

1350 Baldwin Avenue
Post Office Box 685
DeFuniak Springs, FL 32435



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**PLANNING BOARD
REGULAR MEETING AGENDA
1350 BALDWIN AVENUE, CITY HALL
MONDAY, MARCH 2, 2026
5:30 PM**

- 1. CALL TO ORDER**
 - A. Invocation
 - B. Pledge of Allegiance
- 2. INVOCATION AND PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. NEW BUSINESS**
 - A. Election of Officers for 2026
 - B. 2026-VAR-01, Habitat for Humanity is requesting a variance to construct 5 home foundations prior to the infrastructure and plat acceptance in a R-2, Multi-Family Residential District.
- 5. PLANNING DIRECTOR UPDATE**
- 6. CITIZEN COMMENTS**
- 7. ADJOURNMENT**

Florida Statute 286.0105. Notices of meetings and hearings must advise that a record is required to appeal. Each board, commission, or agency of this state or of any political subdivision thereof shall include in the notice of any meeting or hearing, if notice of the meeting or hearing is required, of such board, commission, or agency, conspicuously on such notice, the advice that, if a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The requirements of this section do not apply to the notice provided in s. 200.065(3). In accordance with Section 286.26, F.S., persons with disabilities may contact the City Clerk at cityclerk@defuniaksprings.net or 850-892-8500 ext. 1103.



PLANNING BOARD

Agenda Item Form



Meeting Date: March 2, 2026
Department: Community Development
Department

Presenter:

Request Type: Action Item

Does this item require legal review?

Time Required for Request:

Agenda Item Title:

Election of Officers for 2026

Attachment(s):

None

Brief Summary:

Action Requested:

Issue Overview:

Background Information & Issue Summary:

Financial Impacts:

Staff Recommendations/Comments:



PLANNING BOARD

Agenda Item Form

Meeting Date: March 2, 2026
Department: Community Development
Department

Presenter:

Chris Wallace, Community Development Director

Request Type: Action Item

Does this item require legal review?

Time Required for Request:

Agenda Item Title:

2026-VAR-01, Habitat for Humanity

Attachment(s):

1. Staff Report 2026-VAR-01, Habitat
2. FL7060-0008-Civil Plans-02.20.26

Brief Summary:

Habitat for Humanity is requesting a variance to construct 5 home foundations prior to the infrastructure and plat acceptance in a R-2, Multi-Family Residential District.

Action Requested:

Approval of the variance request

Issue Overview:

Background Information & Issue Summary:

Financial Impacts:

There will be an increase in property tax revenue.

Staff Recommendations/Comments:

Staff recommends approval of this request.

City of DeFuniak Springs
1350 Baldwin Ave
DeFuniak Springs, FL
32433



M-E-M-O-R-A-N-D-U-M

TO: City of DeFuniak Springs Planning Board

FROM: Chris Wallace, Community Development Director

RE: 2026-VAR-01, Habitat for Humanity's request for a variance to construct 5 foundations prior to the infrastructure and plat acceptance

DATE: February 26, 2026

(Planning Board meeting on Monday, March 2, 2026, 5:30 p.m.)

PART A. GENERAL INFORMATION

1. Owner/Applicant:
Jay Woener
Habitat for Humanity of Walton County
2440 US Hwy 98 W
Santa Rosa Beach, FL 32459
2. Requested Action: Habitat for Humanity is requesting a variance to construct 5 home foundations prior to the infrastructure and plat acceptance in a R-2, Multi-Family Residential District. The subject property is located at on the corner of Vann Ave. and 3rd St. (parcel # 25-3N-19-19070-001-624J).
3. Number of Notices Sent to Property Owners within 1000 feet: There were 97 notices sent to property owners located within 1000 feet of the subject property.
4. Existing Zoning: The subject property is currently zoned R-2, Multi-Family Residential as is the property to the south, north, west, and east.
5. Existing Future Land Use Map: The subject property is currently designated on the FLUM as LDR, Low Density Residential as is the property to the south, north, west, and east.
6. Existing Land Use: The subject property is currently vacant.

PART B: LAND DEVELOPMENT CODE EXCERPTS

Sec. 18-22. – Variances and Appeals.

In considering variances to the zoning code, the planning board shall, before making a decision in a specific case, first determine:

- (1) That the proposed variation does not constitute a change in the districts shown on the zoning map;
- (2) That the proposed variation will not significantly increase congestion in the public streets nor impair the public safety;
- (3) That the proposed variation will not impair the established values of property in the surrounding area;
- (4) That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district;
- (5) That the special conditions and circumstances do not result from the actions of the applicant;
- (6) That granting the variance requested will not confer on the applicant any special privilege that is denied by the ordinance to other lands, buildings or structures in the same zoning district;
- (7) That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by others in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant;
- (8) That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure; and
- (9) That the grant of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

PART C. ANALYSIS

The applicant is requesting a variance to construct 5 home foundations prior to the infrastructure and plat acceptance. This request is to ensure that grant funding the applicant has received doesn't expire. Without the variance the applicant is at risk of losing this funding.

The proposed development will consist of 9 single family homes for local families. The property is located in a single family neighborhood and would not have any affect on the adjoining properties or the surrounding area. The installation of a new sewer line and a new fire hydrant would benefit the entire area and possibly encourage others to tap into the City's sewer system. The addition of the fire hydrant will provide increased fire protection for residents located near the site. Once the infrastructure is complete the City Council will review the plans, and upon staff recommendation that all requirements have been met, accept the infrastructure.

With regards to the nine criteria the Board shall determine:

(1) That the proposed variation does not constitute a change in the districts shown on the zoning map.

The proposed variance request would not constitute a change in zoning districts.

(2) That the proposed variation will not significantly increase congestion in the public streets nor impair the public safety.

The proposed variance will not have an impact on traffic congestion as it is consistent with the surrounding land uses.

(3) That the proposed variation will not impair the established values of property in the surrounding area.

The proposed variance will not have a negative impact on property values in the neighborhood.

(4) That special conditions and circumstances exist which are peculiar to the land, structure or building involved and which are not applicable to other lands, structures or buildings in the same zoning district.

The proposed variance would allow development consistent with other land uses in the immediate area.

(5) That the special conditions and circumstances do not result from the actions of the applicant.

While the actions are a result of the applicant, the request is to satisfy grant requirements for a non-profit organization whose goal is to provide affordable housing to those who need it.

(6) That granting the variance requested will not confer on the applicant any special privilege that is denied by the ordinance to other lands, buildings or structures in the same zoning district.

All land owners have the same right to apply for a variance if similar circumstances exist, therefore no special privilege is being granted that others are not eligible to apply for.

(7) That literal interpretation of the provisions of the ordinance would deprive the applicant of rights commonly enjoyed by others in the same zoning district under the terms of the ordinance and would work unnecessary and undue hardship on the applicant.

Requiring the infrastructure be installed first would place an additional burden on the applicant that has not been applied to the adjoining properties.

(8) That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure.

The variance granted would eliminate the need for infrastructure installation prior to pouring the 5 home foundations.

(9) That the granting of the variance will be in harmony with the general intent and purpose of the ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.

Granting the variance should not be injurious to the area or detrimental to the public welfare.

VANN AVENUE SUBDIVISION

PARCEL IDS: 25-3N-19-19070-001-624J

CITY OF DEFUNIAK SPRINGS

STATE OF FLORIDA

OWNER:

HABITAT FOR HUMANITY OF WALTON COUNTY, FL., INC.

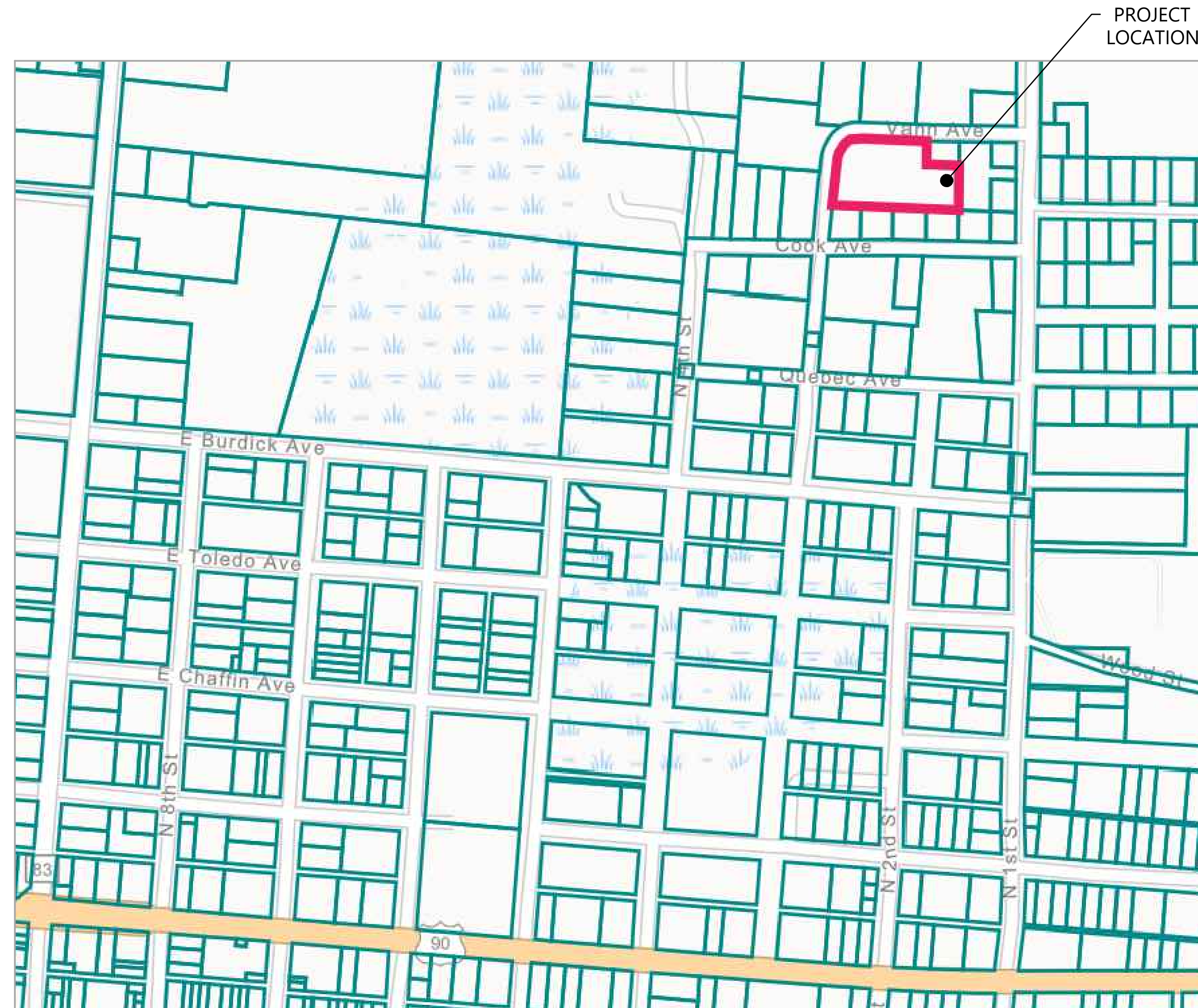
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459
(513) 600-9937

ENGINEER:

LJA, INC.
495 GRAND BOULEVARD
SUITE 206
MIRAMAR BEACH, FL 32550
(850) 446-4365

GENERAL NOTES

- THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THIS SITE.
- CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE PROJECT DOCUMENTS & PER THE CITY OF DEFUNIAK SPRINGS STANDARDS & SPECIFICATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL HORIZONTAL AND VERTICAL LINES AND GRADES OF EXISTING UTILITIES PRIOR TO THE CONSTRUCTION OF IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF A DISCREPANCY BETWEEN CONTRACT DRAWINGS AND ACTUAL FIELD CONDITIONS.
- APPLICABLE PERMITS MUST BE OBTAINED FROM THE CITY, STATE AND COUNTY PRIOR TO EXCAVATION WITHIN ANY RIGHT-OF-WAY, AND PRIOR TO ANY CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS AND TO BE LIABLE FOR DAMAGE AND CONSEQUENT REPAIR TO SUCH IN THE COURSE OF HIS OPERATIONS.
- THE CONTRACTOR AND/OR BUILDER WILL KEEP THE SUBDIVISION NEAT AND ORDERLY AT ALL TIMES WHILE CONSTRUCTION IS TAKING PLACE. ALL CITY STREETS ADJACENT TO THE DEVELOPMENT SHALL BE KEPT CLEAR OF MUD, ROCK, DIRT, DEBRIS, PAPER AND WASTE MATERIAL AT ALL TIMES. THE PROPER AMOUNT OF INSPECTION SHALL BE CALLED FOR AT THEIR PROPER TIMES, OR ANY AND ALL WORK MAY BE REJECTED.
- IF ANY WORK OR ACCESS TO ANY ADJOINING PROPERTY IS DONE, IT IS THE FULL RESPONSIBILITY OF THE APPLICANT/OWNER TO OBTAIN PROPER RELEASES FROM ADJOINING PROPERTY OWNERS AND ASSUME ALL LIABILITY FOR ACTION TAKEN DURING ALL CONSTRUCTION.
- ALL DISTURBED AREAS ARE TO BE RE-SEEDED IN ACCORDANCE WITH THE APPROVED PLANS.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE ANY EXISTING STREET, CURB AND GUTTER, SIDEWALK AND DRIVEWAYS.
- THE CONTRACTOR SHALL HAVE ON SITE A SET OF PLANS. THE CONTRACTOR SHALL HAVE ON THE PROJECT AT ALL TIMES, AS HIS AGENT, A COMPETENT SUPERINTENDENT CAPABLE OF READING AND THOROUGHLY UNDERSTANDING THE PLANS AND SPECIFICATIONS, THOROUGHLY EXPERIENCED IN THE TYPE OF WORK BEING PERFORMED, AND WHO SHALL RECEIVE INSTRUCTIONS FROM THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.
- ALL TRENCHES, WHICH LIE UNDER PROPOSED PAVEMENT OR LIE WITHIN TWO FEET OF THE BACK OF CURB SHALL BE BACKFILLED TO PAVEMENT SUBGRADE WITH COMPACTED GRANULAR MATERIAL.
- MANHOLE COVERS, VALVE BOXES AND OTHER UTILITY APPURTENANCES SHALL NOT ENCROACH ON SIDEWALKS, CURBS OR PAVEMENT. WHERE CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY NEW SINKHOLES, MINE FEATURES OR OTHER GEOLOGIC ANOMALIES DISCOVERED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- COORDINATION BETWEEN ALL PARTIES IS AN ESSENTIAL PART OF THE CONTRACT.
- LJA, INC. TO INSPECT ALL ROAD GRADES LESS THAN 0.5% PRIOR TO THE POURING OF ASPHALT.



LOCATION MAP
SCALE: NTS

UTILITY PROVIDER:

WATER/SEWER/GAS:
CITY OF DEFUNIAK SPRINGS
1350 BALDWIN AVE
DEFUNIAK SPRINGS, FL 32435
(850) 892-8537

POWER:
CHELCO
655 U.S. HWY. 331 N
DEFUNIAK SPRINGS, FL 32433
(850) 892-2111

INTERNET/TV/PHONE:
CENTURY LINK
DEFUNIAK SPRINGS, FL 32433
(855) 263-9576

STAGES OF CONSTRUCTION:

- CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS.
- INSTALLATION OF CONSTRUCTION ENTRANCE.
- INSTALLATION OF EROSION CONTROL FENCE.
- DEMOLITION OF EXISTING SITE IMPROVEMENTS.
- REMOVAL OF EXISTING PAVEMENT ON THE SITE.
- INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS.
- ROUGH GRADING.
- CONSTRUCTION OF NEW SITE IMPROVEMENTS.
- FINAL GRADING.
- PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD.
- REMOVAL OF EROSION CONTROL FENCE.

INDEX OF SHEETS

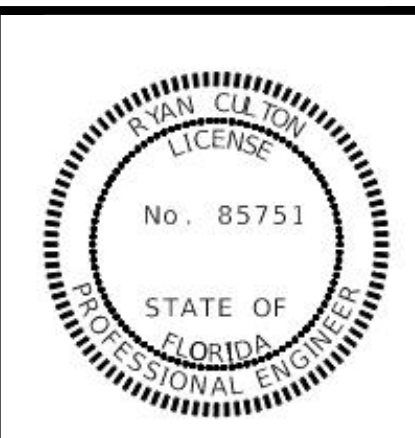
SHEET	DESCRIPTION
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C2.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C3.0	SITE AND GEOMETRY PLAN
C4.0	GRADING AND DRAINAGE PLAN
C5.0	EROSION CONTROL PLAN
C6.0	UTILITY PLAN
C7.0	LANDSCAPE PLAN
C8.0	DETAILS

MAINTENANCE ENTITY

ALL INFRASTRUCTURE, INCLUDING ALL COMMON AREAS, STREETS, SIDEWALKS, STORMWATER FACILITIES, LANDSCAPING, ETC., SHALL BE MAINTAINED BY THE OWNER UNTIL THE COMPLETION OF CONSTRUCTION. AT THAT TIME, THE CITY SHALL TAKE OVER RESPONSIBLY TO MAINTAIN.

