _____ Interest Rate: _____ Date Account Opened: _____ Date Account Closed: _____

Account # _____ Current Balance: \$ _____ Interest Rate: _____ Date Account Opened: _____ Date Account Closed: _____

Certificates of Deposit

Account # _____ Current Value _____ Rate of Interest: _____ Cash Value* _____

**Cash value is the current value minus penalties for early withdrawal or cost to convert to cash (broker fees, etc.)*

Account # _____ Current Value _____ Rate of Interest: _____ Cash Value* _____

**Cash value is the current value minus penalties for early withdrawal or cost to convert to cash (broker fees, etc.)*

Account # _____ Current Value _____ Rate of Interest: _____ Cash Value* _____

**Cash value is the current value minus penalties for early withdrawal or cost to convert to cash (broker fees, etc.)*

Money Market

Account # _____ Current Value _____ Rate of Interest: _____ Cash Value* _____

**Cash value is the current value minus penalties for early withdrawal or cost to convert to cash (broker fees, etc.)*

Name and Title of Person Supplying the Information Firm/Organization Name Signature Date

RELEASE: I hereby authorize the release of the requested information. Information obtained under this consent is limited to information that is no older than 12 months. There are circumstances that would required the owner to verify information that is up to 5 years old, which would be authorized by me on a separate consent attached to a copy of this consent.

Signature

Date

Please return the form to the address listed above. Thank You

NOTICE TO APPLICANT(S): ACCESS TO FINANCIAL RECORDS

This is a notice to you as required by the Right to Financial Privacy Act of 1978 informing you that the State of Florida and DeFuniak Springs CRA have a right to access to financial records held by any financial institution in connection with the consideration or administration of DeFuniak Spring’s Community Redevelopment Agency Income-Based Hazardous Tree Grant Program. Financial records involving your transactions will be available to DeFuniak Springs CRA without further notification, and/or authorization but will not be disclosed or released to another government agency, or department without your consent except as required or permitted by law.

Applicant Signature: _____ **Date:** _____

Co-Applicant Signature: _____ **Date:** _____

DeFuniak Springs CRA certifies that it is in compliance with the applicable provision of the Financial Privacy Act of 1978 as related to this request for access to financial records.

CRA Signature: _____ **Date:** _____

Written Name and Title: _____



DeFuniak Springs Community Redevelopment Agency 694 Baldwin
Avenue, Suite 4
DeFuniak Springs, FL 32435
Phone: (850) 951-3054
Email: cradirector@defuniakspringscra.com
Web: defuniakspringscra.com

HOLD HARMLESS AGREEMENT

I, hereinafter referred to as the Applicant, do hereby agree to hold DeFuniak Springs CRA and the State of Florida, as well as their respective agents, assigns, and/or employees, harmless from any action regarding tree removal/trimming services. It is further understood and agreed that in consideration for assistance provided by DeFuniak Spring's Community Redevelopment Agency for the Income-Based Hazardous Tree Removal Grant Program applicant hereby agrees to defend, indemnify and hold harmless DeFuniak Springs CRA, DeFuniak Springs Board of CRA Commissioners, the State of Florida and their respective agents, assigns, and/or employees from all claims by any person or persons arising from the act or acts of any third person, or persons in connection with the services provided.

Applicant Signature: _____

Date: _____

Co-Applicant Signature: _____

Date: _____



DeFuniak Springs Community Redevelopment Agency 694 Baldwin
Avenue, Suite 4
DeFuniak Springs, FL 32435
Phone: (850) 951-3054
Email: cradirector@defuniaksspringscra.com
Web: defuniaksspringscra.com



NOTICE TO APPLICANT(S): FLORIDA PUBLIC RECORDS LAW, F.S. CHAPTER 119

This is a notice to you regarding the State of Florida’s Public Records Law, Florida Statutes (F.S.) Chapter 119: Public Records. Under F.S. Chapter 119, the law requires that any records made or received by public agencies in the course of official business must be made available for inspection by the general public, unless specifically exempted by the Florida Legislature, or deemed confidential or exempted under federal law. Please be advised that in the course of the release of public records, DeFuniak Springs may release personal information including home address, email address and phone number, unless specifically exempted under law. You are hereby notified, pursuant to F.S. Chapter 119, that disclosure of your social security number has been collected on this application for identification and financial verification purposes to determine eligibility under this program, and will not be utilized for any other purpose, and/or released to any other agency and/or person(s) except where required under law. Please refer to F.S. Chapter 119.071 for details on Florida Public Records Law general exemptions.

The Community Redevelopment Agency requests that you disclose any exemptions under F.S. Chapter 119.071 which may apply to any person or persons referenced on this application for assistance. Please check a box below:

[] The person(s) referenced on this application qualify for the following exemptions under F.S. Chapter 119.071 (please indicate the full name of the person(s) qualifying for exemptions listed):

[] The person(s) referenced on this application do not qualify for any exemptions under F.S. Chapter 119.071.

Your signature below confirms your review and understanding of this notification as it relates to the State of Florida’s Public Records Law, F.S. Chapter 119, and applicable exemptions:

Applicant Signature: _____

Date: _____

Co-Applicant Signature: _____

Date: _____



DeFuniak Springs Community Redevelopment Agency

Guidelines & Procedures for Income-based Hazardous Tree Grant Program

Created September 2024

Revised October 2025

Please note that an application must be submitted and approved by the CRA BEFORE work begins. The applicant assumes all financial liabilities related to work that is completed prior to a ruling. Following a review of the CRA application, the applicant will be sent an official correspondence by the CRA Executive Director.

Purpose:

The primary objective of this income-based grant program is to encourage mitigation of hazardous trees by offering limited financial and technical assistance. The overall objective is to stimulate reinvestment in the CRA district and to preserve or revitalize the homes that create the unique character of the community. This assistance grant follows the CRA Redevelopment Plan Update Housing Rehabilitation Initiative and the overall goal of eliminating blight within the CRA district [FSS Chapter 163.335] through enhancing the appearance and condition of structures and properties.

Residential Property owners may qualify for this income-based grant program which provides up to 100% of the total project cost, with a maximum award of \$5,000, to pay for the removal and/or trimming of trees on residential parcels within the CRA District. The tree or limb must show obvious signs of rot or damage and/or present a danger to the homeowner's or neighbor's primary residence. All disbursements of grant funds are made following the completion and final inspection of the improvement project. Funds are appropriated annually in the CRA Budget and are available on a first come-first served basis. The program is subject to the availability of allocated funds in that CRA Budget.

Applicants are reminded that grant awards are discretionary and should not be considered an entitlement. All grant criteria contained herein are guidelines, not guarantees for awards and successful applicants may receive any amount up to the maximum award. Should an applicant meet all grant criteria, a grant may or may not be awarded due to funding limitations, competing applications, and/or competing priorities.

Program Rules:

The following rules are intended to inform a potential grant applicant of the extent and scope of the program. The desired result will halt deterioration, stabilize property values, improve, and upgrade the appearance of the area, and facilitate and encourage redevelopment activity in the CRA district.

1. The program is for existing residential parcels only. The property owner must be the applicant. The subject property must be the current homestead of the applicant.
2. Applications for properties delinquent in payment of property taxes will not be accepted.
3. This income-based program is available to households with annual income that do not exceed ~~56~~50% of the Walton Area Median Income (AMI), as provided annually by the U.S. Department of Housing and Urban Development (HUD).
4. The program is available only for property located within the CRA District.
5. Improvements must be consistent with any applicable guidelines and policies as outlined by the CRA Plan.
6. Eligible improvements for this program include tree removal and/or trimming, where obvious signs of decay or rot are present, and/or present a danger to the homeowner's or neighbor's primary residence. A qualified opinion from a licensed arborist is required.
7. All work must be done in compliance with applicable City of DeFuniak Springs and Walton County Codes and Planning Regulations. All professional work for which permitting is required must be performed by a licensed contractor in good standing with the City of DeFuniak Springs and Walton County. Improvements to properties that do not or cannot meet building and safety codes are ineligible.
8. Grant funds will be disbursed exclusively for approved work, approved change orders and only for work that has been performed after being notified of grant approval by the CRA. Any work completed prior to receiving grant approval is ineligible for reimbursement.
9. Final grant award to be determined by CRA Director.
10. Only one (1) Income-based Roof Improvement Grant application will be awarded per property owner.