FLOOD ZONE:

THE SUBJECT PROPERTY LIES IN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FLOOD INSURANCE RATE MAP 12131CTC0280G, REVISED 9-29-2010. THE FLOODPLAIN LIMITS SHOWN HEREON IS A GRAPHICAL REPRESENTATION OF THE LINE SHOWN ON THE FIRM.



ENGINEER OF RECORD
RYAN CULTON, PE
#85751

NO.	DATE	DESCRIPTION	BY	CHK	APP
1	08/29/2025	CIVIL ENGINEERING PLANS			
2	11/03/2025	CITY COMMENTS - FIRST REVIEW			
3	12/05/2025	NFWMD COMMENTS - FIRST REVIEW			
4	12/10/2025	CITY COMMENTS - 2ND REVIEW			
5	01/19/2026	CITY COMMENTS - 3RD REVIEW			

CIVIL PLANS
VANN AVE SUBDIVISION
VANN AVE, DEFUNIAK SPRINGS, FL 32433
25-3N-19-19070-001-624J

HABITAT FOR HUMANITY
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459

ISSUE DATE
08-29-2025

PROJECT NUMBER
FL7060-0008

SHEET TITLE

COVER SHEET

SHEET NUMBER

C1.0

DEMOLITION NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES...
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL ITEMS THAT IMPEDE THE PROPER PLACEMENT OF ANY ITEMS PROPOSED BY THIS PLAN SET.
- 3. REMOVAL WORK SHALL INCLUDE BUT NOT BE LIMITED TO: OBTAINING ALL REQUIRED PERMITS FOR DEMOLITION, REMOVAL OF EXISTING TREES, REMOVAL OF ANY SEPTIC SYSTEMS, DRY WELLS, AND EXISTING IRRIGATION SYSTEMS...
- 4. THE CONTRACTOR SHALL REMOVE ALL DEBRIS AND UNSUITABLE MATERIALS FROM THE SITE AND DISPOSE OF THEM OFF-SITE IN A LAWFUL MANNER...
- 5. THE CONTRACTOR SHALL REMOVE ALL MATERIALS DEEMED UNSUITABLE BY THE ENGINEER WITHIN EIGHT INCHES OF THE PROPOSED BUILDING FOOTPRINT...
- 6. TREE REMOVAL SHALL INCLUDE THE COMPLETE REMOVAL OF TREES AS NOTED ON THE PLAN, INCLUDING ALL STUMPS AND ROOTS.
- 7. THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL, DISCONNECTION, AND/OR RELOCATION OF UTILITIES...
- 8. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR...
- 9. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE...
- 10. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC, AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY...
- 11. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITY SERVICES TO ADJACENT LOTS. INTERRUPTION OF SERVICES TO ADJACENT LOTS SHALL NOT OCCUR WITHOUT PROPER APPROVAL...
- 12. IF NECESSARY, THE CONTRACTOR SHALL BE FAMILIAR WITH WELL ABANDONMENT SPECIFICATIONS, MATERIALS, PROCEDURES, AND EQUIPMENT REQUIRED TO PROPERLY SEAL WELLS...
- 13. THE CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. TO BEST PRACTICES AND AS APPROVED BY THE OWNER'S CONSTRUCTION MANAGER...
- 14. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. TO BE CLEAR AND FREE OF CONSTRUCTION ACTIVITY AND/OR EXCAVATED MATERIAL...
- 15. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 16. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING, ASPHALT, SIDEWALKS, AND/OR STORM INLET STRUCTURES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS...
- 17. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS...
- 18. THE CONTRACTOR SHALL COORDINATE WATERMAIN WORK WITH THE UTILITY DEPARTMENT TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT ALL PHASES OF CONSTRUCTION...
- 19. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN SHALL BE REPLACED/REPAIRED TO THE OWNER'S SATISFACTION AT CONTRACTOR'S EXPENSE.
- 20. NO EQUIPMENT SHALL BE STORED WITHIN ANY RIGHT-OF-WAY WITHOUT PERMISSION OF THE RIGHT-OF-WAY OWNER.

GENERAL EXISTING CONDITIONS AND CONSTRUCTION NOTES:

- 1. SITE CONDITIONS BASED UPON SURVEY SUBMITTED. FIELD VERIFY EXISTING CONDITIONS BY DETAILED SITE INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- 2. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID, REFER TO SPECIFICATIONS ALSO.
- 3. EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER...
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- 5. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK...
- 6. THE CONTRACTOR SHALL FIELD VERIFY ALL HORIZONTAL AND VERTICAL LINES AND GRADES OF EXISTING UTILITIES PRIOR TO THE CONSTRUCTION OF IMPROVEMENTS...
- 7. CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES, SIDEWALK CONNECTIONS, AND ALL CONNECTION POINTS PRIOR TO BEGINNING CONSTRUCTION...
- 8. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- 9. THE CONTRACTOR MUST COORDINATE CONSTRUCTION WITH THE NECESSARY AUTHORITIES.
- 10. APPLICABLE PERMITS MUST BE OBTAINED PRIOR TO EXCAVATION WITHIN ANY RIGHT-OF-WAY, AND PRIOR TO ANY CONSTRUCTION.
- 11. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS WITHOUT PONDING ON PARKING LOTS OR SIDEWALKS.
- 12. ALL IMPROVED RUNOFF TO DRAIN TO DRAINWAYS.
- 13. ALL CONTOURS AND SPOT ELEVATIONS SHOWN ON THE GRADING PLAN ARE FINISH GRADES.
- 14. THE REMOVAL OF ANY TREES SHALL BE APPROVED BY THE PROJECT MANAGER PRIOR TO REMOVAL.
- 15. TESTING OF CONTROLLED STRUCTURAL FILL, OBSERVATION OF EXCAVATIONS AND COMPACTION OF SUBGRADE SHALL BE DONE BY A QUALIFIED GEOTECHNICAL ENGINEER...
- 16. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

GENERAL SITE LAYOUT AND GEOMETRY NOTES:

- 1. ALL SITE DIMENSIONS ARE TO THE EDGE OF PAVEMENT, CONCRETE, OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- 2. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION, INCLUDING ALL UTILITY AND DRAINAGE CONNECTIONS, AND SHALL LOCATE ALL EXISTING UTILITIES TO IDENTIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS...
- 3. REFER TO STRUCTURAL PLANS FOR SIDEWALK DEVELOPMENT ADJACENT TO FOUNDATIONS AND STEMWALLS.
- 4. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- 5. BUILDING LOCATIONS ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- 6. ALL SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 7. ALL PROJECT LAYOUT, INCLUDING BUILDINGS, CURB, ROADWAY ALIGNMENTS, STORM DRAINAGE, AND UTILITIES, SHALL BE PERFORMED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2020 EDITION, SECTION 5, SUB-SECTION 5-7.
- 8. ALL HORIZONTAL CONTROL IS REFERENCED TO NORTH AMERICAN DATUM 1983 (NAD83), AND ALL VERTICAL CONTROL IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVVD88).
- 9. TEMPORARY BENCHMARKS SHOWN ON THE EXISTING CONDITIONS PLAN SHALL BE USED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY BOTH VERTICAL AND HORIZONTAL CLOSURE OF ALL CONTROL POINTS PRIOR TO COMMENCEMENT OF WORK...
- 10. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY CONFLICTS DURING PROJECT LAYOUT AND SHALL NOT MAKE ADJUSTMENTS TO THE PLANS WITHOUT PRIOR AUTHORIZATION.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS, INCLUDING ELECTRIC, WATER, GAS, SEPTIC, AND SEWER, AND SHALL PROVIDE ALL REQUIRED INFRASTRUCTURE PER UTILITY COMPANY REQUIREMENTS.
- 12. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGED AREAS OF PAVEMENT RESULTING FROM CONSTRUCTION ACTIVITIES.

SAFETY NOTES:

- 1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK...
- 2. THE DUTY OF THE ENGINEER OR OWNER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN, ON, OR NEAR THE CONSTRUCTION SITE.

EROSION CONTROL & MAINTENANCE PLAN NOTES:

- 1. RETAIN FLOATABLE AND WIND-BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES.
- 2. PERMANENTLY STABILIZE ALL SURFACE AREAS WITHIN AND ADJACENT TO THIS SITE THAT ARE DISTURBED BY VEHICLES, GRADING, OR OTHER CONSTRUCTION ACTIVITIES.
- 3. AT ALL TIMES DURING AND AFTER DEVELOPMENT, CLEARED AREAS SHALL BE STABILIZED. FINAL STABILIZATION SHALL BE IN PLACE WITHIN FOURTEEN (14) DAYS OF FINAL GRADING.
- 4. CONTRACTORS SHALL INSPECT POLLUTION AND EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) DAYS OR FOURTEEN (14) DAYS, AS REQUIRED BY THE GOVERNING AGENCY...
- 5. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY, STATE, OR OTHER GOVERNING AUTHORITY.
- 6. NO CLEARING, GRADING, EXCAVATING, FILLING, OR OTHER DISTURBANCE OF NATURAL TERRAIN SHALL OCCUR UNTIL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED...
- 7. CARE SHALL BE TAKEN TO MINIMIZE THE ENCRORCHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND PRIVATE PROPERTIES UNTIL IMPERVIOUS MATERIALS (SUCH AS ROAD OR PARKING AREA SURFACES) ARE APPLIED OR UNTIL PROPOSED LANDSCAPE IS ESTABLISHED.
- 8. REFER TO DETAILS FOR SILT FENCE CONSTRUCTION.
- 9. ALL GRASS AREAS OR SLOPES EXCEEDING 3:1 (H:V) SHALL BE STABILIZED WITH TURF REINFORCEMENT MATS.
- 10. ALL STOCKPILES SHALL BE PROTECTED AGAINST DUST AND EROSION.
- 11. SEDIMENT ACCUMULATION IN THE STORMWATER SYSTEM RESULTING FROM CONSTRUCTION ACTIVITIES MUST BE REMOVED PRIOR TO FINAL CERTIFICATION OF THE SYSTEM TO ENSURE THAT THE DESIGNED AND PERMITTED STORAGE VOLUME IS AVAILABLE.
- 12. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING ALL SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED BY REGULATORY AGENCIES.

SWPPP SPECIAL NOTES:

- 1. THE APPROVED ERP PERMIT SHALL BE SUBMITTED TO THE CITY WHEN OBTAINED AND PRIOR TO CONSTRUCTION.
- 2. THE CONTRACTOR SHALL PROVIDE THE CITY ENGINEER A COPY OF THE NPDES PERMIT PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES AS REQUIRED BY FDEP'S NPDES PROGRAM.
- 3. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
- 4. PERIMETER SILT FENCING AT CONSTRUCTION LIMITS MAY BE ADJUSTED BY THE INSPECTOR DISCRETION.
- 5. THE EXACT LOCATION AND VOLUME OF EARTHWORK MATERIAL TO BE EXCAVATED WILL BE DETERMINED DURING CONSTRUCTION. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PROCEDURES AND MUST UPDATE THE SWPPP AS CONSTRUCTION PROGRESSES.
- 6. PLEASE REFER TO THE CITY OF DEFUJIAK SPRINGS LATEST STANDARD AND CONSTRUCTION SPECIFICATIONS.

UTILITY NOTES:

- 1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS, INSTALLATIONS, AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID.
- 2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES, AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE ENGINEER...
- 3. INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
- 5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID.
- 6. ANY DELAY, ADDITIONAL WORK, FEES, OR EXTRA COST CAUSED BY DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK...
- 7. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- 8. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- 9. COORDINATE ALL CONSTRUCTION WITH THE CITY OF DEFUJIAK SPRINGS. ALL SANITARY SEWER AND WATER LINE CONSTRUCTION MUST COMPLY WITH THE CITY OF DEFUJIAK SPRINGS STANDARDS AND SHALL BE INSTALLED AND TESTED PER THE CITY'S TECHNICAL DEVELOPMENT GUIDE MANUAL.
- 10. WATER LINES SHALL HAVE A MINIMUM 10 FEET HORIZONTAL CLEARANCE AND 18 INCHES VERTICAL CLEARANCE (MEASURED FROM EDGE OF PIPE TO EDGE OF PIPE) FROM ALL SANITARY AND STORM SEWER LINES.
- 11. WATER LINES SHALL HAVE A MINIMUM OF 36 INCHES OF COVER, UNLESS OTHERWISE NOTED, MEASURED FROM THE TOP OF FINISHED GROUND TO THE TOP OF PIPE.
- 12. THERE SHALL BE A MINIMUM OF 18 INCHES CLEARANCE MEASURED FROM THE BOTTOM OF ANY STORMWATER PIPE TO THE TOP OF WATER LINES AT ALL CROSSINGS.
- 13. AT WATER AND SANITARY SEWER CROSSINGS, THE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE.
- 14. NOTICE TO CONTRACTOR: PRIOR TO INSTALLATION OF WATER LINE, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND ENGINEER OF RECORD OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- 15. CONTRACTOR TO PROVIDE SANITARY SEWER CLEANOUTS EVERY 50' FOR SANITARY SEWER SERVICE LATERAL LINES SMALLER THAN 4" AND EVERY 100' FOR LINES 4" TO 10" TO ALLOW ACCESS FOR CLEANING.
- 16. FIELD VERIFY SANITARY SEWER SERVICE CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION.
- 17. CONTRACTOR SHALL FIELD VERIFY LOCATION, MATERIAL, CONDITION, ACCESSIBILITY INCLUDING STATE HIGHWAY OR OTHER RIGHTS-OF-WAY, AND WORKABLE FLOW LINE ELEVATION OF THE EXISTING SANITARY SEWER SERVICE LINE OR MAIN.
- 18. CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF UTILITY INSTALLATION AND BEFORE CONDUCTING ANY REQUIRED TESTING.

PIPE NOTES:

- 1. PIPE MATERIALS SHALL BE IN ACCORDANCE WITH AND AS APPROVED BY THE COUNTY OR APPLICABLE AUTHORITY.
- 2. ALL PIPE IS TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENTS AND MEET COVER REQUIREMENTS PER THE MANUFACTURER.

STAGES OF CONSTRUCTION:

- 1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION.
- 2. INSTALLATION OF CONSTRUCTION ENTRANCE.
- 3. INSTALLATION OF EROSION CONTROL FENCE.
- 4. DEMOLITION OF EXISTING SITE IMPROVEMENTS.
- 5. REMOVAL OF EXISTING PAVEMENT ON THE SITE.
- 6. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS.
- 7. ROUGH GRADING.
- 8. CONSTRUCTION OF NEW SITE IMPROVEMENTS.
- 9. FINAL GRADING.
- 10. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD.
- 11. REMOVAL OF EROSION CONTROL FENCE.

SEEDING AND MULCHING NOTES:

SEEDBED PREPARATION:

GOOD SEEDBED PREPARATION IS ESSENTIAL TO SUCCESSFUL PLANT ESTABLISHMENT. BEFORE PREPARING SEEDBEDS, COMPLETE GRADING AND INSTALL ALL NECESSARY EROSION CONTROL PRACTICES, SUCH AS DIKES, WATERWAYS, AND BASINS. STEEP SLOPES SHOULD BE MINIMIZED BECAUSE THEY MAKE SEEDBED PREPARATION DIFFICULT AND INCREASE THE EROSION HAZARD.

LIME SHOULD BE APPLIED ACCORDING TO SOIL TEST RECOMMENDATIONS. IF THE pH (ACIDITY) OF THE SOIL IS NOT KNOWN, AN APPLICATION OF GRCST AND AGRICULTURAL LIMESTONE AT THE RATE OF TWO TONS/ACRE IS USUALLY SUFFICIENT.

FERTILIZER SHOULD ALSO BE APPLIED BASED ON SOIL TESTS. WHEN THESE ARE NOT POSSIBLE, APPLY A 10-10-10 GRADE FERTILIZER AT 700-1,000 LBS. PER ACRES.

SEEDING:

DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR A PERIOD OF MORE THAN 30 WORKING DAYS NEED TO BE TEMPORARILY STABILIZED BY PLANTING RAPID-GROWING ANNUAL PLANTS, WHICH SPROUT AND GROW RAPIDLY AND SURVIVE FOR ONLY ONE SEASON.

TEMPORARY SEEDING PROVIDES PROTECTION FOR NO MORE THAN ONE YEAR, DURING WHICH TIME PERMANENT STABILIZATION SHOULD BE INITIATED.

SEED BROADCAST RATES DRILLED SODDED RATES

TALL FESCUE	30 LB/ACRE	25 LB/ACRE SOLID
KENTUCKY BLUEGRASS	3 LB/ACRE	2 LB/ACRE SOLID
RED FESCUE	10 LB/ACRE	7 LB/ACRE
WHEAT OR RYE	120 LB/ACRE	100 LB/ACRE
ANNUAL RYEGRASS	100 LB/ACRE	100 LB/ACRE

EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTIPACKER SEEDER, OR HYDRO-SEEDER. BROADCAST SEEDING AND HYDRO-SEEDING ARE APPROPRIATE FOR STEEP SLOPES WHERE EQUIPMENT CANNOT BE DRIVEN.

SMALL GRAINS SHOULD BE PLANTED NO MORE THAN ONE INCH DEEP, AND GRASSES AND LEGUMES NO MORE THAN 1/2 INCH. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTIPACKER.

SEEDED AREAS SHOULD BE MAINTAINED FOR ONE YEAR FOLLOWING PERMANENT SEEDING TO ENSURE A HEALTHY LAWN.

MULCHING:

THE USE OF APPROPRIATE MULCH WILL HELP ENSURE THE VEGETATION IS ESTABLISHED UNDER NORMAL CONDITIONS AND IS ESSENTIAL TO SEEDING SUCCESS UNDER HARSH SITE CONDITIONS.

- A. SEEDING IN FALL OR WINTER COVER (WOOD FIBER MULCHES ARE NOT CONSIDERED ADEQUATE FOR THIS USE)
- B. SLOPES STEEPER THAN 33 PERCENT (3:1) GRADE
- C. EXCESSIVELY HOT OR DRY WEATHER
- D. ADVERSE SOILS (SHALLOW, ROCKY, OR HIGH IN CLAY OR SAND)
- E. AREAS RECEIVING CONCENTRATED FLOW

MULCHING IS NOT NECESSARY BUT RECOMMENDED WHERE SLOPES ARE LESS THAN FIVE PERCENT (20:1) GRADE. WHERE SLOPES ARE LESS THAN 25 PERCENT (4:1) GRADE, GREATER GRAIN MULCH CAN BE APPLIED AT THE RATE OF 100 POUNDS PER 1,000 SQUARE FEET (4,500 LB/ACRE).

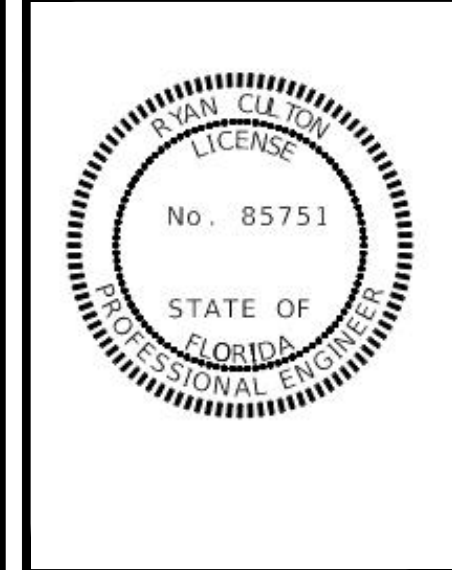
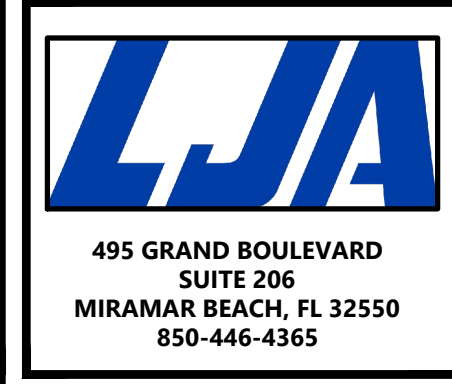
AS-BUILT RECORD DRAWINGS:

UPON COMPLETION OF A DEVELOPMENT, THE CONTRACTOR SHALL PRODUCE AND SUBMIT A SIGNED AND SEALED SET OF AS-BUILT RECORD DRAWINGS PREPARED BY A FLORIDA REGISTERED LAND SURVEYOR OR ENGINEER OF RECORD.

- A. ONE HARD COPY AND ONE ELECTRONIC COPY IN THE LATEST AUTOCAD FORMAT OF THE AS-BUILT DRAWINGS SHALL BE PROVIDED TO THE PUBLIC SERVICES DEPARTMENT.
- B. AS-BUILT DRAWINGS FOR UTILITIES (WATER AND SEWER) TO BE ACCEPTED BY THE CITY FOR PERPETUAL MAINTENANCE SHALL CONTAIN THE FOLLOWING:

- 1. PIPE SIZES, MATERIALS, LOCATIONS, SLOPES AND INVERTS.
- 2. WATER AND SEWER SERVICE LINE LOCATIONS WITH A MEASUREMENT FOR EACH OFF A KNOWN LOCATION.
- 3. LOCATIONS OF VALVES, METERS AND ANY OTHER APPURTENANCES.

AN ESRI COMPARABLE SHAPEFILE IS ALSO REQUIRED FOR THE ABOVE-MENTIONED UTILITIES. SHAPEFILES SHOULD INCLUDE HORIZONTAL AND VERTICAL DATUM INFORMATION.



ENGINEER OF RECORD
RYAN CULTON, PE
#85751

NO.	DATE	BY	CHK	APP.	DESCRIPTION	CIVIL ENGINEERING PLANS	CITY COMMENTS - FIRST REVIEW	MP	CW	MP	CW	MP	CW	MP	CW	NO.	DATE	BY	CHK	APP.

CIVIL PLANS
VAN AVENUE SUBDIVISION
VAN AVENUE, DEFUJIAK SPRINGS, FL 32433
25-3N-19-19070-001-624J
HABITAT FOR HUMANITY
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459

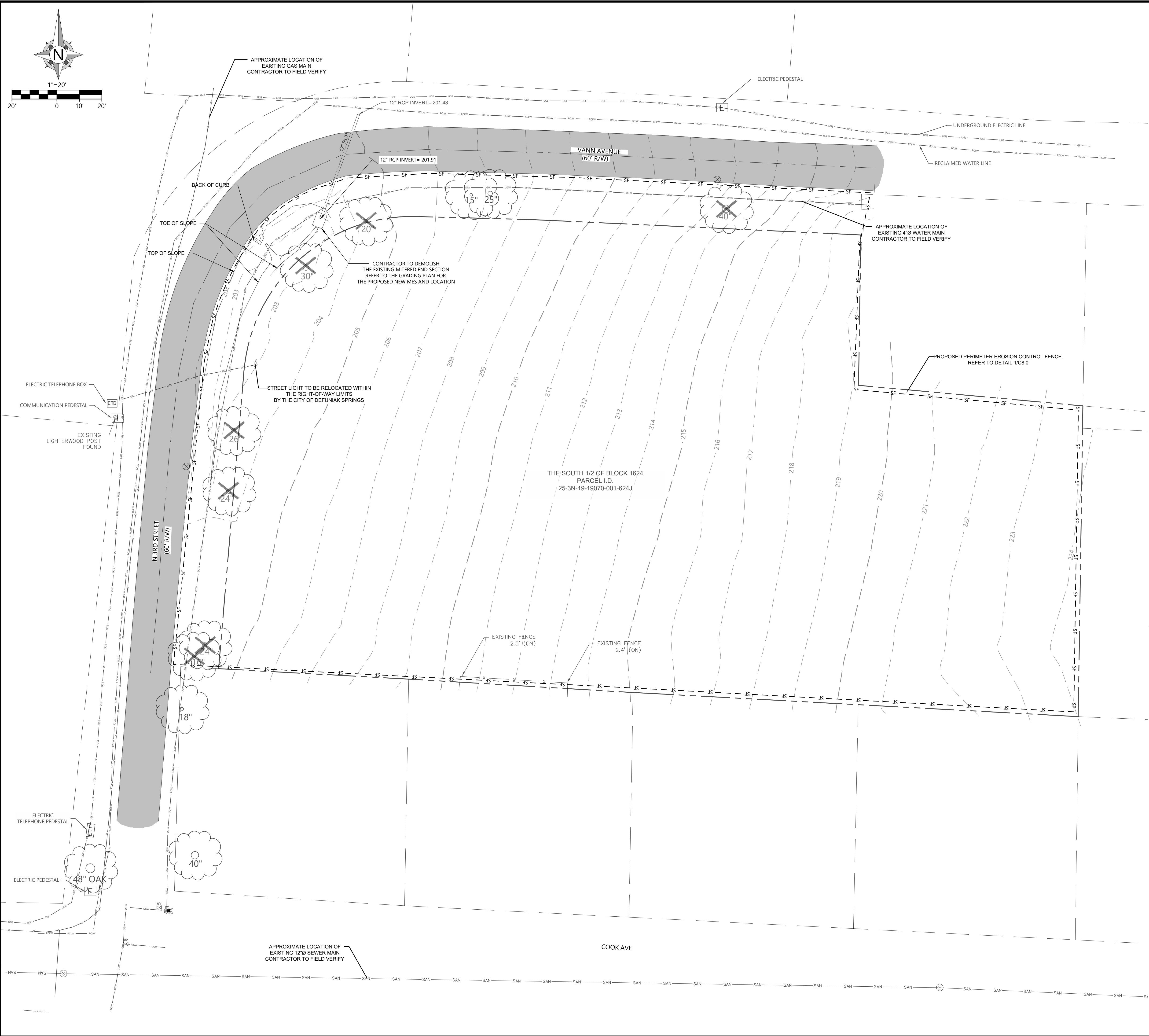
ISSUE DATE
08-29-2025

PROJECT NUMBER
FL7060-0008

SHEET TITLE

GENERAL NOTES

SHEET NUMBER
C1.1



DEMOLITION NOTES:

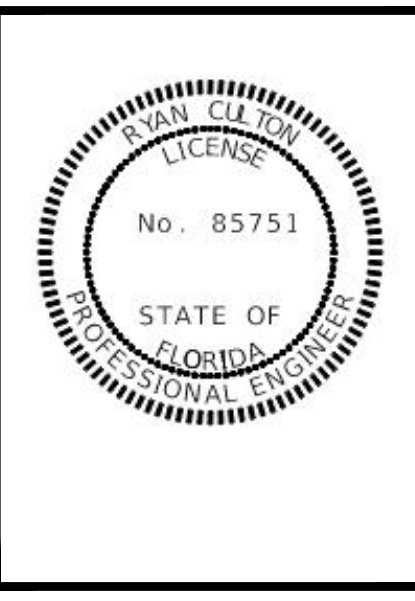
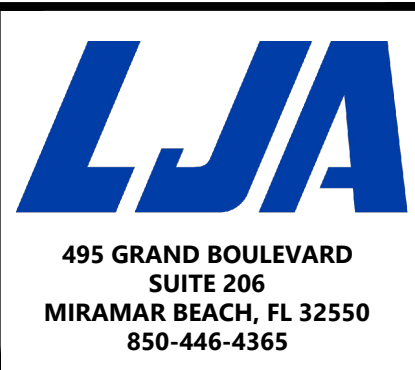
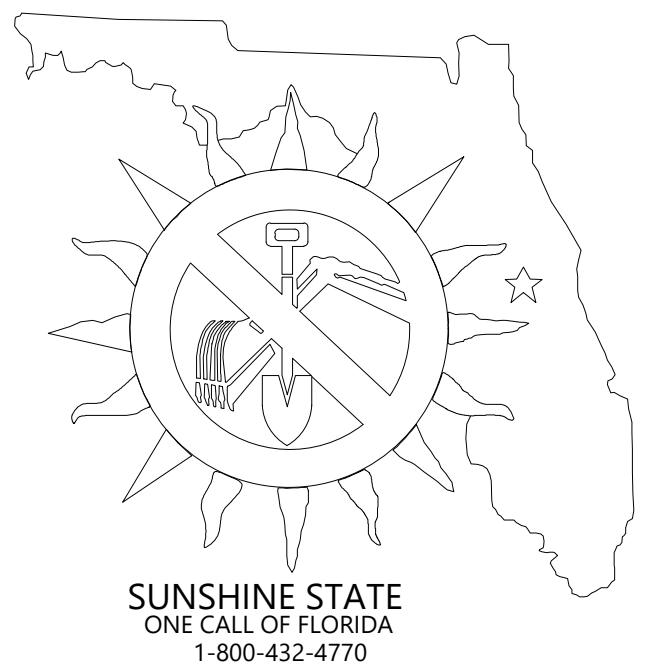
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO A SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING OF THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION SYSTEM IN THE AREAS OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CAP THE EXISTING IRRIGATION SYSTEM TO REMAIN SUCH THAT THE REMAINING SYSTEM SHALL CONTINUE TO FUNCTION PROPERLY.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE STATE OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
6. ALL EXISTING SEWERS, PIPING, AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN THE UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND AS APPROVED BY THE OWNER'S CONSTRUCTION MANAGER.
9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR STORM INLET STRUCTURES, THEN THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
12. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS; BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
13. THE CONTRACTOR SHALL COORDINATE WATERMAIN WORK WITH THE UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATERMAIN SHUT OFFS WITH THE CITY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATERMAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND AS PART OF THE BASE BID.
14. DAMAGE TO ANY EXISTING CONDITIONS TO REMAIN WILL BE REPLACED/REPAIRED AT CONTRACTOR'S EXPENSE.
15. CONTRACTOR TO REPLACE/REPAIR ASPHALT AS NEEDED AFTER DEMOLITION, ABANDONMENT, OR RELOCATION OF PAVING, UTILITIES, STRUCTURES, ETC. AS PART OF THE BASE BID.
16. NO EQUIPMENT SHALL BE STORED WITH IN ANY RIGHT-OF-WAY WITH OUT PERMISSION OF RIGHT-OF-WAY OWNER.

SILT FENCING NOTE:

SILT FENCING SHALL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT AND AROUND EACH INDIVIDUAL LOT PRIOR TO CONSTRUCTION. ADDITIONAL FENCING SHALL BE PLACED PERPENDICULAR TO SLOPES AS NEEDED TO CONTROL EROSION DURING LAND-DISTURBING ACTIVITIES.

CAUTION:

EXISTING SURFACE FEATURES, STRUCTURES, ETC. AND UNDERGROUND INSTALLATIONS SUCH AS WATER MAINS, GAS MAINS, SEWERS, TELEPHONE LINES, FIBER OPTIC LINES AND BURIED STRUCTURES ARE INDICATED ON THE DRAWING ONLY TO THE EXTENT SUCH INFORMATION HAS BEEN MADE AVAILABLE TO OR DISCOVERED BY THE SURVEYOR IN PREPARING THIS DRAWING. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



ENGINEER OF RECORD
 RYAN C. LUJAN, PE
 #85751

NO.	DATE	DESCRIPTION	BY		CHK	APP
			MP	CW		
1	08/29/2025	CIVIL ENGINEERING PLANS				
2	11/03/2025	CITY COMMENTS - FIRST REVIEW				
3	12/05/2025	NFWMD COMMENTS - FIRST REVIEW				
4	12/10/2025	CITY COMMENTS - 2ND REVIEW				
5	01/19/2026	CITY COMMENTS - 3RD REVIEW				

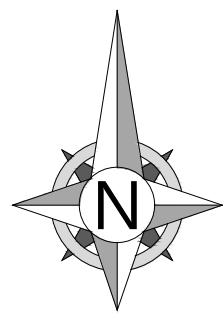
CIVIL PLANS
 VAN AVENUE SUBDIVISION
 VAN AVENUE, DEFUNIAK SPRINGS, FL 32433
 25-3N-19-19070-001-624J
 HABITAT FOR HUMANITY
 CONTACT: JAY WOERNER
 2440 US HWY 98
 SANTA ROSA BEACH, FL 32459

ISSUE DATE
 08-29-2025

PROJECT NUMBER
 FL7060-0008

SHEET TITLE
 EXISTING
 CONDITIONS &
 DEMOLITION
 PLAN

SHEET NUMBER
 C2.0



1"=20'
20' 0 10' 20'

BRENDA HOLT AND ALINA OSBORN
PID: 25-3N-19-19070-001-624G
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 3278, PAGE 2036)

MATTHEW JEROME ASH
PID: 25-3N-19-19070-001-624H
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2847, PAGE 4780)

MATTHEW JEROME ASH
PID: 25-3N-19-19070-001-624F
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2847, PAGE 4780)

ESTATE OF HEATH ETHEL
PID: 25-3N-19-19070-001-6233
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2708, PAGE 3934)

RAMOS NORA D
PID: 25-3N-19-19070-001-6237
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 1217, PAGE 1118)

LANE J. KINNEY
PID: 25-3N-19-19070-001-624T
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2529, PAGE 1219)

MARK AND BETTY HEFTER
PID: 25-3N-19-19070-001-624S
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 3178, PAGE 1552)

GEORGE HOGANS
PID: 25-3N-19-19070-001-624C
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2921, PAGE 2217)

JANET KINNEY
PID: 25-3N-19-19070-001-624N
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2318, PAGE 1122)

JESSIE AND BETTY LARRY FAMILY TRUST
PID: 25-3N-19-19070-001-624I
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 3305, PAGE 167)

TASHA AND LARANE HOMES
PID: 25-3N-19-19070-001-624P
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 3101, PAGE 1683)

INSTALL NEW SIDEWALK ALONG THE PROPERTY LINE ADJACENT TO THE R/W (PER DETAIL 2/C8.0)

APPROXIMATE ROAD & TO R/W

APPROXIMATE TO FIELD LOCATED

VANN AVENUE
+/-20' WIDE ASPHALT
(60' R/W)

R100 TYP.