Application Process:

1. An applicant seeking an Income-Based Hazardous Tree Grant application may find them Online at <https://www.defuniakspringscra.com>. A checklist of required documents and forms can be found within the Growth and Development Assistance Program grant page.
2. Applications will be accepted no sooner than October 1, and no later than July 1 of each fiscal year, unless approved by the director.
3. The CRA Executive Director undertakes the review of the application and determines if the application is complete. If the application is found incomplete, the applicant will be granted time to complete and resubmit the application. Once complete, the application will be date- stamped as received. **Acceptance of completed application packet is not a guarantee of funding.**
4. Applicants may not have any outstanding City of DeFuniak Springs liens against their property. CRA grants will not be awarded until the complete satisfaction of any City of DeFuniak Springs liens.
5. Within two (2) weeks, or ten (10) business days, of receipt of the received application, the CRA Executive Director will conduct a full review to ensure compliance with the CRA Grant Program Criteria and will make a decision for completeness.
6. An official notification from the CRA Executive Director will be delivered to the Applicant within two (2) weeks, or ten (10) business days informing them of the completeness of the application and the date of the next CRA Board meeting where the completed application will be presented to the CRA Board for consideration of approval. Failure to comply with conditions in a timely manner may result in the revocation of grant approval.
7. All Grant funding decisions provided by CRA Board are final.
8. By accepting the CRA grant award, applicant understands and agrees to:
 - a. Maintain the improvements made in accordance with this agreement for a period of three (3) years.
 - b. Not to alter, modify, or remove the improvements made in accordance with the agreement for a period of three (3) years without CRA approval.
 - c. Maintain ownership of the property in accordance with the agreement for a period of three (3) years. **Receipt of grant funding to improve property for sale is prohibited.** Sale of subject property prior to completion of improvements will result in the revocation of award approval.

Failure to comply may result in:

- a. Code Enforcement action
- b. Repayment of all CRA funds received by applicant for the subject property.

Project Implementation and Reimbursement Process:

1. Projects receiving funding must begin work and be completed within 90 days from receipt of grant approval notification unless a written request for time extension is received and approved by the CRA at least 30 days prior to project expiration. Non-compliance of these time frames may result in retraction of grant approval, and a new application would be required for consideration.
2. Reporting – By accepting the grant, applicant agrees to comply with monthly updates conducted by the CRA Executive Director. These updates may be obtained via email, phone or site visits. Reporting may include, but is not limited to, work schedules, reporting forms, and projected completion dates.
3. Site Visits – CRA staff will conduct a site visit before grant payment is made to verify that the work has been completed. Staff may also conduct unannounced site visits periodically to ensure compliance with the terms of the grant agreement.
4. The CRA will be responsible for hiring an arborist and managing the improvement(s) in accordance with the city of DeFuniak Springs Purchasing Policies. The project must be completed essentially as presented and approved by the CRA Director prior to final payment to vendor(s).
5. Payment shall be made upon completion of the improvements as approved. A final inspection and approval by the City/County are required. Submission of the following documentation is required for reimbursement of awarded project costs:
 - a. Pictures of completed project and all work funded by the CRA grant.
 - b. Copies of all required permits and final inspections.
 - c. Signed and completed W-9, as required by law, for the recipient of grant funds.
6. Requests for reimbursement of project costs not included in either the approved renovation plan or an approved Change Order shall not be considered for reimbursement.
7. The CRA reserves the right to verify all costs associated with the project.

10/23/2025

To: Joshua R. Ervin, Executive Director
DeFuniak Springs Community Redevelopment Agency
CRADirector@DeFuniakSpringsCRA.com

From: Bradley C. Touchstone, FAIA

Regarding: 27 Crescent Drive Renovations

Josh,

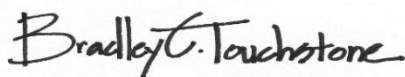
This is a brief summary of the progress being made on the design of renovations to the building at 27 Crescent Drive, DeFuniak Springs, FL.

1. Attached is a progress set of drawings for the design of the building. We have made a few adjustments based on input from the Cultural Arts Alliance (future tenant). We do not anticipate any further modifications to the overall layout.
2. The progress drawings include a detailed code analysis with the anticipated occupancy type for the building, design occupancy load, toilet fixture counts, etc. We will schedule a meeting with the Building Department to review these items so that there are no surprises during the permitting phase. Based on the Occupancy Type, we have identified the need to add a sprinkler system to the building.
3. The structural engineer, Carson Hicks, P.E., S.E., and I met at the building and reviewed the existing conditions. We are undergoing a detailed analysis of the roof truss system. The existing trusses are approximately 10 ft. on-center and there are unsupported rafters that extend from the outer wall to the ridge of the roof. In order to meet current code requirements, we anticipate the following modifications to the roof system
 - a. Add a longitudinal beam and column line along the centerline of the building to reinforce the existing trusses
 - b. Add joists between the existing trusses to support existing rafters.
 - c. Remove existing metal roof and add a plywood roof deck with ice-and-water shield
 - d. Add wind clips and bracing to existing wood members
 - e. Add bracing the gable walls at each end of the building

The following are the next steps in the process:

1. Schedule meeting with Building Department to review the project and code analysis
2. Perform a detailed member size survey of existing trusses
3. Perform a detailed structural analysis of the existing roof system
4. Engage with Civil Engineer to discuss ADA access and sidewalk modification.

Thank you for this opportunity,



Bradley C. Touchstone, FAIA

27 CRESCENT DRIVE

Defuniak Springs, Florida



CRESCENT DRIVE RENOVATION

27 Crescent Drive
Defuniak Springs, Florida 32433



Project Title

Architect

Consultant

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
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Date	Reviewed By
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Project ID	25102
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Sheet Title

Cover Sheet

Sheet No.