N 3RD STREET
+/-19' WIDE ASPHALT
(60' R/W)

25' DRAINAGE EASEMENT

25' DRAINAGE EASEMENT

30' R/W
APPROXIMATE TO FIELD LOCATED

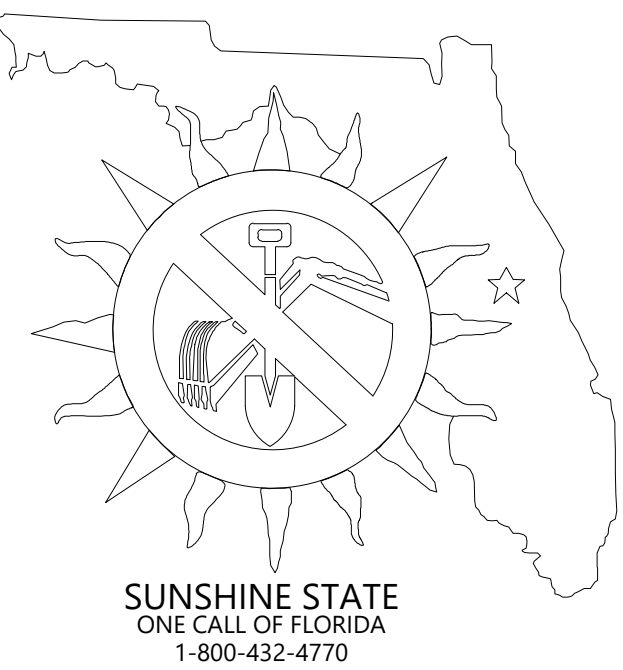
PROPOSED PRIVATE DRIVE

20' INGRESS/EGRESS AND UTILITY EASEMENT

TYP. NEW DRIVEWAY (PER DETAIL 1/C8.1)

GENERAL NOTES:

- ALL SITE DIMENSIONS TO THE EDGE OF PAVEMENT, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS AND FOUNDATION STEMWALLS.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- ALL DRIVEWAY CONNECTIONS SHALL BE INSTALLED AS PER DETAIL 1/C8.1



SITE SUMMARY:

- OWNER/DEVELOPER: HABITAT FOR HUMANITY OF WALTON COUNTY, FL., INC.
- PROPERTY LOCATION: DEFUNIAK SPRINGS, FL 32433
- PROPERTY IDENTIFICATION NUMBERS: 25-3N-19-19070-001-624J
- FLOOD ZONE: X
- AREA OF WETLANDS: NO WETLANDS, UPLAND
- TOTAL PROPERTY AREA: 70,045 SF = 1.608 ACRES
- ZONING DISTRICT: R-2 (MULTIPLE FAMILY RESIDENTIAL DISTRICT)
- FUTURE LAND USE: LOW DENSITY RESIDENTIAL
- PROPOSED USE: SINGLE FAMILY DWELLINGS
- REQUIRED MINIMUM LOT SIZE: 5,000 SF
- REQUIRED MINIMUM LOT WIDTH: 50 LF
- REQUIRED MINIMUM SETBACK:
 - FRONT: 20'
 - SIDE: 5'
 - REAR: 10'
- PROPOSED BUILDING FOOTPRINT AREA:
 - THE MARTY: 1,500 SF
 - THE BILL: 1,830 SF
- MAXIMUM FLOOR AREA RATIO (FAR) ALLOWED: 1.0
- MAX DENSITY ALLOWED: 16 DWELLING UNITS / ACRE
 - ALLOWED: 16 DU / AC * 1.608 AC = 25.73 DWELLING UNITS
 - PROPOSED: 9 DWELLING UNITS
- MAXIMUM BUILDING HEIGHT ALLOWED: TWO STORIES OR 35'
 - PROPOSED: ONE STORY BUILDING, 15'-17' ABOVE EXISTING GRADE. REFER TO THE GRADING PLAN AND ARCHITECTURAL PLANS.
- NEW LOTS (LOT 1-9) IMPERVIOUS AREA: 19,880 SF
- ADDITIONAL IMPERVIOUS AREA:
 - SIDEWALK: 1,600 SF
 - PRIVATE INGRESS/EGRESS DRIVE: 5,586 SF
 - OFF-SITE DRIVEWAY PORTION: 2,312 SF
- TOTAL PROPOSED IMPERVIOUS AREA ON-SITE: 25,466 SF = 0.58 AC.
- ISR = 36.36 %
- OPEN SPACE AREA = 44,579 SF = 63.64 %



ENGINEER OF RECORD
RYAN CULTON, PE
#85751

NO.	DATE	DESCRIPTION	BY	CHK	APP
1	08/29/2025	CIVIL ENGINEERING PLANS			
2	11/03/2025	CITY COMMENTS - FIRST REVIEW			
3	12/05/2025	NFWD COMMENTS - FIRST REVIEW			
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5	01/19/2026	CITY COMMENTS - 3RD REVIEW			

CIVIL PLANS
VANN AVE SUBDIVISION
VANN AVE, DEFUNIAK SPRINGS, FL 32433
25-3N-19-19070-001-624J

HABITAT FOR HUMANITY
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459

PROPOSED LOTS - SITE DATA TABLE

LOT #	LOT AREA (SF)	LOT AREA (AC.)	BUILDING AREA (SF)	DRIVEWAY (SF)	TOTAL IMPERVIOUS (SF)	ISR (%)	OPEN SPACE AREA (SF)	LOT FRONTAGE (LF)
LOT 1	5,515	0.127	1,500	800	2,300	41.7	3,215	52.97
LOT 2	5,330	0.122	1,500	770	2,270	42.6	3,060	52.03
LOT 3	5,017	0.115	1,500	580	2,080	41.5	2,937	50.45
LOT 4	7,351	0.169	1,500	630	2,130	29.0	5,221	50
LOT 5	7,376	0.169	1,830	630	2,460	33.4	4,916	50
LOT 6	9,176	0.211	1,500	630	2,130	23.2	7,046	60
LOT 7	8,600	0.197	1,500	515	2,015	23.4	6,585	72.85
LOT 8	7,891	0.181	1,500	515	2,015	25.5	5,876	69.08
LOT 9	9,830	0.226	1,830	650	2,480	25.2	7,350	60.56
TOTAL SITE COVERAGE SUMMARY			14,160	5,720	19,880			
LOT 10	3,873	0.089	STORMWATER DETENTION POND, COMMON AREA					

LEGEND

REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.

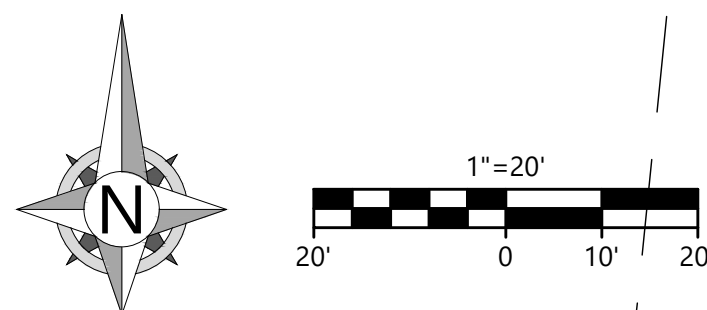
	NEW SIDEWALK
	NEW PROPERTY LINE
	RIGHT OF WAY LINE
	INGRESS/EGRESS EASEMENT
	NEW PARCEL POINT OF COMMENCEMENT
	BUILDING SETBACK LINES

ISSUE DATE
08-29-2025

PROJECT NUMBER
FL7060-0008

SHEET TITLE
SITE PLAN

SHEET NUMBER
C3.0



CONTRACTOR TO RELOCATE THE EXISTING MES AS PROPOSED. ENSURE THE INVERT ELEVATION IS SET BELOW THE BOTTOM OF THE SWALE TO PREVENT PONDING.

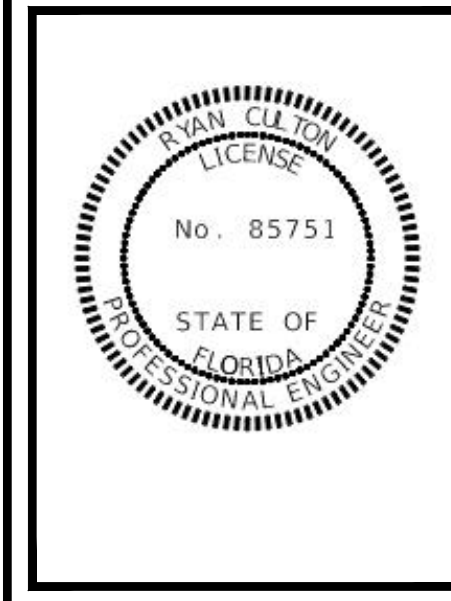


SPECIAL NOTE:
A STEM WALL FOUNDATION IS PROPOSED FOR LOTS 3, 4, 5, AND 6. THE CONTRACTOR SHALL REVIEW THE ARCHITECTURAL AND STRUCTURAL PLANS FOR SPECIFIC DETAILS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE SITE IS GRADED AWAY FROM THE BUILDING, WITH GRADING SLOPES NOT EXCEEDING A 3:1 RATIO.

SPECIAL NOTE:
CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT ENGINEER WITH ANY CONFLICTS.

SPECIAL NOTE:
CONTRACTOR SHALL FIELD VERIFY PROPOSED GRADES MATCH EXISTING PAVEMENT AT DRIVEWAY ENTRANCES, SIDEWALK CONNECTIONS, AND ALL CONNECTION POINTS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF DISCREPANCY OCCURS.

NWFWMDC STORMWATER COMPLIANCE NOTE:
PRIOR TO APPROVAL OF ANY FUTURE CONSTRUCTION AUTHORIZATION, THE PORTIONS OF THE DRIVEWAYS LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ALONG WITH THE SIDEWALK SHALL BE ROUTED TO THE ON-SITE STORMWATER MANAGEMENT SYSTEM FOR WATER QUALITY TREATMENT. CONTRACTOR TO ENSURE ALL ROOF RUNOFF FROM PROPOSED STRUCTURES SHALL BE CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM IN ACCORDANCE WITH CHAPTER 62-330.301(1), F.A.C.



ENGINEER OF RECORD
RYAN CULTON, PE
#85751

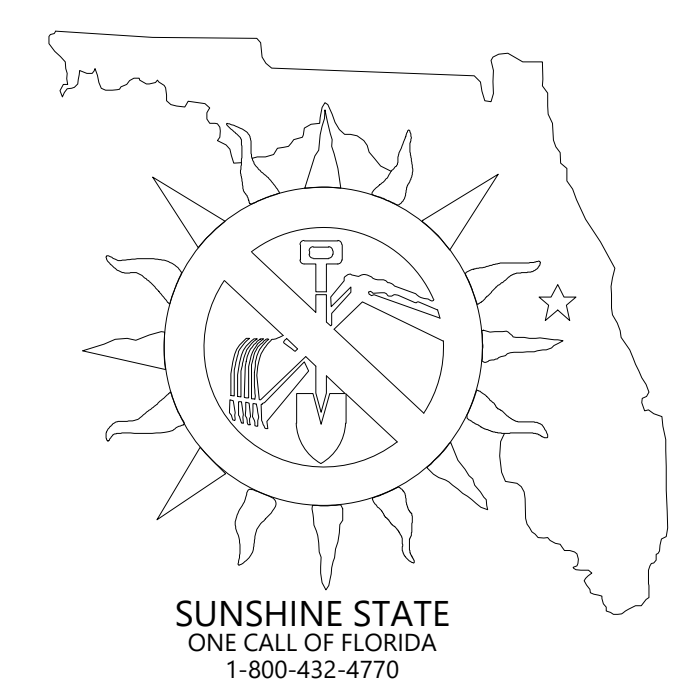
NO.	DATE	DESCRIPTION	BY	CHK	APP
1	08/29/2025	CIVIL ENGINEERING PLANS			
2	11/03/2025	CITY COMMENTS - FIRST REVIEW			
3	12/05/2025	NWFWMDC COMMENTS - FIRST REVIEW			
4	12/10/2025	CITY COMMENTS - 2ND REVIEW			
5	01/19/2026	CITY COMMENTS - 3RD REVIEW			

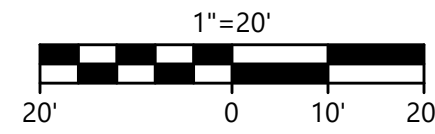
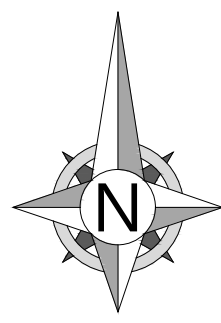
CIVIL PLANS
VAN AVENUE SUBDIVISION
VAN AVENUE, DEFUJAK SPRINGS, FL 32433
25-3N-19-19070-001-624J

HABITAT FOR HUMANITY
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459

LEGEND		
REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL		
---	EXISTING GRADE LINES	
---	PROPOSED NEW GRADE LINES	
■	DRAINAGE AREA	
35.5 TC	NEW SPOT ELEVATIONS LIST	
	GRADE	NONE
	TOP OF SIDEWALK	TS
	TOP OF WALL	TW
	BOTTOM OF WALL	BW
	TOP OF CURB	TC
	TOP OF PAVEMENT	PVT
	NEW GRADE	GD
	CONCRETE	CONC
	EXISTING TOP OF CURB	ETC
	EXISTING GRADE	EGD
	EXISTING PAVEMENT	EPVT
	EXISTING SIDEWALK	ESW
	FLOW LINE	FL
	TOP OF BERM	TOP
	TOP OF DRAINAGE STRUCTURE	TDS

ISSUE DATE	08-29-2025
PROJECT NUMBER	FL7060-0008
SHEET TITLE	GRADING & DRAINAGE PLAN
SHEET NUMBER	C4.0

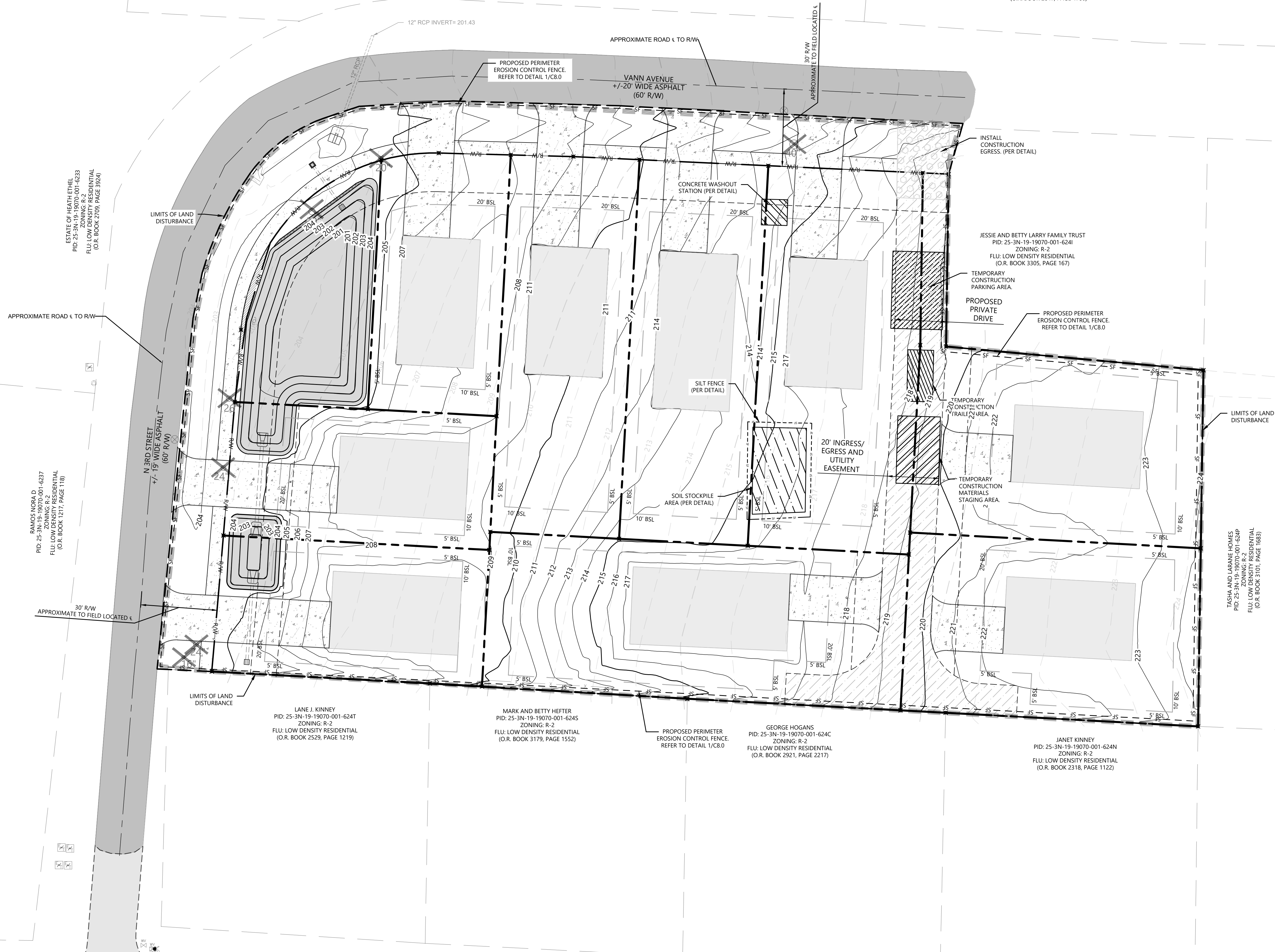




BRENDA HOLT AND ALINA OSBORN
PID: 25-3N-19-19070-001-624G
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 3278, PAGE 2036)

MATTHEW JEROME ASH
PID: 25-3N-19-19070-001-624J
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2847, PAGE 4780)

MATTHEW JEROME ASH
PID: 25-3N-19-19070-001-624F
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2847, PAGE 4780)



CONSTRUCTION STATEMENT:

1. THE APPROVED 10-2 PERMIT WILL BE SUBMITTED WHEN OBTAINED AND PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL PROVIDE THE COUNTY ENGINEER A COPY OF THE NPDES PERMIT PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES AS REQUIRED BY FDEP'S NPDES PROGRAM.

EROSION CONTROL NOTE:

1. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
2. PERIMETER SILT FENCING AT CONSTRUCTION LIMITS MAYBE ADJUSTED BY THE INSPECTOR DISCRETION.
3. PLEASE REFER TO THE CITY OF DEFUNIAK SPRINGS'S LATEST STANDARD AND CONSTRUCTION SPECIFICATIONS.

LAND DISTURBANCE SUMMARY:

TOTAL PROPERTY AREA = 1.608 ACRES
TOTAL DRAINAGE AREA = 2.28 ACRES
TOTAL DISTURBED AREA = 1.827 ACRES
TOTAL AREA OF DISTURBANCE IS GREATER THAN 1.0 ACRES, NOI REQUIRED.

BMP LEGEND	
REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND AND SITE CONTROL.	
--- 35 ---	EXISTING GRADE LINES
--- 35 ---	PROPOSED NEW GRADE LINES
---	LIMITS OF DISTURBED AREA
---	SILT FENCE



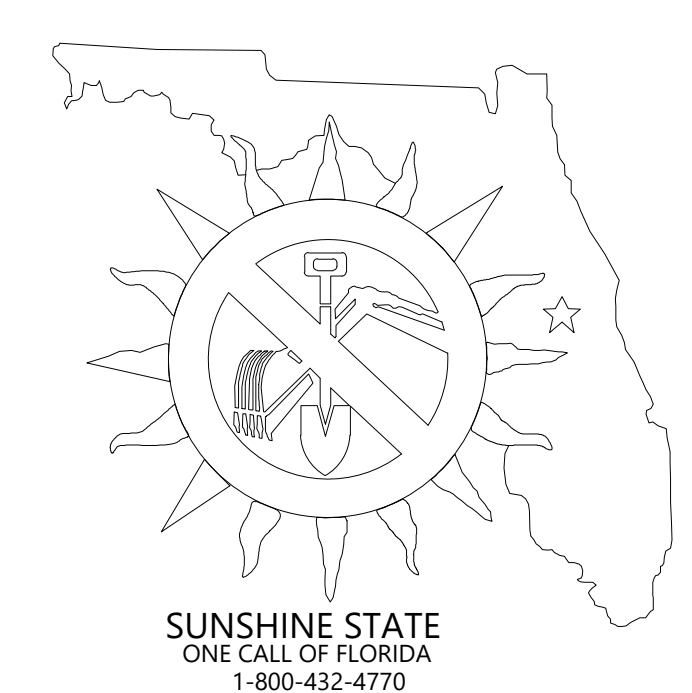
495 GRAND BOULEVARD
SUITE 206
MIRAMAR BEACH, FL 32550
850-446-4365



ENGINEER OF RECORD
RYAN CULTON, PE
#85751

NO.	DATE	DESCRIPTION	BY	CHK	APP
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CIVIL PLANS
VAN AVE SUBDIVISION
VANN AVE, DEFUNIAK SPRINGS, FL 32433
25-3N-19-19070-001-624J
HABITAT FOR HUMANITY
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459



SPECIAL NOTE:
PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES: FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.

ISSUE DATE
08-29-2025

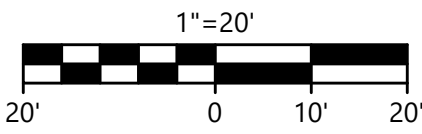
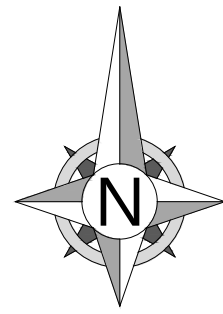
PROJECT NUMBER
FL7060-0008

SHEET TITLE

EROSION CONTROL PLAN

SHEET NUMBER

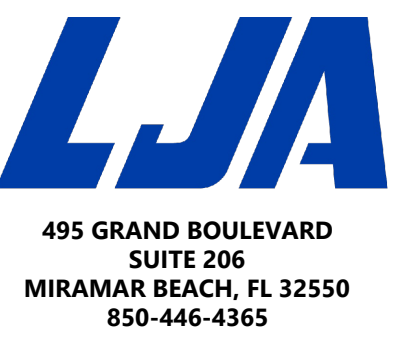
C5.0



SPECIAL NOTE:
CONTRACTOR IS RESPONSIBLE FOR ALL PUBLIC UTILITY CONNECTIONS (ELECTRIC, WATER, GAS, SEPTIC, SEWER) AS WELL AS PROVIDING ALL INFRASTRUCTURE REQUIRED BY UTILITY COMPANIES.

SPECIAL NOTE:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

SPECIAL NOTE:
PRIOR TO BEGINNING ANY SITE WORK & ORDERING OF MATERIALS, CONTRACTOR SHALL FIELD VERIFY ALL UTILITY & DRAINAGE CONNECTIONS TO EXISTING SYSTEMS BY POT HOLING AND SHALL NOTIFY ENGINEER OF NEEDED CHANGES; FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL REVISION COSTS AND DELAYS.

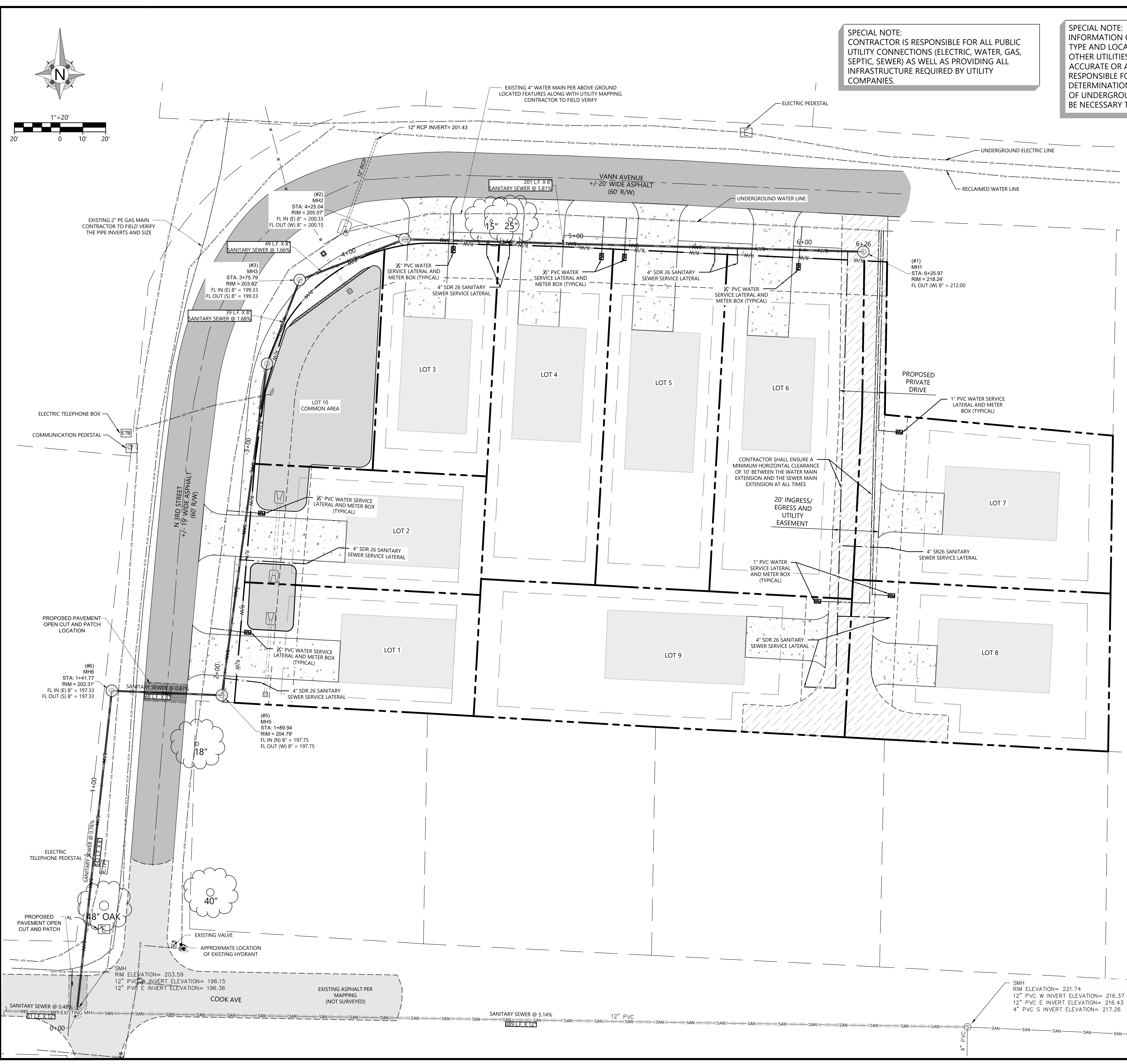


ENGINEER OF RECORD
RYAN CULTON, PE
#85751

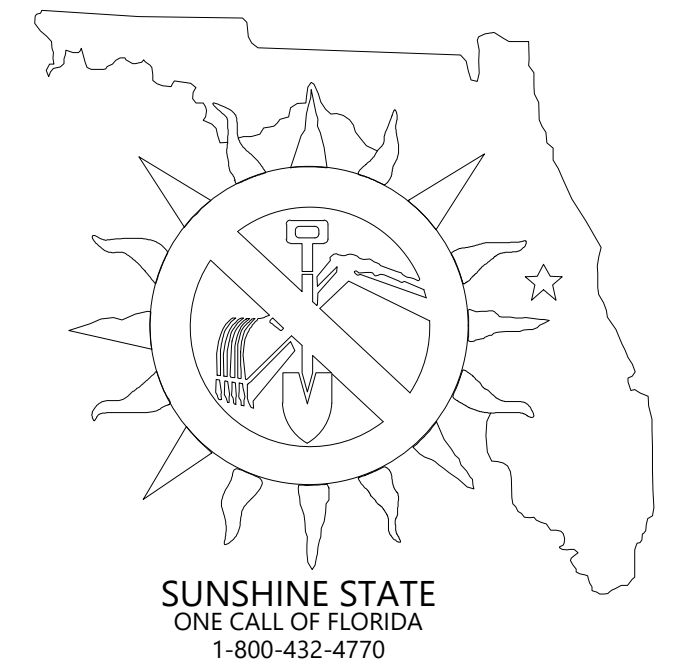
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CIVIL PLANS
VAN AVENUE SUBDIVISION
VAN AVENUE, DEFUNIAK SPRINGS, FL 32433
25-3N-19-19070-001-624J

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- UTILITY SEPARATION AND FIELD VERIFICATION NOTE:**
1. A MINIMUM HORIZONTAL SEPARATION OF SIX (6) FEET, MEASURED OUTSIDE-TO-OUTSIDE, SHALL BE MAINTAINED BETWEEN THE PROPOSED 8" PVC GRAVITY SEWER AND THE EXISTING 4" PVC POTABLE WATER MAIN, IN ACCORDANCE WITH F.A.C. 62-555.314, F.A.C. 62-604.400, AND THE CITY OF DEFUNIAK SPRINGS LAND DEVELOPMENT CODE (LDC).
 2. IF THE CONTRACTOR IDENTIFIES ANY ADDITIONAL LOCATIONS DURING CONSTRUCTION WHERE THE HORIZONTAL SEPARATION BETWEEN THE SEWER AND WATER MAIN IS LESS THAN SIX (6) FEET, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. STANDARD PVC GRAVITY SEWER SHALL NOT BE INSTALLED IN SUCH AREAS. THE CONTRACTOR SHALL INSTALL 8" PVC C900 DR18 PRESSURE-RATED PIPE FOR THE FULL LENGTH OF THE CONFLICT AREA PLUS A MINIMUM OF TEN (10) FEET BEYOND EACH SIDE AS DIRECTED BY THE ENGINEER OF RECORD.
 3. AT ALL WATER-SEWER CROSSINGS, THE EXISTING POTABLE WATER MAIN SHALL BE POSITIONED A MINIMUM OF EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER PIPE, MEASURED OUTSIDE-TO-OUTSIDE, IN ACCORDANCE WITH FDEP REQUIREMENTS. THE CONTRACTOR SHALL FIELD VERIFY THE ACTUAL ELEVATION OF THE WATER MAIN, IF THE REQUIRED VERTICAL SEPARATION CANNOT BE ACHIEVED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD FOR DIRECTION.
 4. THE DESIGN ASSUMES THAT THE EXISTING 4" PVC WATER MAIN IS INSTALLED AT AN APPROXIMATE DEPTH OF THIRTY-SIX (36) INCHES BELOW GROUND. THE CONTRACTOR SHALL CONFIRM THE ACTUAL DEPTH BY SOFT-DIG OR POTHOLING.
 5. ANY PROPOSED SANITARY SEWER MANHOLE LOCATED WITHIN SIX (6) FEET OF THE EXISTING POTABLE WATER MAIN SHALL BE CONSTRUCTED AS A WATERTIGHT STRUCTURE. THIS INCLUDES A GASKETED FRAME AND COVER, GASKETED OR SEALED JOINTS, AND EXTERNAL WRAP OR INTERNAL JOINT SEAL SYSTEM. IF FIELD VERIFICATION DETERMINES THAT A MANHOLE CANNOT MAINTAIN THE REQUIRED SEPARATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD PRIOR TO INSTALLATION.
 6. THE LOCATION OF THE EXISTING 4" PVC WATER MAIN SHOWN ON THESE PLANS IS APPROXIMATE AND IS BASED ON SURFACE FEATURES AND VISUAL INDICATORS ONLY. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS ARE NOT GUARANTEED.
 7. PRIOR TO ANY EXCAVATION FOR THE PROPOSED SEWER, THE CONTRACTOR SHALL SOFT-DIG OR POTHOLE TO VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING WATER MAIN.
 8. IF FIELD-VERIFIED LOCATIONS OF THE WATER MAIN DIFFER FROM THOSE SHOWN ON THE PLANS, OR IF REQUIRED HORIZONTAL OR VERTICAL SEPARATIONS CANNOT BE MET, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD. NO SEWER INSTALLATION SHALL PROCEED UNTIL THE ENGINEER ISSUES CONFLICT RESOLUTION DIRECTION.