A0.1

PRELIMINARY - NOT FOR CONSTRUCTION

GENERAL NOTES

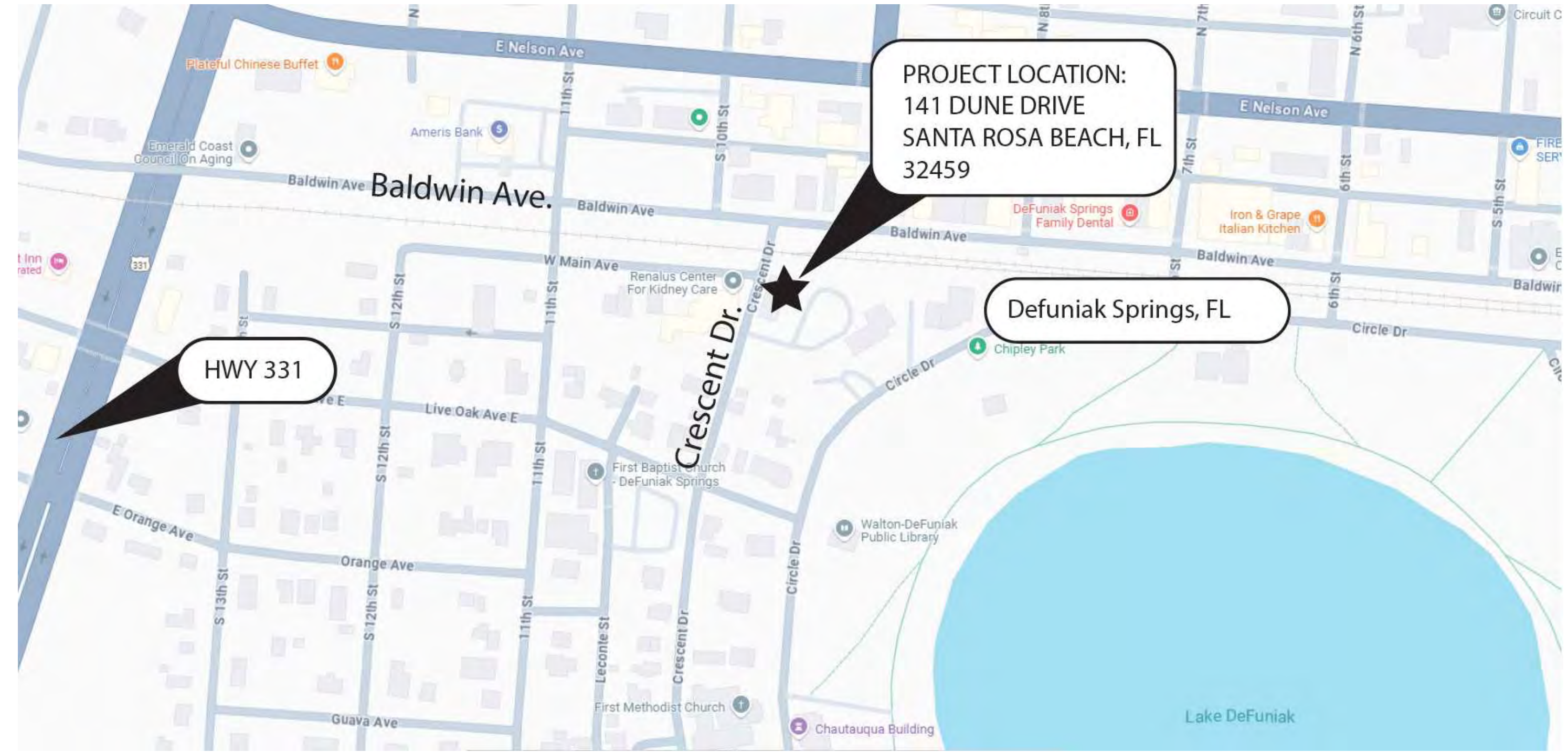
- ALL WORK PERFORMED SHALL COMPLY WITH APPLICABLE OSHA/EPA REGULATIONS, CURRENT BUILDING CODES, AND GENERALLY ACCEPTED PROFESSIONAL CRAFTSMANSHIP.
- THE CONTRACTOR SHALL MAKE AVAILABLE TO THE BUILDING INSPECTOR ANY DOCUMENTATION NECESSARY TO VERIFY THAT ALL PRODUCTS REQUIRING APPROVAL PER FS 553.842 ARE IN COMPLIANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING AND MAINTAINING ALL REASONABLE SAFEGUARDS TO PROTECT THE GENERAL HEALTH SAFETY AND WELFARE OF THE GENERAL PUBLIC. THIS SHALL INCLUDE POSTING DANGER SIGNS, AND OTHER WARNING SIGNS AGAINST POTENTIAL HAZARDS, AS WELL AS ENFORCING SAFETY REGULATIONS.
- CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISE AT ALL TIMES AND SHALL CLEAN DEBRIS FROM CONSTRUCTION SITE DAILY.
- THE CONTRACTOR SHALL MAKE AVAILABLE TO THE BUILDING INSPECTOR ANY DOCUMENTATION NECESSARY TO VERIFY THAT ALL PRODUCTS REQUIRING APPROVAL PER FS 553.842 ARE IN COMPLIANCE.
- AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE HINGED, AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32 INCHES WHEN MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES. R311.2.
- ONE BATHROOM ON THE MAIN LIVING FLOOR LEVEL MUST BE PROVIDED WITH A 29" CLEAR OPENING. HOWEVER, IF ONLY A TOILET ROOM IS PROVIDED, IT SHALL MEET THIS REQUIREMENT. R320.1
- EACH BEDROOM MUST BE PROVIDED A SECONDARY MEANS OF EGRESS WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND A WIDTH OF 20". THE MINIMUM OPENING AREA SHALL BE 5.0SF. AT THE GROUND FLOOR AND 5.7 SF. AT ALL OTHER LEVELS. R310.1
- GARAGES ATTACHED TO LIVING SPACE MUST BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC BY AT LEAST ½" GYPSUM BOARD OR EQUIVALENT ON THE GARAGE SIDE. IF A HABITABLE ROOM IS LOCATED ABOVE THE GARAGE, 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT IS REQUIRED ON THE CEILING WITH ½" GYPSUM BOARD OR EQUIVALENT ON THE WALLS R302.5 AND TABLE R302.6
- GUARDRAILS ARE TO BE 36" HIGH WITH GUARDS DESIGNED TO RESIST THE PASSAGE OF A 4" SPHERE WHEN THE WALKING SURFACE IS 30" OR MORE ABOVE GRADE. R312
- WINDER STEPS MUST BE 6" HIGH WITH GUARDS DESIGNED TO RESIST THE PASSAGE OF A 4" SPHERE WHEN THE WALKING SURFACE IS 30" OR MORE ABOVE GRADE. R312
- HANDRAILS ARE REQUIRED FOR STAIRS WITH 4 OR MORE RISERS, SHALL BE CONTINUOUS ON AT LEAST ONE SIDE, SHALL BE 34" TO 38" ABOVE THE TREAD NOSING, AND SHALL NOT DEAD END. R311.7.7
- GLASS IN TUB AREAS, STAIRWAYS, AND POOL AREAS WITHIN 60" FROM FINISHED FLOOR REQUIRE SAFETY GLAZING. SAFETY GLAZING IS REQUIRED FOR WINDOWS WITHIN 24" OF A DOOR. EXCEPTION: GLAZING LOCATED ABOVE STAIRS WITH A SOLID WALL OR GUARD AT LEAST 34" ABOVE THE TREAD NOSING. R308.4
- OPERABLE WINDOWS THAT ARE MORE THAN 72" ABOVE THE OUTSIDE GRADE SHALL NOT HAVE OPENINGS WITHIN 24" OF THE FINISHED FLOOR. OPENINGS LOWER THAN 24" SHALL HAVE A GUARD IN PLACE THAT IS DESIGNED TO RESIST PASSAGE OF A 4" SPHERE. R612.2
- SMOKE ALARMS MUST BE ADJACENT TO AND INSIDE BEDROOMS, AND BE INTERCONNECTED WITH AT LEAST ONE ON EACH FLOOR. CARBON MONOXIDE DETECTORS ARE REQUIRED WITHIN 10 FEET OF EACH SLEEPING ROOM IN DWELLINGS WITH ATTACHED GARAGES, FUEL BURNING APPLIANCES, FIREPLACES, OR OTHER FEATURE, FIXTURE, OR ELEMENT THAT EMITS CARBON MONOXIDE. R314 AND R315
- GFCI PROTECTION IS REQUIRED FOR ALL RECEPTACLES SERVING COUNTERTOPS, WHIRLPOOL MOTORS, DAMP AND WET LOCATIONS, AND GARAGES. NEC 210.8. ALL 120V CIRCUITS, EXCEPT THOSE REQUIRED TO BE GFCI PROTECTED, SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS. NEC210.12 ALL 15A & 20A 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT. NEC406.11
- MECHANICAL EXHAUST VENTS, SUCH AS BATHROOM EXHAUST, MUST DISCHARGE DIRECTLY TO THE OUTDOORS WITH AN APPROVED COVER. M1501.
- SUBMITTALS FROM SUPPLIER/MANUFACTURER VERIFYING CODE COMPLIANCE FOR DOORS & WINDOWS (INCLUDE INSTALLATION INSTRUCTIONS), AND ENGINEERED TRUSS DRAWINGS MUST BE AVAILABLE AT THE FRAMING INSPECTION.

SCOPE OF WORK

THE SCOPE OF WORK INCLUDES :

- REMOVE "LEAN TO" STRUCTURE ON EAST SIDE OF BUILDING
- REMOVE "LEAN TO" ROOF ON SOUTH SIDE OF BUILDING
- ELEVATE FLOOR IN SOUTH PORTION OF BUILDING TO MATCH ELEVATION OF FRONT ROOM
- PROVIDE NEW BEAMS, COLUMNS AND STRUCTURAL REINFORCEMENTS TO EXISTING BUILDING PER STRUCTURAL DRAWINGS
- BUILD ADDITION AND PROVIDE INTERIOR RENOVATIONS PER DRAWINGS
- PROVIDE SPRINKLER SYSTEM FOR ENTIRE BUILDING
- PROVIDE NEW PLUMBING AND ELECTRICAL THROUGHOUT

LOCATION MAP



PARCEL NO. 25-3N-19-19070-000-6722

CODE SUMMARY

ALL NEW WORK TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODES ADOPTED BY THE BUILDING AUTHORITIES HAVING JURISDICTION. WHERE CONFLICTS OCCUR BETWEEN CODES OR BETWEEN CONSTRUCTION DOCUMENTS AND CODES, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.

- FLORIDA BUILDING CODE, BUILDING - 2023, 8TH EDITION
- FLORIDA BUILDING CODE, RESIDENTIAL- 2023, 8TH EDITION
- FLORIDA BUILDING CODE, ACCESSIBILITY - 2023, 8TH EDITION
- FLORIDA BUILDING CODE MECHANICAL - 2023, 8TH EDITION
- FLORIDA BUILDING CODE, FUEL GAS FLORIDA BUILDING CODE, PLUMBING FLORIDA FIRE PREVENTION CODE - 2023, 8TH EDITION
- NATIONAL ELECTRICAL CODE - 2023, 8TH EDITION
- NFPA 101 - LIFE SAFETY CODE - 2023, 8TH EDITION

GENERAL CONTRACTOR'S SUBS TO PROVIDE ALL NECESSARY DRAWINGS FOR THE ELECTRICAL, MECHANICAL, PLUMBING, SPRINKLER AND GAS SYSTEMS.

GENERAL CONTRACTOR TO PROVIDE MAIL BOX AND HOUSE NUMBERS AS REQUIRED.

CONSTRUCTION TYPE: VB-SPRINKLED

OCCUPANCY CLASS = A3 ASSEMBLY

OCCUPANCY LOAD 273 PEOPLE

SPRINKLER SYSTEM REQUIRED

PROVIDE SINGLE STATION SMOKE ALARMS POWERED CONTINUOUSLY BY HOUSE ELECTRICAL SYSTEM AND INSTALLED PER NFPA 72 NATIONAL FIRE ALARM CODE

NO EXTERIOR WALL RATINGS REQUIRED.

PROVIDE PORTABLE FIRE EXTINGUISHERS CONFORMING TO NFPA 10 AS ADOPTED IN RULE 69A-3.012, FAC IN COMPLIANCE WITH 69A-43.018(7) FAC.