NEW UTILITIES SYMBOLS
(SYMBOLS APPLY ONLY WHEN USED ON DRAWINGS)

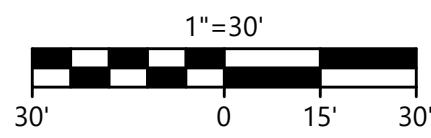
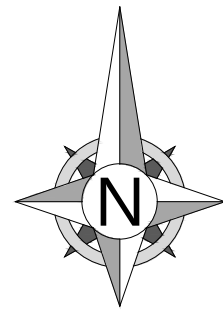
— W —	WATER SERVICE
— SAN —	SANITARY SEWER SERVICE
— UGE —	U/G ELECTRIC
— UGT —	U/G PHONE
— GAS —	U/G GAS SERVICE
— OHE —	OVERHEAD ELECTRIC
— OHT —	OVERHEAD PHONE
— FO —	FIBER OPTIC CABLE
— WM —	3/4" WATER METER

ISSUE DATE
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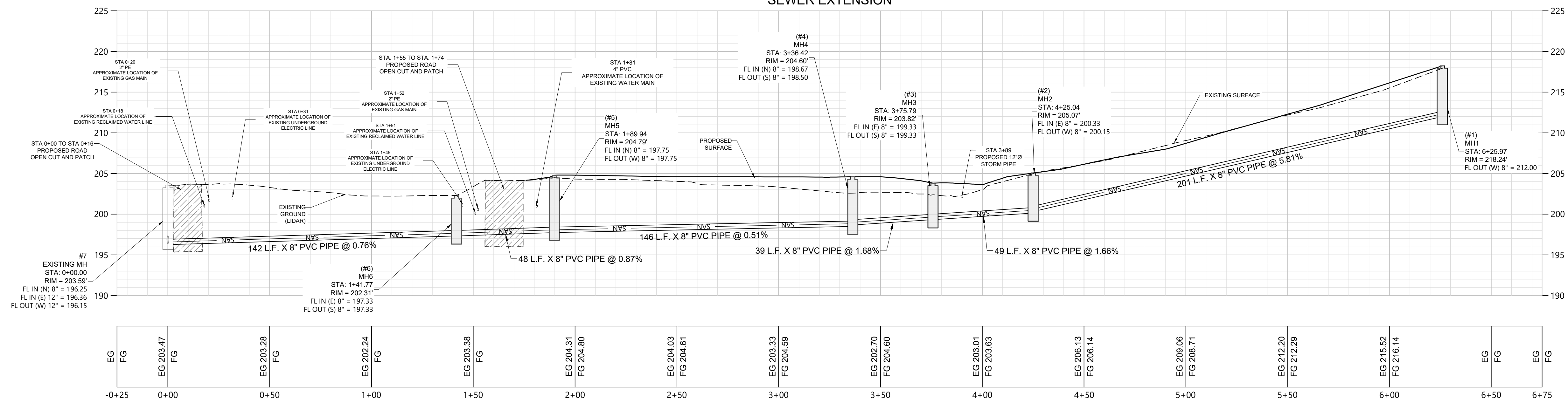
PROJECT NUMBER
FL7060-0008

SHEET TITLE
UTILITY PLAN

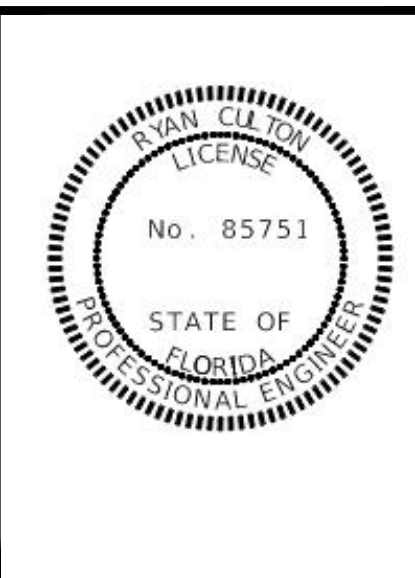
SHEET NUMBER
C6.0



SEWER EXTENSION



STRUCTURE TABLE			
STRUCTURE NAME	INVERT ELEVATIONS	TOP ELEVATION	SUMP ELEVATION
EXISTING MH	Pipe #6 INV IN = 196.25 EXISTING PIPE E INV IN = 196.36 EXISTING PIPE W INV OUT = 196.15	203.6	196.15
MH1	Pipe #1 INV OUT = 212.00	218.2	211.50
MH2	Pipe #1 INV IN = 200.33 Pipe #2 INV OUT = 200.15	205.1	199.65
MH3	Pipe #2 INV IN = 199.33 Pipe #3 INV OUT = 199.33	203.8	198.83
MH4	Pipe #3 INV IN = 198.67 Pipe #4 INV OUT = 198.50	204.6	198.00
MH5	Pipe #4 INV IN = 197.75 Pipe #5 INV OUT = 197.75	204.8	197.25
MH6	Pipe #5 INV IN = 197.33 Pipe #6 INV OUT = 197.33	202.3	196.83



ENGINEER OF RECORD
RYAN CULTON, PE
#85751

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			NAME	DATE	NAME	DATE	NAME	DATE
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CIVIL PLANS
VAN AVENUE SUBDIVISION
VAN AVENUE, DEFUJIAK SPRINGS, FL 32433
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HABITAT FOR HUMANITY
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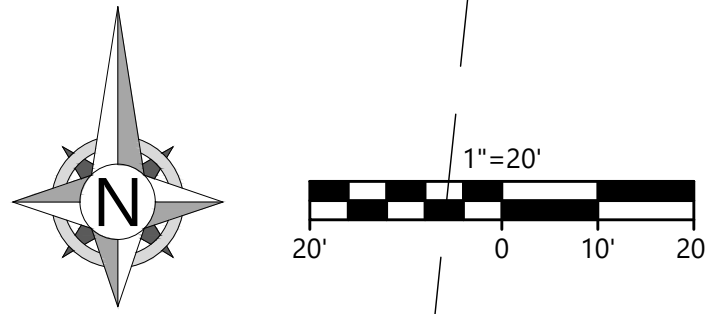
PROJECT NUMBER
FL7060-0008

SHEET TITLE

SEWER PROFILE VIEW

SHEET NUMBER

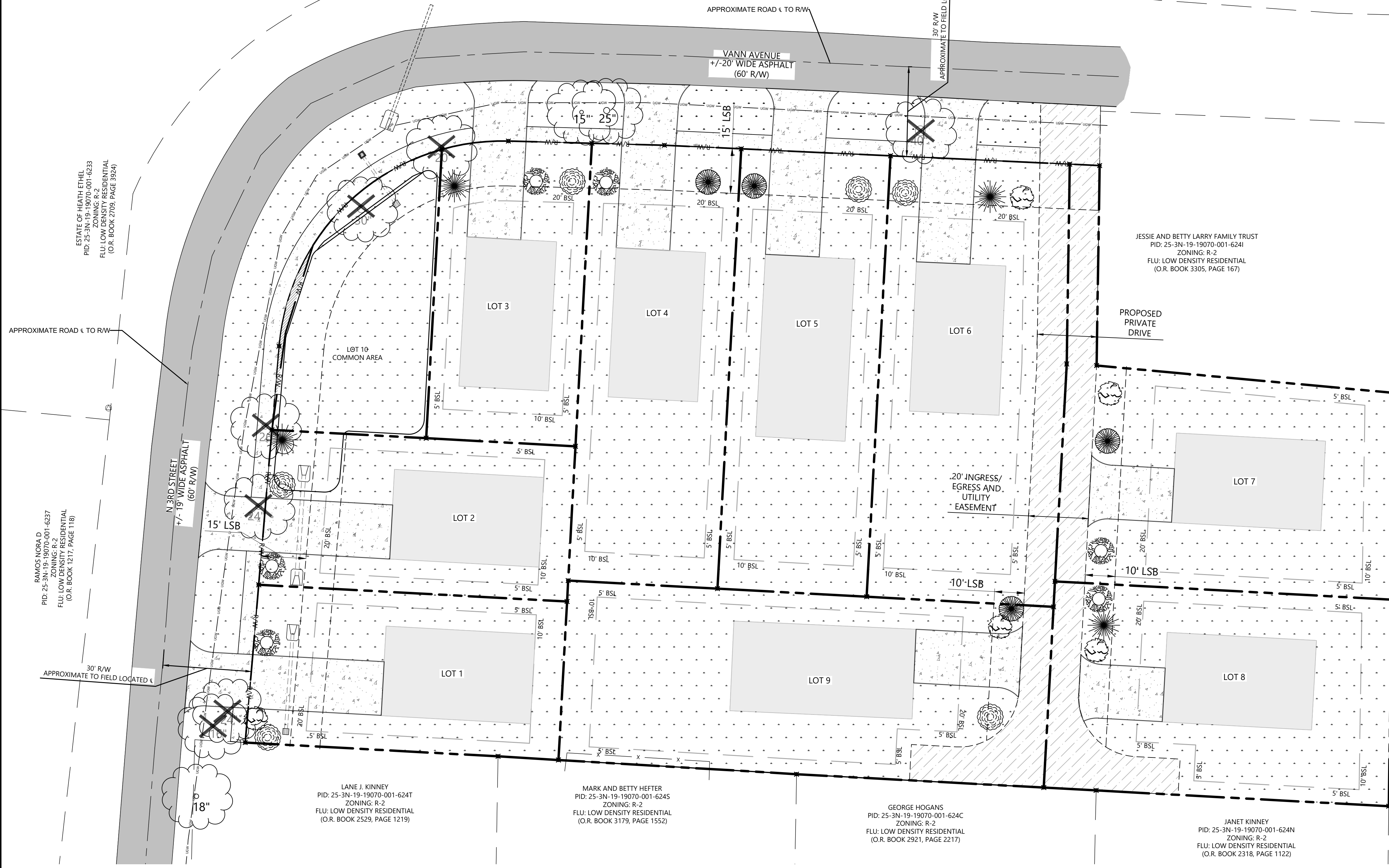
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BRENDA HOLT AND ALINA OSBORN
PID: 25-3N-19-19070-001-624G
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 3278, PAGE 2036)

MATTHEW JEREME ASH
PID: 25-3N-19-19070-001-624H
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2847, PAGE 4780)

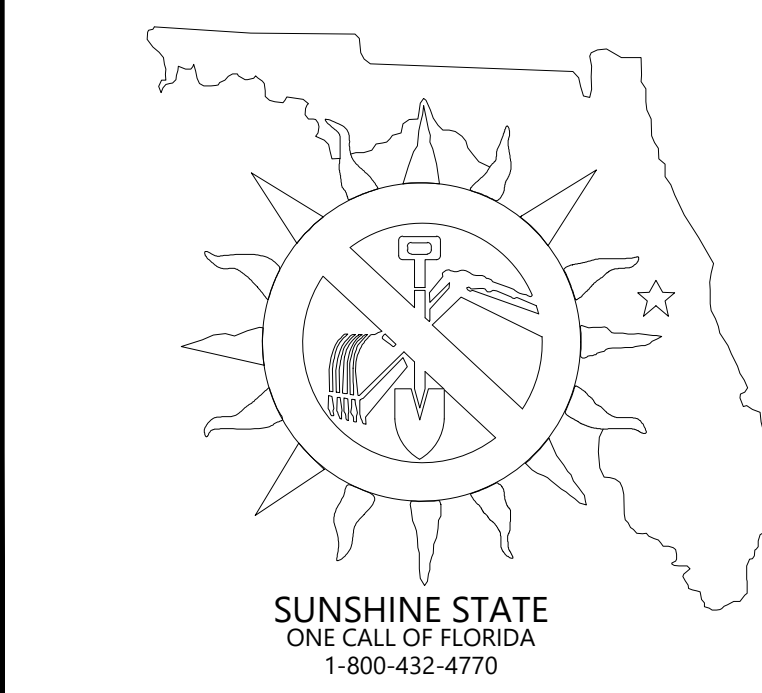
MATTHEW JEREME ASH
PID: 25-3N-19-19070-001-624F
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2847, PAGE 4780)



ESTATE OF HEATH ETHEL
PID: 25-3N-19-19070-001-6233
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2709, PAGE 3924)

BRANSA NORA D
PID: 25-3N-19-19070-001-6237
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 1617, PAGE 116)

LANE J. KINNEY
PID: 25-3N-19-19070-001-624T
ZONING: R-2
FLU: LOW DENSITY RESIDENTIAL
(O.R. BOOK 2529, PAGE 1219)



LOT #	LOT FRONTAGE (LF)	REQUIRED TREE QUANTITY	CRAPE MYRTLE (LAGERSTROEMIA INDICA)	RED BUCKEYE (AESCULUS PAVIA)	ASHE MAGNOLIA (MAGNOLIA ASHEI)	SILVERBELL (HALESIA CAROLINIANA)	MYRTLE OAK (QUERCUS MYRTIFOLIA)
LOT 1	52.97	3	X	X	X		
LOT 2	52.03	3	X	X			
LOT 3	50.45	3	X	X			
LOT 4	50	2	X			X	
LOT 5	50	2		X		X	
LOT 6	60	3		X	X	X	
LOT 7	72.85	3	X		X	X	
LOT 8	69.08	3	X		X	X	
LOT 9	60.56	3		X	X	X	
TOTAL PROPOSED QUANTITY		25					

- LANDSCAPE SUMMARY:**
- ROW FRONTAGE: 444.26 LF
 - REQUIRED STREET LANDSCAPE BUFFER: 5' WIDE
 - PROPOSED: 15' WIDE (10' UTILITY EASEMENT)
 - PROPOSED SMALL TREES WITHIN 15' OF UTILITIES
 - TOTAL TREE SPACING: 1 TREE PER 50 LF ON CENTER
 - TOTAL TREE QUANTITY REQUIRED: 444/50 = 8.88 = 9 TREES
 - PROPOSED STREET TREES: 16 TREES
 - 4.1.1. 4 CRAPE MYRTLE (LAGERSTROEMIA INDICA)
 - 4.1.2. 5 RED BUCKEYE (AESCULUS PAVIA)
 - 4.1.3. 2 ASHE MAGNOLIA (MAGNOLIA ASHEI)
 - 4.1.4. 3 SILVERBELL (HALESIA CAROLINIANA)
 - 4.1.5. 2 MYRTLE OAK (QUERCUS MYRTIFOLIA)
 - TREE SIZE AT PLANTING: MINIMUM 6 FEET HEIGHT (FLORIDA NO.1 GRADE)
 - PRESERVED PLANTING AREA PER TREE: 100 SF
 - LOT FRONTAGE PERIMETER PLANTING: MINIMUM 10' WIDE, 1 TREE/25 LF (50% SHADE TREES)
 - GROUND COVER: SOD OR APPROVED PERENNIAL GROUND COVER PER THE CITY'S LDC
 - MINIMUM DEVELOPMENT LANDSCAPE AREA: 20% OF TOTAL AREA

STREET TREES & GENERAL LANDSCAPING NOTES:

- STREET TREE REQUIREMENT:**
STREET TREES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF DEFUENIAK SPRINGS LAND DEVELOPMENT CODE. THE DEVELOPER SHALL PLANT ONE (1) SHADE TREE FOR EVERY FIFTY (50) LINEAR FEET OF RIGHT-OF-WAY WITHIN THE SUBDIVISION. TREES SHALL BE LOCATED WITHIN FIVE (5) FEET OF THE PROPERTY LINE AND OUTSIDE OF CLEAR SIGHT TRIANGLES AT INTERSECTIONS AND DRIVEWAYS.
- UTILITY CONFLICT ADJUSTMENT:**
BECAUSE A 10-FOOT UTILITY EASEMENT CONTAINING UNDERGROUND UTILITIES IS PROPOSED ALONG THE PROJECT RIGHT-OF-WAY, ALL TREES PLANTED WITHIN FIFTEEN (15) FEET OF UTILITIES SHALL BE SELECTED FROM THE APPROVED SMALL TREE LIST (MATURE HEIGHT ≤ 18 FEET).
- TREE SPECIES AND SIZE:**
ACCEPTABLE SMALL TREE SPECIES INCLUDE CRAPE MYRTLE (LAGERSTROEMIA INDICA), LOQUAT (ERIBOTRYA JAPONICA), WAX MYRTLE (MYRICA CERIFERA), RED BUCKEYE (AESCULUS PAVIA), AND SIMILAR APPROVED NATIVE OR LOW-MAINTENANCE SPECIES. ALL TREES SHALL BE A MINIMUM OF SIX (6) FEET IN OVERALL HEIGHT AT THE TIME OF PLANTING AND MEET FLORIDA NO. 1 GRADE OR BETTER PER THE GRADES AND STANDARDS FOR NURSERY PLANTS.
- PLANTING LAYOUT:**
STREET TREES SHALL BE PLANTED AT AN AVERAGE SPACING OF 50 FEET ON CENTER, ALTERNATING ALONG THE RIGHT-OF-WAY WHERE FEASIBLE. TREES SHALL BE PLACED A MINIMUM OF 5 FEET FROM SIDEWALKS, DRIVEWAYS, AND UTILITIES, MAINTAINING AT LEAST 100 SQUARE FEET OF PERVIOUS AREA AROUND EACH TREE.
- LANDSCAPE COVERAGE REQUIREMENT:**
A MINIMUM OF 20% OF THE TOTAL DEVELOPED AREA SHALL BE DEVOTED TO LANDSCAPE OR OPEN SPACE DEVELOPMENT, WHICH MAY INCLUDE STREET TREE AREAS, OPEN SPACE TRACTS, AND COMPATIBLE DRAINAGE FEATURES.
- FRONT PERIMETER LANDSCAPE STANDARD:**
A MINIMUM 10-FOOT-WIDE LANDSCAPE STRIP SHALL BE MAINTAINED BETWEEN THE FRONT PROPERTY LINE AND ANY VEHICULAR USE AREA, EXCEPT AT PERMITTED ACCESS POINTS. THIS AREA SHALL BE PLANTED WITH GRASS OR GROUND COVER AND ONE (1) TREE PER 25 LINEAR FEET OF FRONTAGE, WITH 50% OF TREES BEING SHADE SPECIES.
- GROUND COVER AND TURF:**
ALL NON-PAVED AND NON-WOODED AREAS SHALL BE SODDED OR PLANTED WITH PERENNIAL TURF GRASS OR GROUND COVER SUITABLE FOR LOCAL CONDITIONS. NATIVE AND DROUGHT-TOLERANT SPECIES ARE ENCOURAGED.
- TREE PROTECTION AND INSTALLATION:**
EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH THE TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- PROHIBITED USES IN LANDSCAPE AREAS:**
NO ACCESSORY STRUCTURES, TRASH RECEPTACLES, OR PARKING AREAS SHALL BE LOCATED WITHIN REQUIRED LANDSCAPE AREAS. LANDSCAPING MAY BE COMBINED WITH DRAINAGE FEATURES IF THE DESIGN MAINTAINS THE INTENDED VISUAL AND ENVIRONMENTAL BENEFITS.
- MAINTENANCE:**
ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN A HEALTHY, NEAT, AND ORDERLY CONDITION. DEAD OR DAMAGED PLANTS SHALL BE REPLACED WITHIN 30 DAYS OF IDENTIFICATION.