KITCHEN: UL LISTED 711A

CLAY STUDIO: UL RATING OF 3-A:40B-C, CLASS A-B-C

ELSEWHERE: UL RATING 2A-10B:C, CLASS A-B-C

MINIMUM NUMBER OF EXITS 2

TOTAL EGRESS WIDTH REQUIRED 55 INCHES (DOORS/CORRIDORS)

WATER CLOSETS MEN / WOMEN 2 / 4

LAVATORIES MEN / WOMEN 1 / 1



CRESCENT DRIVE RENOVATION

27 Crescent Drive
Defuniak Springs, Florida 32433

Project Title

Architect

TOUCHSTONE ARCHITECTURE
482 W. Harborview Rd.
Santa Rosa Beach, FL

Consultant

REV	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
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Date	Reviewed By
------	-------------

Project ID	25102
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Sheet Title

Index and Notes

Sheet No.

A0.2

PRELIMINARY - NOT FOR CONSTRUCTION

27 CRESCENT DRIVE

Defuniak Springs, Florida



CRESCENT DRIVE RENOVATION

27 Crescent Drive
Defuniak Springs, Florida 32433



Project Title

Architect

TOUCHSTONE
ARCHITECTURE
482 W. Harborview Rd.
Santa Rosa Beach, FL

Consultant

REV	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
Date 20 August 2025	Reviewed By
Project ID 25102	

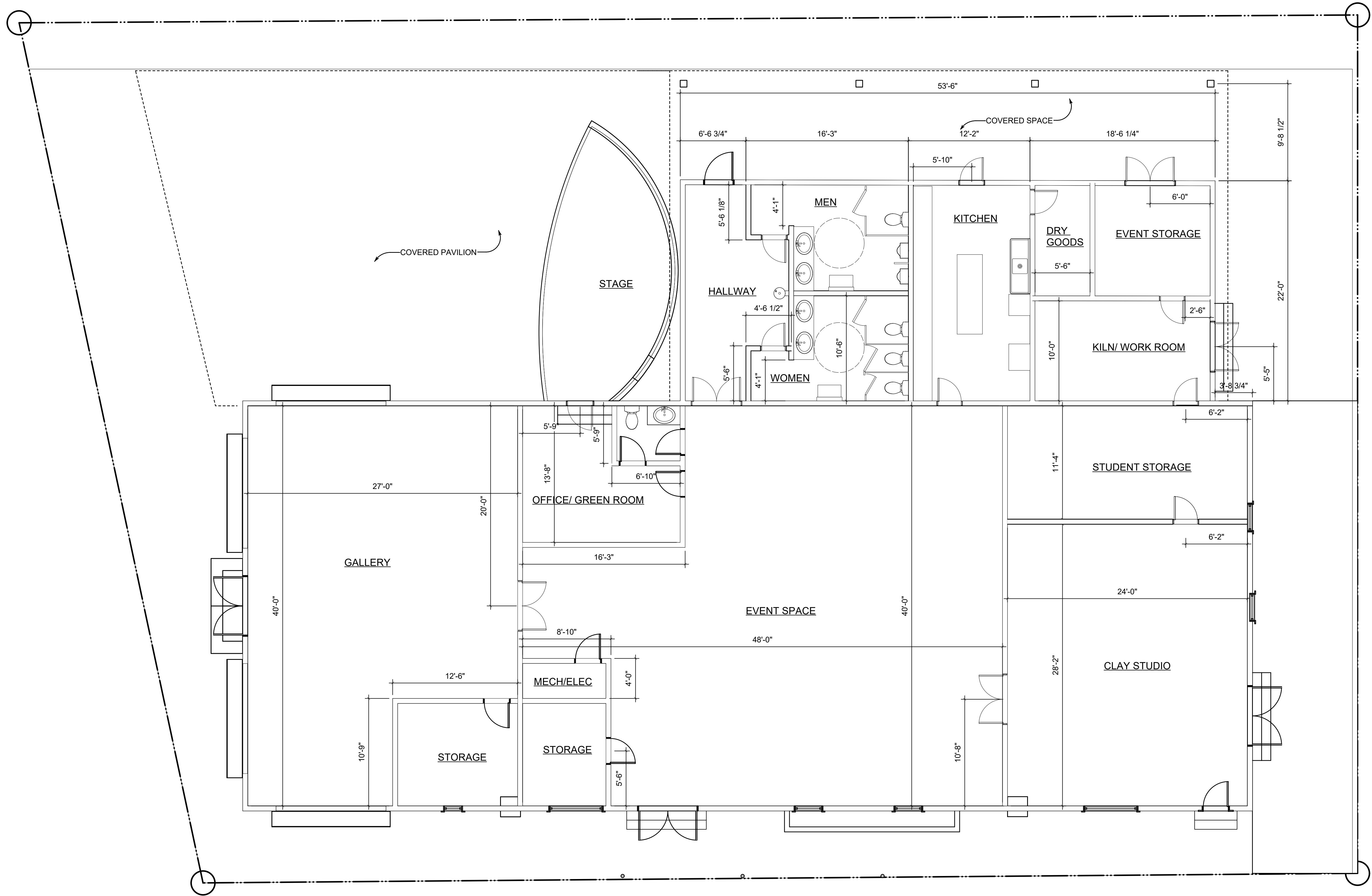
Sheet Title

Site Plan

Sheet No.

A1.1

PRELIMINARY - NOT FOR CONSTRUCTION



1 Floor Plan
Scale: 3/16" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

Project Title

Architect

TOUCHSTONE ARCHITECTURE
482 W. Harborview Rd.
Santa Rosa Beach, FL

Consultant

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
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Date	Reviewed By
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Project ID	25102
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Sheet Title

First Floor Plan

Sheet No.

A1.2

4

3

2

1



CRESCENT DRIVE RENOVATION

27 Crescent Drive
Defuniak Springs, Florida 32433

Project Title

Architect

TOUCHSTONE
ARCHITECTURE
482 W. Harborview Rd.
Santa Rosa Beach, FL

Consultant

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
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Date	Reviewed By
------	-------------

Project ID	25102
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Sheet Title

Roof Plan

Sheet No.

A1.3



PRELIMINARY - NOT FOR CONSTRUCTION

4

3

2

1



CRESCENT DRIVE RENOVATION

27 Crescent Drive
Defuniak Springs, Florida 32433

Project Title

Architect

TOUCHSTONE
ARCHITECTURE
482 W. Harborview Rd.
Santa Rosa Beach, FL

Consultant

REV. DATE DESCRIPTION

NO. DATE ISSUE NOTE

Project Manager Drawn By

Date 20 August 2025 Reviewed By

Project ID 25102

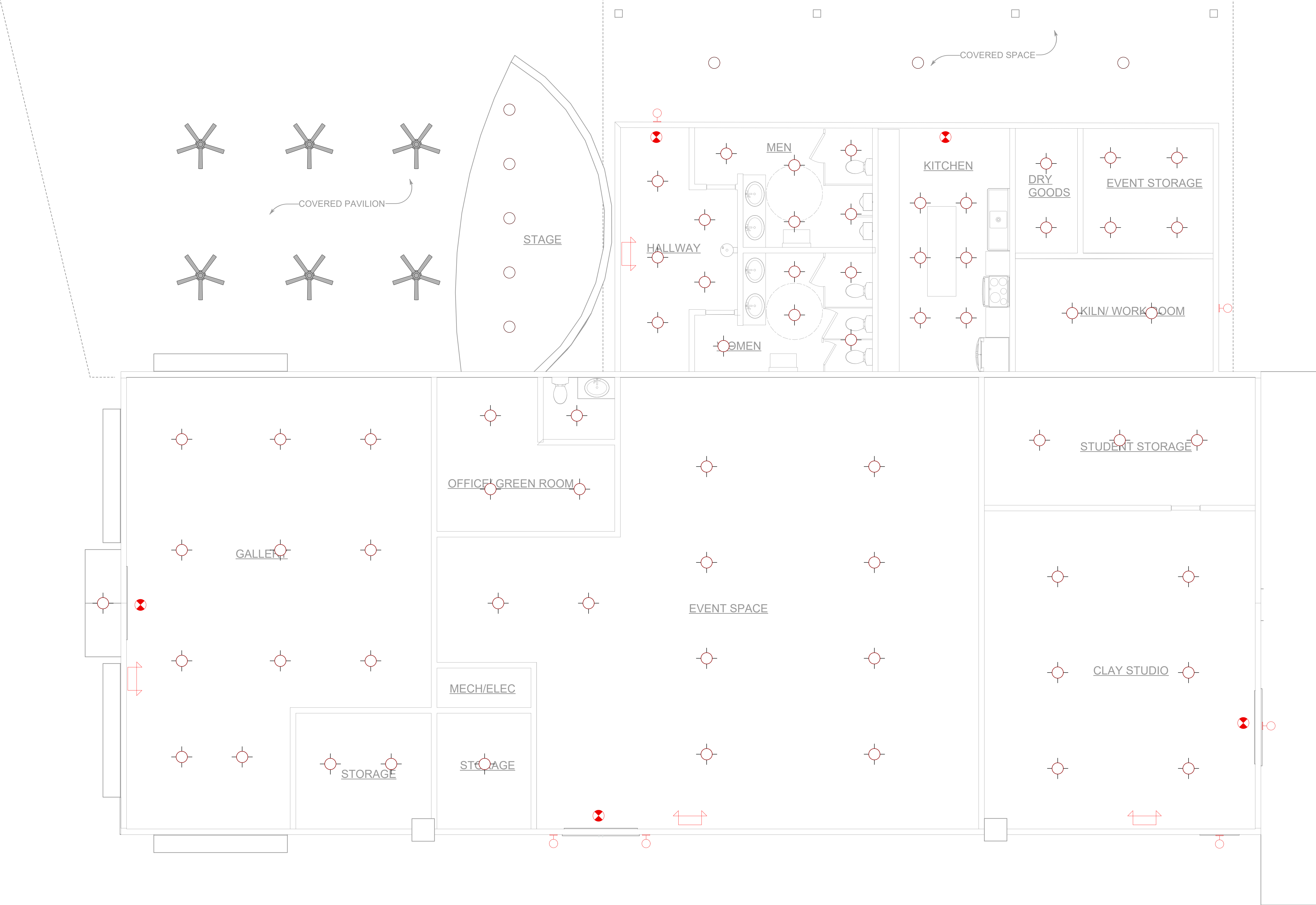
Sheet Title

First Floor Reflected
Ceiling Plan

Sheet No.

A1.4

4
C
B
A
4
3
2
1



1 Reflected Ceiling Plan
Scale: 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

4

3

2

1



CRESCENT DRIVE RENOVATION

27 Crescent Drive
Defuniak Springs, Florida 32433

Project Title

Architect

TOUCHSTONE
ARCHITECTURE
482 W. Harborview Rd.
Santa Rosa Beach, FL

Consultant

REV	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
-----------------	----------

Date	Reviewed By
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Project ID	25102
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Sheet Title

Elevations

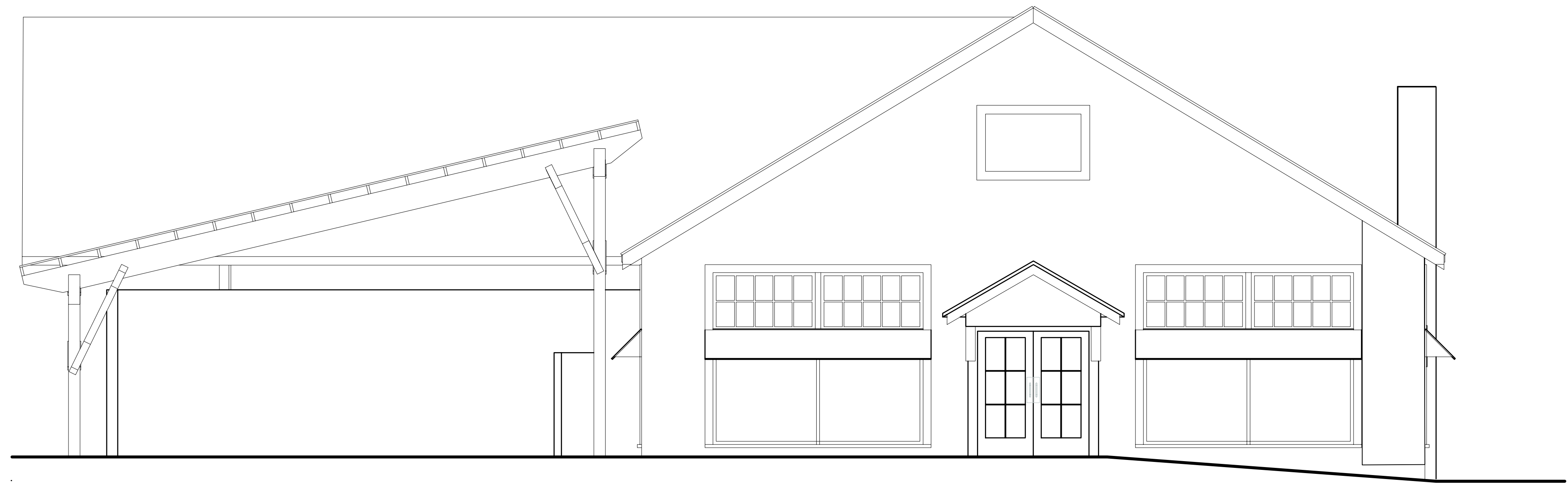
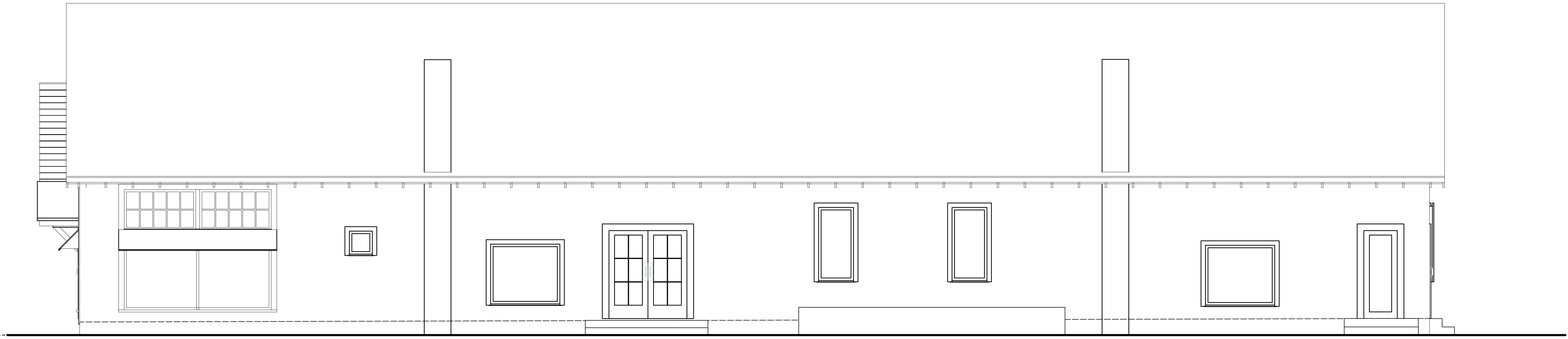
Sheet No.

A2.1

C

B

A



PRELIMINARY - NOT FOR CONSTRUCTION

4

3

2

1

4

3

2

1



CRESCENT DRIVE RENOVATION

27 Crescent Drive
Defuniak Springs, Florida 32433

Project Title

Architect

TOUCHSTONE
ARCHITECTURE
482 W. Harborview Rd.
Santa Rosa Beach, FL

Consultant

REV.	DATE	DESCRIPTION

NO.	DATE	ISSUE NOTE

Project Manager	Drawn By
-----------------	----------

Date	Reviewed By
------	-------------

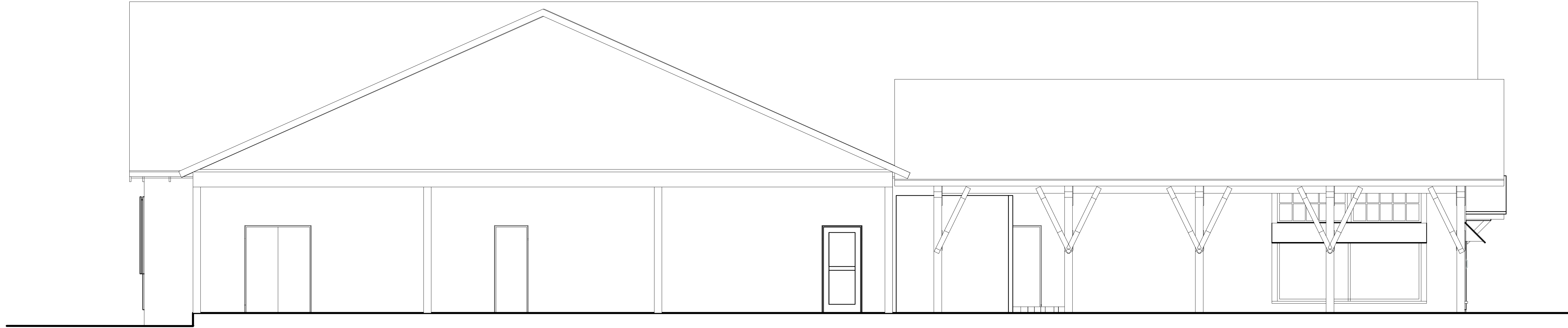
Project ID	25102
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Sheet Title