TREE SYMBOL	TREE NAME	TREE COUNT
	CREPE MYRTLE	6
	RED BUCKEYE	6
	ASHE MAGNOLIA	5
	SILVERBELL	4
	MYRTLE OAK	4
TOTAL PROPOSED TREES		25

	EXISTING OAK TREE
	OAK TREE TO BE REMOVED
	SOD
	CONCRETE



ENGINEER OF RECORD
RYAN CULTON, PE
#85751

NO.	DATE	DESCRIPTION	BY	CHK	APP
1	08/29/2025	CIVIL ENGINEERING PLANS			
2	11/03/2025	CITY COMMENTS - FIRST REVIEW			
3	12/05/2025	NFWMD COMMENTS - FIRST REVIEW			
4	12/10/2025	CITY COMMENTS - 2ND REVIEW			
5	01/19/2026	CITY COMMENTS - 3RD REVIEW			

CIVIL PLANS
VAN AVE SUBDIVISION
VAN AVE, DEFUENIAK SPRINGS, FL 32433
25-3N-19-19070-001-624J
HABITAT FOR HUMANITY
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459

ISSUE DATE
08-29-2025
PROJECT NUMBER
FL7060-0008
SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
C7.0

REQUIRED LANDSCAPING:

- (b) STREET TREES.
- (1) THE DEVELOPER SHALL PLANT, WITHIN FIVE (5) FEET OF THE PROPERTY LINE WITHIN A RESIDENTIAL DEVELOPMENT, ONE (1) SHADE TREE FOR EVERY FIFTY (50) LINEAR FEET OF RIGHT-OF-WAY. EXCEPT WHERE PROPERTY ON ONE (1) SIDE OF THE RIGHT-OF-WAY IS NOT OWNED BY THE DEVELOPER, THE TREES SHALL BE PLANTED ALTERNATELY ON EITHER SIDE OF THE STREET, EXISTING TREES AND NATIVE TREE SPECIES THAT NEED LESS WATER AND MAINTENANCE ARE PREFERRED.
- (2) TREES PLANTED PURSUANT TO THIS SECTION, WHICH WOULD BE PLANTED WITHIN A SPACE OF FIFTEEN (15) FEET OF EITHER SIDE OF OVERHEAD OR UNDERGROUND UTILITIES SHALL BE SELECTED FROM THE APPROVED SMALL TREE LIST BELOW (SMALL TREES HAVE A HEIGHT AT MATURITY OF EIGHTEEN (18) FEET OR LESS) AND SHALL HAVE A MINIMUM OVERALL HEIGHT OF SIX (6) FEET AT THE TIME OF PLANTING. TREES WHICH CAN BE PLANTED IN AREAS FIFTEEN (15) FEET OR MORE FROM EITHER SIDE OF OVERHEAD OR UNDERGROUND UTILITIES OR ON THE OPPOSITE SIDE OF THE STREET FROM THE OVERHEAD OR UNDERGROUND UTILITIES SHALL BE SELECTED FROM THE APPROVED LIST OF CANOPY TREES BELOW AND SHALL HAVE A MINIMUM OVERALL HEIGHT OF SIX (6) FEET AT TIME OF PLANTING. THE WALTON COUNTY COOPERATIVE EXTENSION SERVICE SHOULD BE CONSULTED IN SELECTING APPROPRIATE TREE SPECIES AND PLANTING PROCEDURES. EXISTING TREES AND NATIVE TREE SPECIES THAT NEED LESS WATER AND MAINTENANCE ARE PREFERRED.

SMALL TREE REPLANT LIST		
1	CREPE MYRTLE	LAGERSTROEMIA INDICA
2	GLOSSY PRIVET	LIGUSTRUM LUCIDUM
3	LOQUAT	ERIBOTRYA JAPONICA
4	RED BUCKEYE	AESULUS PAVIA
5	HAWTHORNS	CRATEAGUS SPP.
6	SILVERBELL	HALESIA COROLINIANA
7	ASHE MAGNOLIA	MAGNOLIA ASHEI
8	CRAB APPLE	MALUS ANGUSTIFOLIA
9	FLATWOODS PLUM	PRUNUS UMBELLATE
10	HOPTREE	PTELEA TRIFOLIATA
11	MYRTLE OAK	QUERCUS MYRTIFOLIA
12	SILKY CAMELIA	STEWARTIA MALACODENDRON
13	RUSTY BLACKHAW	VIRBURNUM RUFIDULUM
14	FRINGE TREE	CHIONANTHUS VIRGINICUS
15	WAX MYRTLE	MYRICA CERIFERA

USE OF REQUIRED AREAS. NO ACCESSORY STRUCTURES, GARBAGE OR TRASH COLLECTION POINTS OR RECEPTACLES, PARKING, OR ANY OTHER FUNCTIONAL USE CONTRARY TO THE INTENT AND PURPOSE OF THIS ARTICLE SHALL BE PERMITTED IN A REQUIRED LANDSCAPE AREA. THIS DOES NOT PROHIBIT THE COMBINING OF COMPATIBLE FUNCTIONS SUCH AS LANDSCAPING AND DRAINAGE FACILITIES.

(d) WALLS OR FENCES: ANY WALL SHALL BE CONSTRUCTED IN A DURABLE FASHION WITH A FINISHED SURFACE OF BRICK, STONE, WOOD, METAL, OR OTHER DECORATIVE MATERIAL APPROVED BY THE CITY.

(1) FENCES SHALL BE CONSTRUCTED IN A DURABLE FASHION WITH WEATHER RESISTANT WOOD AND BE OF A CONSISTENT PATTERN. ALL MATERIALS USED IN THE CONSTRUCTION OF A FENCE SHALL BE DESIGNED AND INTENDED FOR SUCH USE. NOTWITHSTANDING THE FOREGOING, THE COUNTY MAY APPROVE A BUFFER FENCE CONSTRUCTED OF OTHER MATERIALS PROVIDED THE MATERIALS AND FINISH WILL PROVIDE GENERALLY THE SAME DEGREE OF OPACITY, DURABILITY, AND AESTHETIC COMPATIBILITY WITH ADJOINING RESIDENTIAL AREAS AS WEATHER RESISTANT WOOD. A FINISHED SIDE OF ALL WALLS OR FENCES SHALL FACE THE COMMON PROPERTY LINE BOUNDARY. NO WALL OR FENCE USED FOR SCREENING PURPOSES SHALL BE LESS THAN SIX (6) FEET NOR GREATER THAN EIGHT (8) FEET IN HEIGHT ABOVE GRADE. ALL WALLS OR FENCES USED FOR SCREEN PURPOSES SHALL BE GENERALLY OPAQUE AT A DISTANCE OF TEN (10) FEET.

(e) BERMS: ALL BERMS SHALL BE PLANTED WITH BOTH SHRUBS AND GROUND COVERS TO LEAVE NO CLEARANCE AREA. ALL SHRUBS SHALL BE A SPECIES THAT CAN BE EXPECTED TO MATERIALLY SCREEN THE DEVELOPMENT SITE WITHIN TWO (2) YEARS OF PLANTING. THE SLOPE OF A BERM SHALL BE OF A GRADE THAT IS SUITABLE FOR MAINTENANCE AND SOIL STABILITY WHILE TAKING INTO CONSIDERATION THE TYPE OF PLANTINGS AND GROUND COVER THAT WILL BE UTILIZED BY IN NO CASE SHALL A BERM BE LESS THAN THREE (3) FEET IN HEIGHT.

(ORD. NO. 881, § 18.80, 6-26-2017)

LANDSCAPE DEVELOPMENT STANDARDS:

TO ENSURE THE ATTAINMENT OF THE OBJECTIVES OF THIS ARTICLE, THE DESIGN AND INSTALLATION OF REQUIRED LANDSCAPING SHALL BE CONSISTENT WITH THE FOLLOWING STANDARDS UNLESS IT CAN BE DEMONSTRATED THAT THE ALTERNATIVES WILL MEET THE OBJECTIVES OF THIS ARTICLE. THE LANDSCAPE DEVELOPMENT STANDARDS CONTAINED HEREIN SHALL APPLY WHENEVER A LANDSCAPE PLAN IS REQUIRED.

(1) LANDSCAPE AREA REQUIREMENTS. ALL LAND USES NOT SPECIFICALLY EXEMPTED BY SECTION 18.78 HEREOF SHALL DEVOTE A MINIMUM OF TWENTY (20) PERCENT OF THE TOTAL DEVELOPED AREA TO LANDSCAPE DEVELOPMENT.

(2) PERIMETER REQUIREMENTS:

- a. FRONT PERIMETER LANDSCAPE AREAS. A MINIMUM OF TEN-FOOT WIDE STRIP OF LAND, LOCATED BETWEEN THE FRONT PROPERTY LINE AND THE VEHICULAR USE AREA SHALL BE LANDSCAPED ON ALL NEW CONSTRUCTION, EXCEPTED PERMITTED ACCESSWAYS. WIDTH OF SIDEWALKS SHALL NOT BE INCLUDED WITHIN THE TEN-FOOT WIDE FRONT SETBACK PERIMETER LANDSCAPE AREA.
- b. MATERIAL REQUIREMENTS IN PERIMETER AREA:

1. TREE COUNT. THE TOTAL TREE COUNT REQUIREMENT WITHIN THE FRONT SETBACK PERIMETER LANDSCAPE AREA SHALL BE DETERMINED BY USING A RATIO OF ONE (1) TREE FOR EACH TWENTY-FIVE (25) LINEAR FEET OF LOT FRONTAGE OR MAJOR PORTION THEREOF WITH FIFTY (50) PERCENT OF THE TREES BEING SHADE TREES.

2. GROUND COVER. GRASS OR OTHER GROUND COVER SHALL BE PLACED ON ALL AREAS WITHIN THE FRONT, OR OTHER LANDSCAPE AREAS NOT OCCUPIED BY OTHER LANDSCAPE MATERIAL.

(1) USE OF PERIMETER LANDSCAPE AREAS:

- a. OVERHANG AREAS. VEHICLES MAY OVERHANG NO MORE THAN TWO (2) FEET INTO PERIMETER LANDSCAPE AREAS.
- b. NO ACCESSORY STRUCTURES, GARBAGE OR TRASH COLLECTION POINTS OR RECEPTACLES, PARKING, OR ANY OTHER FUNCTIONAL USE CONTRARY TO THE INTENT AND PURPOSE OF THIS ARTICLE SHALL BE PERMITTED IN A REQUIRED LANDSCAPE AREA. THIS DOES NOT PROHIBIT THE COMBINING OF COMPATIBLE FUNCTIONS SUCH AS LANDSCAPING AND DRAINAGE FACILITIES.

(1) TREE PROTECTION DURING CONSTRUCTION OF THE DEVELOPMENT ACTIVITY. DURING DEVELOPMENT ACTIVITY PRESERVED TREES SHALL BE PROTECTED FROM ACTIVITIES WHICH MAY INJURE OR KILL THEM. TREE PROTECTION TECHNIQUES FOUND IN THE "TREE PROTECTION MANUAL FOR BUILDERS AND DEVELOPERS," FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF FORESTRY, OR EQUIVALENT TECHNIQUES SHOULD BE USED.

(2) PLANT MATERIAL STANDARDS:

a. UNLESS OTHERWISE PROVIDED HEREIN, ONLY FLORIDA NO. 1 OR BETTER PLANT MATERIAL AS DESCRIBED IN "GRADES AND STANDARDS FOR NURSERY PLANTS, PART I, 1963" AND "PART II," STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE, TALLAHASSEE, SHALL BE CREDITED ON THE LANDSCAPE DEVELOPMENT REQUIREMENTS OF THIS ARTICLE.

b. PORTIONS OF A DEVELOPED AREA LEFT IN THE NATURAL STATE SHALL BE CREDITED TOWARD THE LANDSCAPE DEVELOPMENT REQUIREMENTS OF SECTION 18.80.

c. TREES SHALL BE SUBJECT TO THE FOLLOWING:

1. HEIGHT. TREES SHALL HAVE A MINIMUM HEIGHT OF SIX (6) FEET AT THE TIME OF PLANTING.
2. PLANTING AREA. THE PLANTING AREA FOR EACH TREE SHALL BE A MINIMUM OF ONE HUNDRED (100) SQUARE FEET AROUND THE TRUNK OF THE TREE AND SHALL BE MAINTAINED IN EITHER VEGETATIVE LANDSCAPE MATERIAL OR PVIOUS SURFACE COVER.

d. GROUND COVER, LAWN GRASSES, SYNTHETIC PLANT MATERIAL, AND ARCHITECTURAL PLANTERS SHALL BE SUBJECT TO THE FOLLOWING:

1. LAWN GRASSES. LAWN GRASSES SHALL BE PERENNIAL SPECIES CAPABLE OF THRIVING IN DEFUNIAK SPRINGS, FLORIDA.
- i. LAWN GRASSES AND GROUND COVER PLANTED FOR CREDIT ON THE LANDSCAPING REQUIREMENTS SHALL BE PERENNIAL SPECIES CAPABLE OF THRIVING IN DEFUNIAK SPRINGS, FLORIDA.

ii. GRASSES MAY BE SODDED, SPRIGGED, PLUGGED OR SEEDED, EXCEPT THAT SOLID SOD SHALL BE USED IN SWALES OR OTHER AREAS SUBJECT TO EROSION.

e. SYNTHETIC PLANT MATERIAL. NO CREDIT SHALL BE GRANTED FOR USE OF ARTIFICIAL PLANT MATERIAL.

1. ARCHITECTURAL PLANTERS. CREDIT SHALL BE GIVEN FOR USE OF PERMANENT ARCHITECTURAL PLANTERS WHICH MEET THE FOLLOWING CRITERIA:

- i. ARCHITECTURAL PLANTERS FOR SHRUBS SHALL HAVE A PLANTING AREA OF NOT LESS THAN TEN (10) SQUARE FEET AND A DEPTH OF NOT LESS THAN EIGHTEEN (18) INCHES.
- ii. ARCHITECTURAL PLANTERS FOR TREES SHALL HAVE A PLANTING AREA OF NOT LESS THAN TWELVE (12) SQUARE FEET AND A DEPTH OF NOT LESS THAN FOUR (4) FEET.

(1) SITE PREPARATION STANDARDS. TO THE EXTENT THAT IS FEASIBLE, THE PERFORMANCE OF DEVELOPMENT ACTIVITIES AND REVEGETATION OF ALTERED SITES SHALL BE CONSISTENT WITH THE FOLLOWING STANDARDS:

- a. DEVELOPMENT SHALL NOT INVOLVE THE UNNECESSARY REMOVAL OF ANY NATIVE VEGETATION. WHERE REMOVAL OF NATIVE TREES IS NECESSARY, EFFORTS SHOULD BE MADE TO TRANSPLANT SUCH TREES.
- b. SITE ALTERATION SHALL OCCUR IN PLANNED STAGES OR INCREMENTS AND NOT EXCEED THE MINIMUM AREA NECESSARY TO PREPARE THE SITE FOR THE SUCCEEDING PHASE OF DEVELOPMENT.
- c. ADEQUATE EROSION CONTROL MEASURES SHALL BE PUT INTO EFFECT PRIOR TO COMMENCING SITE ALTERATION ON EACH INCREMENT.

(ORD. NO. 881, § 18.81, 6-26-2017)

MAINTENANCE, PRESERVATION, AND USE STANDARDS:

MAINTENANCE:

- (1) ALL REQUIRED PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND VIABLE CONDITION.
- (2) STRUCTURAL ELEMENTS RELATING TO NON-LIVING LANDSCAPE MATERIAL SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.
- (3) RIGHT-OF-WAY LANDSCAPE AREAS INSTALLED BY THE DEVELOPER WILL BE MAINTAINED BY THE DEVELOPER.