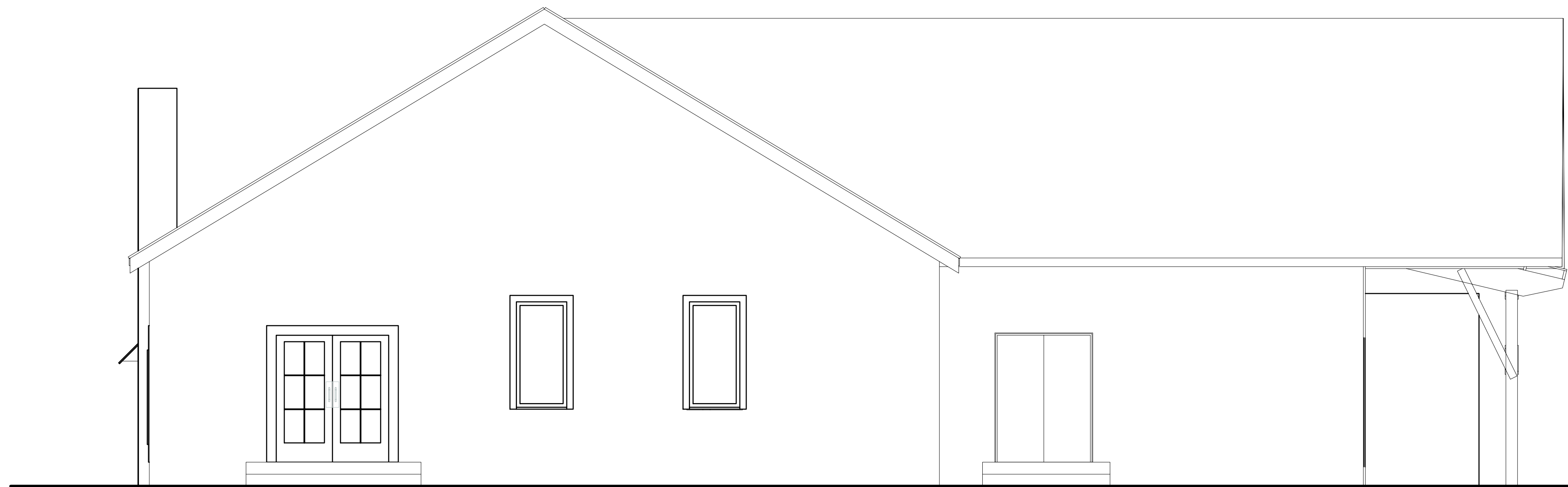
Elevations

Sheet No.

A2.2



1 East Elevation
Scale: 1/4" = 1'-0"



2 South Elevation
Scale: 1/4" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION

4

3

2

1



MONTHLY PROGRESS INVOICE

Bill To: Joshua R. Ervin, Executive Director
 DeFuniak Springs Community Redevelopment Agency
CRADirector@DeFuniakSpringsCRA.com

Project Description: 27 Crescent Drive Renovations
 PO #: 2025-01902
 Vendor Number: 17978

INVOICE NUMBER	INVOICE DATE	PAYMENT DUE DATE	PROJECT NUMBER	BALANCE DUE
24-0255	October 23, 2025	October 23, 2025	25105	\$4,500.00

INVOICE SUMMARY

PHASE	VALUE	% COMPLETE	PREVIOUSLY INVOICED	AMOUNT DUE	REMAINING
AR-1 As-Built Drawings	\$2,250.00	100	\$1,000.00	-	-
	\$6,500.00			-	-
AR-2 Prelim. Concept Plans		100	\$6,500.00		
AR-3 Concept Development	\$5,000.00	30	\$1,500.00	\$3,500.00	-
AR-4 Agency Coord	\$500.00		-	-	\$500.00
AR-5 Permit Drawings	\$12,000.00		\$2,000.00	\$1,000.00	\$10,000.00
	\$				
Contract Amount	26,250.00		Amount Due	\$4,500.00	

This invoice is the initial payment due at Notice-To-Proceed for mobilization of the work. The amount of the initial payment has been distributed between the phases of the work as described above.

Remit Payment To:
 Touchstone Architecture
 482 W. Harborview Rd.
 Santa Rosa Beach, FL 32459

Thanks for this great opportunity!

Bradley

Sincerely,

Bradley C. Touchstone, FAIA

Invoice



DeFuniak Springs Community Redevelopment
Agency
694 Baldwin Avenue (Suite 4A)
DeFuniak Springs, FL 32435

September 24, 2025
Project No: R869825001
Invoice No: 14761

Project R869825001 DeFuniak Springs CRA - Parking Impr
Task Order NO. 25-03-CRA

Professional Services through September 23, 2025

Fee

Billing Phase	Fee	Percent Complete	Earned
Construction Plans	16,530.00	35.00	5,785.50
Bid Support Services	3,600.00	0.00	0.00
Total Fee	20,130.00		5,785.50
	Previous Fee Billing		0.00
	Current Fee Billing		5,785.50
	Total Fee		5,785.50
		Total this Invoice	5,785.50

PAYMENT OPTIONS:

CHECK | ACH | ZELLE | CREDIT CARD

TERMS: Net 30 Days. Client shall pay all costs and fees, including Attorney's fees, incurred by Three Notch Group for unpaid service balances.

To pay by credit card, please call (334) 216-7642. A 4% processing fee applies.

Remit Payments with Project Number to: Three Notch Group, Inc. | Post Office Box 278, Andalusia, AL 36420
Zelle Payments to: ar.processing@3notch.com

BOARD APPROVED

Date: 6-25-25

MEMORANDUM OF AGREEMENT

BETWEEN

THE CITY OF DEFUNIAK SPRINGS

AND

THE COMMUNITY REDEVELOPMENT AGENCY

THIS AGREEMENT is made and entered into this 13 day of Oct, 2025, by and between the City of DeFuniak Springs, a municipal corporation of the State of Florida (hereinafter referred to as the "City"), and the Community Redevelopment Agency (hereinafter referred to as the "CRA"), collectively referred to as the "Parties."

1. PURPOSE

The purpose of this Memorandum of Agreement (MOA) is to establish a cooperative framework between the City and the CRA for the abatement of code enforcement violations within the CRA Area. This agreement facilitates the elimination of blight, improvement of property conditions, and enhancement of public health, safety, and welfare within the designated redevelopment area.

2. SCOPE

This Agreement applies to all properties within the CRA Area that have been identified by the City's Code Enforcement Division as being in violation of the City's Code of Ordinances and are subject to abatement.

3. RESPONSIBILITIES OF THE CITY

The City shall:

1. **Identify Violations** – Conduct inspections and document code enforcement violations within the CRA Area.
2. **Issue Notices** – Notify property owners of violations, providing them with opportunities for voluntary compliance.
3. **Coordinate Hearings** – Schedule and present cases before the Special Magistrate for enforcement actions.
4. **Recommend Properties for Abatement** – Provide the CRA with a list of properties requiring abatement after due process has been followed.
5. **Monitor Abatement Activities** – Oversee the abatement process to ensure compliance with applicable codes and regulations.

6. **Assist in Cost Recovery** – Facilitate the assessment of abatement costs through liens or other legal means, as applicable.

4. RESPONSIBILITIES OF THE CRA

The CRA shall:

1. **Provide Financial Assistance** – Allocate funds for the abatement of code violations within the CRA Area.
2. **Contract Services** – Procure contractors or service providers to perform necessary abatement work, including but not limited to demolition, debris removal, and property cleanup.
3. **Ensure Compliance** – Ensure all abatement work is completed in accordance with City ordinances and applicable state laws.
4. **Submit Documentation** – Provide the City with records of abatement actions, including invoices, contracts, and proof of work completion.
5. **Collaborate on Community Outreach** – Engage with property owners to promote voluntary compliance and support neighborhood improvement efforts.

5. FUNDING AND COST RECOVERY

1. The CRA shall be responsible for funding abatement activities within the CRA Area, subject to the availability of funds as identified in the CRA's annually adopted operating budget.
2. The City may seek cost recovery through liens or special assessments as authorized by law. Any recovered funds shall be allocated as determined by the Parties.

6. TERM AND TERMINATION

1. This Agreement shall commence on the date of execution and shall remain in effect for a period of five (5) years, unless terminated earlier by either party.
2. Either party may terminate this Agreement with thirty (30) days' written notice to the other party.
3. Upon termination, any outstanding obligations or liabilities shall be resolved in accordance with the terms of this Agreement.

7. LIABILITY AND INDEMNIFICATION

Each party shall be responsible for its own acts, omissions, and liabilities. The City and CRA shall indemnify, defend, and hold harmless each other, their officers, employees, and agents from any claims, damages, or liabilities arising from actions under this Agreement, to the extent permitted by Florida law.


8. GENERAL PROVISIONS

1. **Governing Law** – This Agreement shall be governed by the laws of the State of Florida.
2. **Amendments** – Any modifications to this Agreement must be made in writing and signed by both parties.
3. **Severability** – If any provision of this Agreement is found to be invalid, the remaining provisions shall remain in full force and effect.
4. **Entire Agreement** – This Agreement constitutes the full and complete understanding between the Parties and supersedes all prior agreements, whether written or oral.

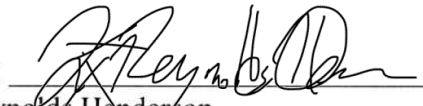
9. SIGNATURES

IN WITNESS WHEREOF, the undersigned parties have executed this Agreement as of the date first written above.

CITY OF DEFUNIAK SPRINGS

By: 
Koby Townsend
City Manager
Date: 10/15/2025

COMMUNITY REDEVELOPMENT AGENCY

By: 
Reynolds Henderson
Chairman
Date: 10/16/2025

**MEMORANDUM OF UNDERSTANDING
BETWEEN THE CITY OF DEFUNIAK SPRINGS AND THE DEFUNIAK SPRINGS
COMMUNITY REDEVELOPMENT AGENCY**

This Memorandum of Understanding (MOU) is entered into this 13 day of Oct, 2025, by and between the **City of DeFuniak Springs, Florida** (hereinafter referred to as the "City") and the **DeFuniak Springs Community Redevelopment Agency** (hereinafter referred to as the "CRA").

RECITALS

WHEREAS, the City has established code enforcement procedures to ensure compliance with health, safety, and community standards; and

WHEREAS, certain parcels located within the boundaries of the CRA Area are subject to outstanding code violations and associated fines; and

WHEREAS, the CRA desires to facilitate redevelopment and reinvestment in the CRA Area by removing financial barriers related to code enforcement liens and fines; and

WHEREAS, the City is willing to support CRA-led revitalization efforts by agreeing to a reduced fine amount under certain conditions.

NOW, THEREFORE, the City and CRA mutually agree as follows:

BACKGROUND

The CRA and the City recognize the importance of facilitating redevelopment and addressing blight within the CRA Area. Outstanding code enforcement fines have been identified as a barrier to investment and redevelopment on certain parcels. The parties wish to collaborate in good faith to reduce these barriers through the adoption of a uniform fine reduction mechanism.

1. Purpose

This MOU establishes a mutual understanding between the City and the CRA to allow for a reduced code enforcement fine of **two thousand five hundred dollars (\$2,500)** for parcels within the CRA Area that have accrued code enforcement violations and liens, subject to the conditions outlined herein.

2. Eligibility

Parcels must meet all the following conditions to be eligible for the reduced fine:

- Located within the official CRA boundary pursuant to adopted Redevelopment Plan.
- The subject of one or more outstanding code enforcement violations or liens.
- The CRA to bring the property into compliance within a specified timeframe, as determined by the City's Code Enforcement Department and/or Special Magistrate.
- CRA Board determines that the parcel's redevelopment aligns with its redevelopment goals and objectives.

3. Process

- CRA staff will identify eligible parcels and recommend parcel acquisition approval to the CRA Board.
- Upon CRA Board approval, a formal notice will be submitted to the City Manager or designee.
- The City Manager or designee will confirm compliance conditions and finalize reduction to \$2,500 per parcel.
- Upon payment of the reduced fine and compliance with conditions, the City will release the lien(s) and clear any outstanding code enforcement penalties.

4. Term

This MOU shall become effective upon execution by both parties and remain in effect for a term of **two (2) years**, unless extended or terminated by mutual written agreement.

5. Modification and Termination

This MOU may be modified or terminated at any time upon mutual written agreement of both parties.

6. Non-Binding Agreement

This MOU is a statement of intent and does not create any legally binding obligations on either party except as may be later formalized through separate agreements or actions.

IN WITNESS WHEREOF, the parties have executed this MOU as of the date first written above.

City of DeFuniak Springs

By:  _____

Name: *Koby Townsend*

Title: *City manager*

Date: *10/16/2025*

DeFuniak Springs Community Redevelopment

Agency By:  _____

Name: Reynolds Henderson

Title: Chairman

Date: 10/16/2025

From: [Daniele McDaniel](#)
To: [Josh Ervin](#)
Subject: Carry Forward 2025-26
Date: Wednesday, October 22, 2025 3:57:14 PM
Attachments: [CRA FY2425 as of 102225.pdf](#)
[CRA October 2025 as of 102225.pdf](#)

Good Afternoon Josh!

Per our phone conversation, although we have not completely closed out FY 2425 the auditor's have recommended that you take the difference in what was budgeted for carryforward to your Board as soon as possible. Based on the information I have at this time (attached reports for FY2425 and FY2526) carryforward should be amended from \$878,003 to \$1,944,459. This represents an additional amount of \$1,066,456. Please have the CRA Board designate where the funds should be spent.

Please let me know if you have any questions or concerns.

Sincerely,

Daniele McDaniel, CGFO
Interim Finance Director
City of DeFuniak Springs
1350 Baldwin Ave
P.O. Box 685
DeFuniak Springs, FL 32435
850.892.8500 Ext. 1108
accounting@defuniaksprings.net
www.defuniaksprings.net



NOTICE: Email communications to or from The City of DeFuniak Springs are considered to be public records. Florida's public records law requires these communications be made available to the public and media upon request. If you do not want your email address released pursuant to a public records request, please do not send electronic mail to this entity. If you have received this communication in error, please notify the sender by email at the address shown.



Budget Report Account Summary

For Fiscal: 2025-2026 Period Ending: 10/31/2025

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Fund: 660 - Community Redevelopment Area							
Revenue							
660-311-100-0000	CRA - County Ad Valorem	722,569.00	722,569.00	0.00	0.00	-722,569.00	100.00 %
660-311-200-0000	CRA-City Ad Valorem Taxes	1,111,645.00	1,111,645.00	0.00	0.00	-1,111,645.00	100.00 %
660-331-300-0000	CRA - Prior Year Carry Over	878,003.00	878,003.00	0.00	0.00	-878,003.00	100.00 %
	Revenue Total:	2,712,217.00	2,712,217.00	0.00	0.00	-2,712,217.00	100.00%
Expense							
660-000-515-1200	CRA - Salaries	115,500.00	115,500.00	7,625.74	7,625.74	107,874.26	93.40 %
660-000-515-1225	CRA-Bonus	0.00	0.00	1,624.25	1,624.25	-1,624.25	0.00 %
660-000-515-2100	CRA - FICA Taxes	11,691.00	11,691.00	754.75	754.75	10,936.25	93.54 %
660-000-515-2200	CRA - Retirement	48,241.00	48,241.00	2,534.79	2,534.79	45,706.21	94.75 %
660-000-515-2300	CRA - Health Insurance	14,471.00	14,471.00	616.00	616.00	13,855.00	95.74 %
660-000-515-2400	CRA - Worker Compensation	1,500.00	1,500.00	0.00	0.00	1,500.00	100.00 %
660-000-515-3130	CRA - Other Professional Services	100,000.00	100,000.00	0.00	0.00	100,000.00	100.00 %
660-000-515-3200	CRA - Financial Audit	10,000.00	10,000.00	0.00	0.00	10,000.00	100.00 %
660-000-515-4100	CRA - Telephone & Utilities	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
660-000-515-4200	CRA - Fees, Memberships & Subscri	2,365.00	2,365.00	0.00	0.00	2,365.00	100.00 %
660-000-515-4300	CRA - Insurance	35,000.00	35,000.00	6,390.75	6,390.75	28,609.25	81.74 %
660-000-515-4400	CRA - Office Lease	15,000.00	15,000.00	0.00	0.00	15,000.00	100.00 %
660-000-515-4900	CRA - Travel Expense	3,500.00	3,500.00	0.00	0.00	3,500.00	100.00 %
660-000-515-4902	CRA - Marketing	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
660-000-515-5100	CRA - Office Supplies	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
660-000-515-5200	CRA - Operating Supplies	9,947.00	9,947.00	0.00	0.00	9,947.00	100.00 %
660-000-515-5310	CRA - Streetscape/Alleyway	723,818.00	723,818.00	0.00	0.00	723,818.00	100.00 %
660-000-515-5420	CRA - Education & Training	3,000.00	3,000.00	0.00	0.00	3,000.00	100.00 %
660-000-515-5599	CRA - Fines and Abatements	50,000.00	50,000.00	0.00	0.00	50,000.00	100.00 %
660-000-515-5600	CRA-Equipment Maintenance	2,500.00	2,500.00	0.00	0.00	2,500.00	100.00 %
660-000-515-6620	CRA- Blighted Parcel Acquisition	120,000.00	120,000.00	0.00	0.00	120,000.00	100.00 %
660-000-515-6630	CRA - Ampitheater Project	954,184.00	954,184.00	0.00	0.00	954,184.00	100.00 %
660-000-515-6640	CRA - 27 Crescent Dr Redevelopme	226,500.00	226,500.00	0.00	0.00	226,500.00	100.00 %
660-000-515-8200	CRA - Incentive Grants	150,000.00	150,000.00	5,000.00	5,000.00	145,000.00	96.67 %
660-000-515-8210	CRA - Income Based Incentive Gran	100,000.00	100,000.00	0.00	0.00	100,000.00	100.00 %
	Expense Total:	2,712,217.00	2,712,217.00	24,546.28	24,546.28	2,687,670.72	99.09%
Fund: 660 - Community Redevelopment Area Surplus (Deficit):		0.00	0.00	-24,546.28	-24,546.28	-24,546.28	0.00%
Report Surplus (Deficit):		0.00	0.00	-24,546.28	-24,546.28	-24,546.28	0.00%

Budgeted
 FY2425 CF 878,003.00
 Actual
 FY24-25 CF 1,944,459.02
 Difference 1,066,456.02
 USE
 for
 Budget Amendment 1,066,456.00



DeFuniak Springs, FL

Trial Balance Account Summary

Date Range: 10/01/2025 - 10/31/2025

Account	Name	Beginning Balance	Period Total Debits	Period Total Credits	Net Change	Ending Balance
Fund: 660 - Community Redevelopment Area						
<u>660-000-515-1200</u>	CRA - Salaries	0.00	7,625.74	0.00	7,625.74	7,625.74
<u>660-000-515-1225</u>	CRA-Bonus	0.00	1,624.25	0.00	1,624.25	1,624.25
<u>660-000-515-1300</u>	CRA - Overtime	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-2100</u>	CRA - FICA Taxes	0.00	754.75	0.00	754.75	754.75
<u>660-000-515-2200</u>	CRA - Retirement	0.00	2,534.79	0.00	2,534.79	2,534.79
<u>660-000-515-2300</u>	CRA - Health Insurance	0.00	616.00	0.00	616.00	616.00
<u>660-000-515-2400</u>	CRA - Worker Compensation	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-3130</u>	CRA - Other Professional Services	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-3200</u>	CRA - Financial Audit	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-4100</u>	CRA - Telephone & Utilities	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-4200</u>	CRA - Fees, Memberships & Subscripti	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-4300</u>	CRA - Insurance	0.00	6,390.75	0.00	6,390.75	6,390.75
<u>660-000-515-4400</u>	CRA - Office Lease	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-4664</u>	CRA - R&M Equipment	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-4900</u>	CRA - Travel Expense	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-4902</u>	CRA - Marketing	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-5100</u>	CRA - Office Supplies	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-5200</u>	CRA - Operating Supplies	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-5300</u>	CRA - Master Plan Update	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-5310</u>	CRA - Streetscape/Alleyway	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-5420</u>	CRA - Education & Training	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-5500</u>	CRA - Fuel	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-5599</u>	CRA - Fines and Abatements	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-5600</u>	CRA-Equipment Maintenance	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-6411</u>	CRA - Equip greater than 5,000	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-6610</u>	CRA - Land	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-6620</u>	CRA - Blighted Parcel Acquisition	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-6630</u>	CRA - Ampitheater Project	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-6640</u>	CRA - 27 Crescent Dr Redevelopment	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-8200</u>	CRA - Incentive Grants	0.00	5,000.00	0.00	5,000.00	5,000.00
<u>660-000-515-8210</u>	CRA - Income Based Incentive Grants	0.00	0.00	0.00	0.00	0.00
<u>660-000-515-9301</u>	CRA - Transfer to General	0.00	0.00	0.00	0.00	0.00
<u>660-000-559-6412</u>	CRA - Capital Outlay Equipment	0.00	0.00	0.00	0.00	0.00
<u>660-101-200-0000</u>	Cash	1,945,520.03	0.00	19,572.69	-19,572.69	1,925,947.34
<u>660-115-200-0000</u>	CRA Revenue Receivable	0.00	0.00	0.00	0.00	0.00
<u>660-131-001-0000</u>	Due From General	0.00	0.00	0.00	0.00	0.00
<u>660-131-400-0000</u>	Due From Water	0.00	0.00	0.00	0.00	0.00
<u>660-131-813-0000</u>	Due from Payroll Clearing	0.00	0.00	0.00	0.00	0.00
<u>660-202-000-0000</u>	CRA Accounts Payable	0.00	0.00	0.00	0.00	0.00
<u>660-207-400-0000</u>	Due To Utility Fund	0.00	0.00	0.00	0.00	0.00
<u>660-207-810-0000</u>	Transfer to AP Clearing	-1,061.50	12,452.25	11,390.75	1,061.50	0.00
<u>660-207-813-0000</u>	Due to Payroll Clearing	0.49	7,120.44	13,155.53	-6,035.09	-6,034.60
<u>660-216-000-0000</u>	CRA Accrued Wages	0.00	0.00	0.00	0.00	0.00
<u>660-271-000-0000</u>	Fund Balance	-1,944,459.02	0.00	0.00	0.00	-1,944,459.02
<u>660-311-100-0000</u>	CRA - County Ad Valorem	0.00	0.00	0.00	0.00	0.00
<u>660-311-200-0000</u>	CRA-City Ad Valorem Taxes	0.00	0.00	0.00	0.00	0.00
<u>660-331-100-0000</u>	CRA - City Ad Valorem Taxes	0.00	0.00	0.00	0.00	0.00
<u>660-331-200-0000</u>	CRA - Prior Year Carryover	0.00	0.00	0.00	0.00	0.00
<u>660-331-300-0000</u>	CRA - Prior Year Carry Over	0.00	0.00	0.00	0.00	0.00
<u>660-361-100-0000</u>	CRA Interest	0.00	0.00	0.00	0.00	0.00
<u>660-364-100-0000</u>	Sale of Land	0.00	0.00	0.00	0.00	0.00
<u>660-365-100-0000</u>	CRA- Ins Reimbursement	0.00	0.00	0.00	0.00	0.00

Trial Balance

Date Range: 10/01/2025 - 10/31/2025

Account	Name	Beginning Balance	Period Total Debits	Period Total Credits	Net Change	Ending Balance
660-366-000-0000	CRA DONATIONS	0.00	0.00	0.00	0.00	0.00
660-369-900-0000	CRA-Miscellaneous Revenue	0.00	0.00	0.00	0.00	0.00
660-381-001-0000	Transfer From General	0.00	0.00	0.00	0.00	0.00
	Fund 660 Total:	0.00	44,118.97	44,118.97	0.00	0.00
	Report Total:	0.00	44,118.97	44,118.97	0.00	0.00



FISCAL YEAR 2026 CRA ADOPTED BUDGET



				2025-2026 Adopted Budget
Fund: 660 - Community Redevelopment Area				
Budgeted Revenues				
City TIF				1111645
County TIF				722569
Total TIF				1834215
Carryover				878002
Total				2712217
660-000-515-1200	CRA - Salaries			115500
660-000-515-1300	CRA - Overtime			0
660-000-515-2100	CRA - FICA Taxes			11691
660-000-515-2200	CRA - Retirement			48241
660-000-515-2300	CRA - Health Insurance			14471
660-000-515-2400	CRA - Worker Compensation			1500
660-000-515-3130	CRA - Other Professional Svcs			100000
660-000-515-3200	CRA - Financial Audit			10000
660-000-515-4100	CRA - Telephone & Utilities			5000
660-000-515-4200	CRA - Fees, Memberships & Subscriptions			2365
660-000-515-4300	CRA - Insurance			35000
660-000-515-4400	CRA - Office Lease			15000
660-000-515-4900	CRA - Travel Expense			3500
660-000-515-4902	CRA - Marketing			5000
660-000-515-5100	CRA - Office Supplies			5000
660-000-515-5200	CRA - Operating Supplies			9947
660-000-515-5300	CRA - Master Plan Update			0
660-000-515-5310	CRA - Streetscape/Alleway			723818
660-000-515-5420	CRA - Education & Training			3000
660-000-515-5600	CRA - Equipment Maintenance			2500
660-000-515-6400	CRA - Equipment greater than 5,000			0
660-000-515-6610	CRA - Land			0
660-000-515-6620	CRA - Blighted Parcel Acquisition			120000
660-000-515-6630	CRA - Amphitheater Project			954184
660-000-515-8200	CRA - Incentive Grants			150000
660-000-515-8200	CRA - Income-based Incentive Grants			100000
660-000-515-6640	CRA - 27 Crescent Drive Redevelopment			226500
660-000-515-5599	CRA - Abatement			50000
Department: 660 - CRA Total:				2712217

BOARD APPROVED

 Date: 8-6-25

Designated Funds FY 23 Designation Carryover FY 24

5/22/2024 660-000-515-5310 Streetscape/Alleyway \$ 63,818.04

Designated Funds Allocated FY 25 from Unspent FY 24

7/24/2024 660-000-515-5310 Streetscape/Alleyway \$ 260,000.00

7/24/2024 660-000-515-6630 Ampitheater \$ 140,000.00

6/25/2025 660-000-515-6630 Ampitheater \$ 414,184.00