(b) REPLACEMENT: DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN A TIME PERIOD APPROPRIATE TO THE GROWING SEASON OF THE SPECIES IN QUESTION, NOT EXCEEDING ONE (1) YEAR.

(c) USE OF LANDSCAPE AREA: NO REQUIRED LANDSCAPE AREA SHALL BE USED FOR PARKING OR FOR ACCESSWAY TO STRUCTURES, GARBAGE OR TRASH COLLECTION OR ANY FUNCTIONAL USES CONTRARY TO THE INTENT AND PURPOSES OF THIS ARTICLE.

(ORD. NO. 881, § 18.82, 6-26-2017)

INSTALLATION OF PLANTS:

1. ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASES AND PESTS, AND SHALL BE SELECTED FROM THE LIST OF APPROVED SPECIES BELOW. THE CITY MANAGER MAY AUTHORIZE THE USE OF AN APPROPRIATE SPECIES NOT SHOWN ON THE LISTS AND THEN SHALL ADD THE APPROPRIATE SPECIES TO THE LIST.

2. PLANTS SHALL BE INSTALLED DURING THE PERIOD OF THE YEAR MOST APPROPRIATE FOR PLANTING THE PARTICULAR SPECIES.

3. LANDSCAPING SHALL BE PROTECTED FROM VEHICULAR AND PEDESTRIAN ENCROACHMENT BY MEANS OF RAISED PLANTING SURFACES, DEPRESSED WALKS, CURBS, EDGES, AND THE LIKE.

4. THE LANDSCAPING SHALL NOT INTERFERE, AT OR BEFORE MATURITY, WITH POWER, CABLE TELEVISION, OR TELEPHONE LINES, SEWER OR WATER PIPES, OR ANY OTHER EXISTING OR PROPOSED OVERHEAD OR UNDERGROUND UTILITY SERVICE.

5. ALL PLANTS SHALL BE INSTALLED ACCORDING TO STANDARDS RECOMMENDED BY THE WALTON COUNTY COOPERATIVE EXTENSION SERVICE.

6. THE DEVELOPER SHALL PROVIDE SUFFICIENT SOIL AND WATER TO SUSTAIN HEALTHY GROWTH OF ALL PLANTS.

7. USE OF NATIVE PLANTS. FORTY (40) PERCENT OF THE TOTAL NUMBER OF INDIVIDUAL PLANTS USED TO SATISFY THE REQUIREMENTS OF THIS ARTICLE SHALL BE SELECTED FROM THE FOLLOWING LIST OF RECOMMENDED NATIVE SPECIES. THE REMAINING SIXTY (60) PERCENT OF THE LANDSCAPE MATERIAL SHALL BE COMPOSED OF NATIVE OR OTHER SPECIES, EXCEPT THOSE SPECIES PROHIBITED UNDER SUBSECTION E. OF THIS SECTION.

f. IRRIGATION. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN APPROPRIATE IRRIGATION SYSTEM THAT CONFORMS TO THE TECHNICAL CONSTRUCTION STANDARDS MANUAL. IF A LANDSCAPED AREA CONTAINS PRIMARILY SPECIES NATIVE TO THE IMMEDIATE REGION, OR PLANTS ACCEPTABLE FOR XERIC LANDSCAPING, THE PLANNING BOARD OR CITY MANAGER, AS APPLICABLE, MAY WAIVE THE REQUIREMENT FOR INSTALLATION OF AN IRRIGATION SYSTEM. CONSIDERATION OF A WAIVER OF THE IRRIGATION REQUIREMENT SHALL INCLUDE, IN ADDITION TO THE AREA COVERED BY NATIVE VEGETATION, SUCH LOCAL CONDITIONS AS SUN OR SHADE, USE OF FILL SOIL, AND DEPTH TO WATER TABLE.

g. NON-LIVING MATERIALS. MULCHES SHALL BE A MINIMUM DEPTH OF TWO (2) INCHES AND PLASTIC SURFACE COVERS SHALL NOT BE USED.

h. MAINTENANCE AND REPLACEMENT OF PLANTS.

1. ALL REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY, PEST-FREE CONDITION.

2. WITHIN SIX (6) MONTHS OF A DETERMINATION BY THE CITY MANAGER OR HIS/HER STAFF THAT A PLANT IS DEAD OR SEVERELY DAMAGED OR DISEASED, THE PLANT SHALL BE REPLACED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SPECIFIED IN THIS ARTICLE.

i. GROUPINGS REQUIRED. WHEN USING THE PINUS PALUSTRIS, ALSO KNOWN AS THE LONG LEAF PINE, THE PLANTING MUST BE AT THE GRASS STAGE. A SMALL GROUPING OF TWO (2) TO THREE (3) GRASS STAGE PINES ARE EQUAL TO ONE (1) LARGER TREE TO BE REPLACED. THE GRASS STAGE TAP ROOTS ARE SHORTER AND NORMALLY HAVE NOT "J" ROOTED IN THE CONTAINERS YET. THEREFORE THEY DEVELOP A TAP ROOT THAT GOES DEEPER ONCE PLANTED WHICH DEVELOPS INTO A MUCH STRONGER AND WIND RESISTANT TREE.

(ORD. NO. 881, § 18.83, 6-26-2017)

REMOVAL OF TREES AND NATIVE VEGETATION:

MAINTENANCE:

- (1) ALL REQUIRED PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND VIABLE CONDITION.
- (2) STRUCTURAL ELEMENTS RELATING TO NON-LIVING LANDSCAPE MATERIAL SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.
- (3) RIGHT-OF-WAY LANDSCAPE AREAS INSTALLED BY THE DEVELOPER WILL BE MAINTAINED BY THE DEVELOPER.

(b) REPLACEMENT: DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN A TIME PERIOD APPROPRIATE TO THE GROWING SEASON OF THE SPECIES IN QUESTION, NOT EXCEEDING ONE (1) YEAR.

(c) USE OF LANDSCAPE AREA: NO REQUIRED LANDSCAPE AREA SHALL BE USED FOR PARKING OR FOR ACCESSWAY TO STRUCTURES, GARBAGE OR TRASH COLLECTION OR ANY FUNCTIONAL USES CONTRARY TO THE INTENT AND PURPOSES OF THIS ARTICLE.

(ORD. NO. 881, § 18.82, 6-26-2017)



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850-446-4365



ENGINEER OF RECORD
RYAN C. CULTON, PE
#85751

NO.	DATE	BY	CHK	APV	CW		MFP	MFP	DESCRIPTION
					MFP	CW			
1	08/29/2025								CIVIL ENGINEERING PLANS CITY COMMENTS - FIRST REVIEW
	11/03/2025								

CIVIL PLANS
VAN AVENUE SUBDIVISION
VANN AVE, DEFUNIAK SPRINGS, FL 32433
25-3N-19-19070-001-624J

HABITAT FOR HUMANITY
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459

ISSUE DATE
08-29-2025

PROJECT NUMBER
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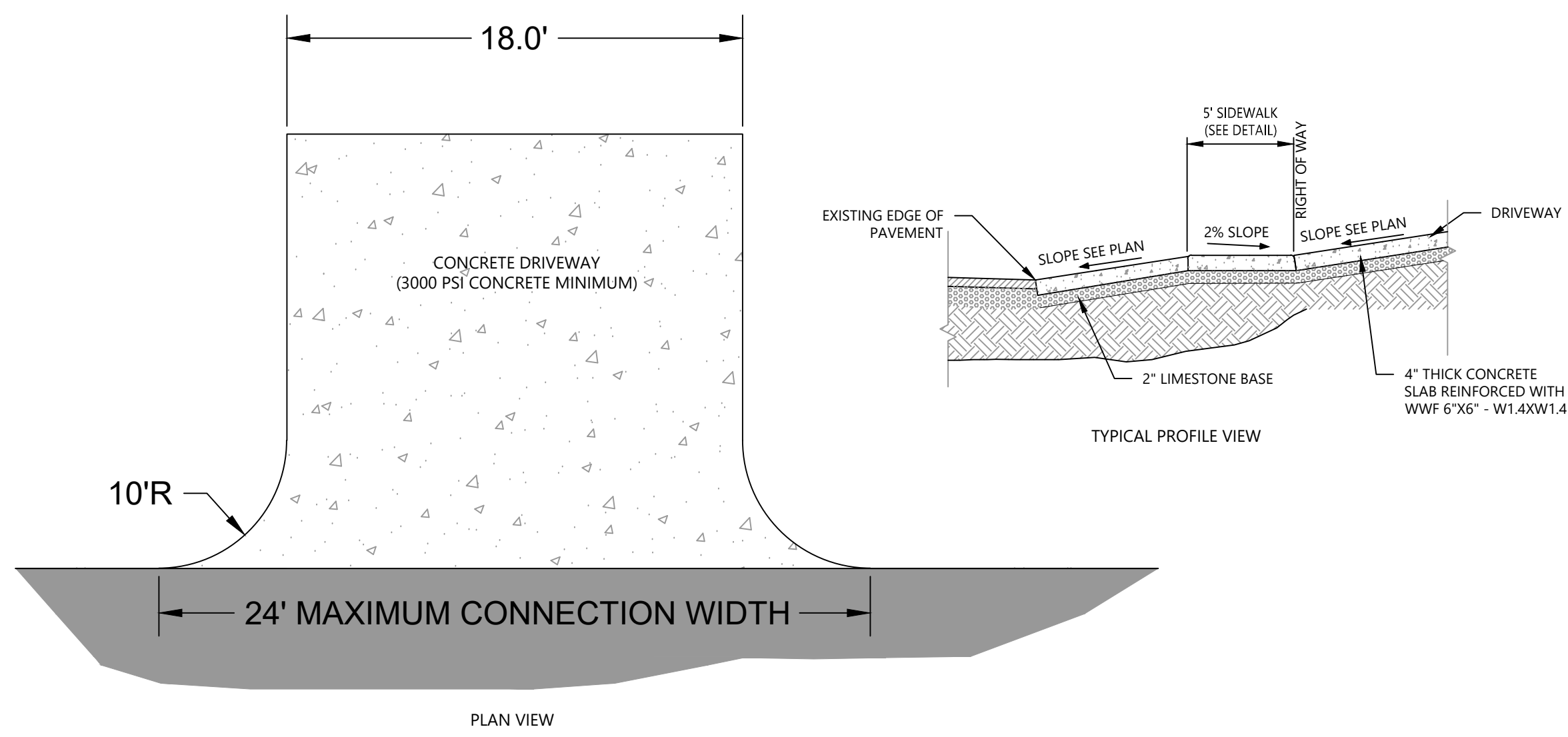
SHEET TITLE

LANDSCAPE
PLAN NOTES

SHEET NUMBER

C7.1

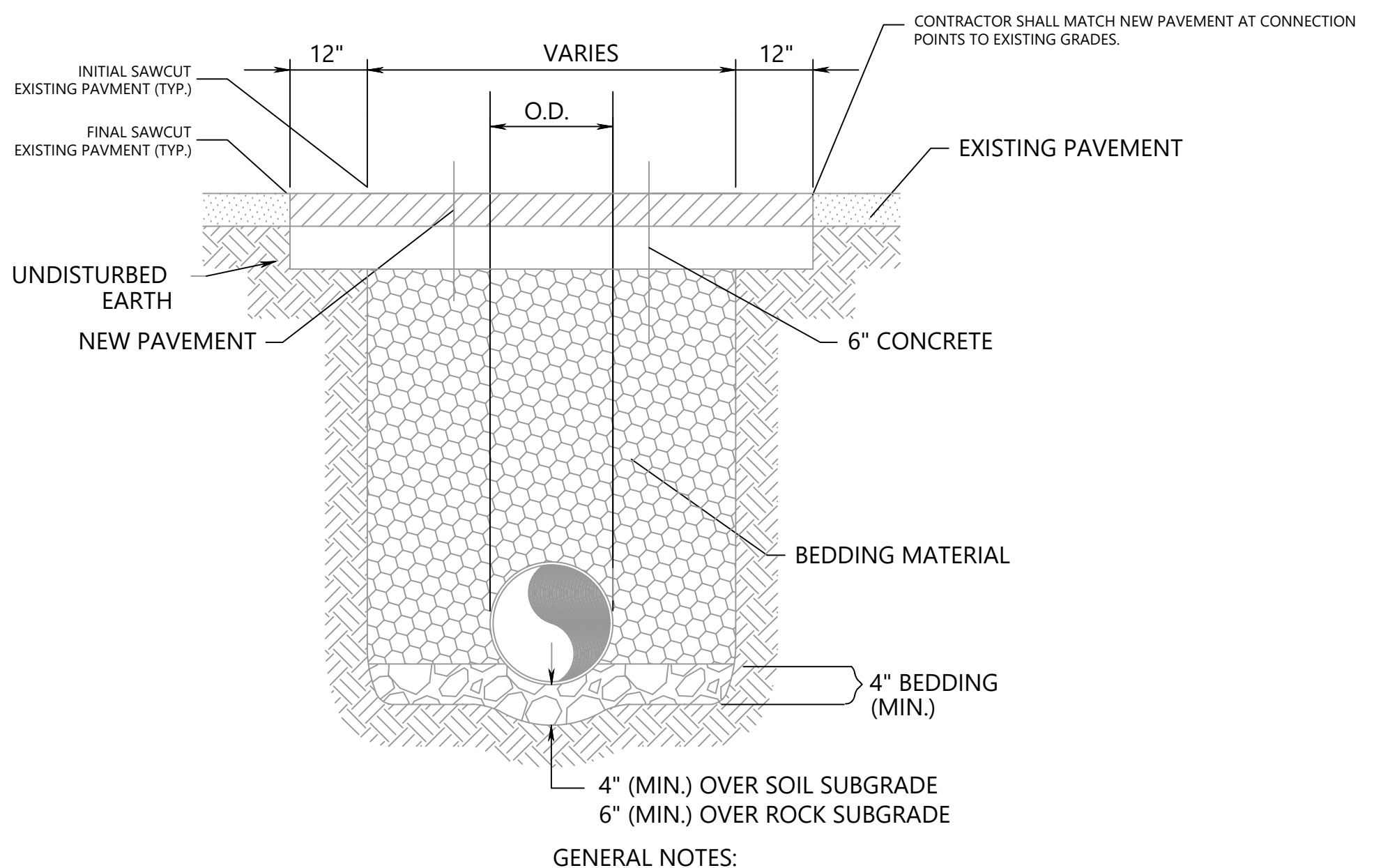
NO.	DATE	DESCRIPTION	BY	CHK	APP
1	08/29/2025	CIVIL ENGINEERING PLANS			
2	11/03/2025	CITY COMMENTS - FIRST REVIEW			
3	12/05/2025	NWFLWD COMMENTS - FIRST REVIEW			
4	12/10/2025	CITY COMMENTS - 2ND REVIEW			



1 TYPICAL DRIVEWAY CROSS-SECTION
 (C8.1) SCALE: N.T.S.

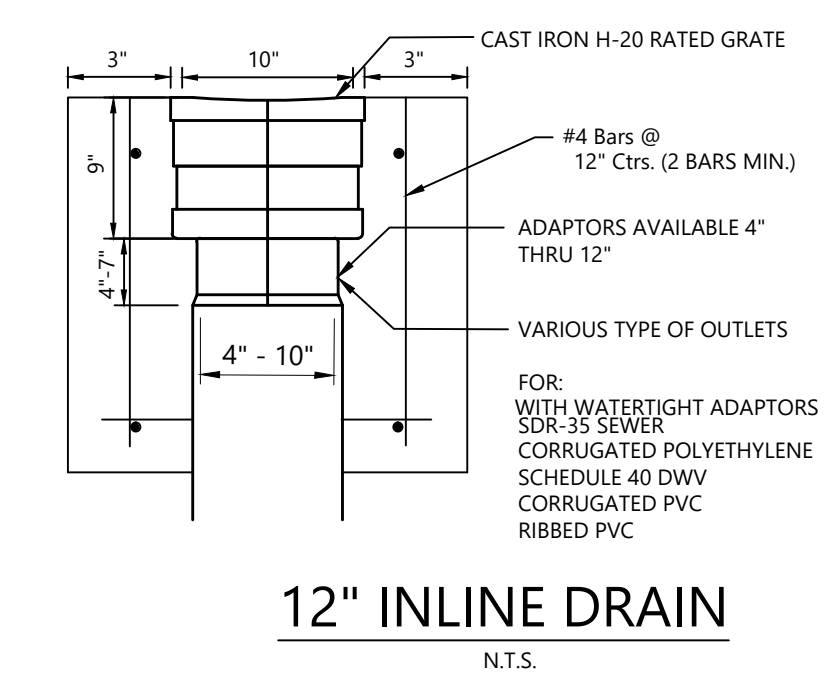
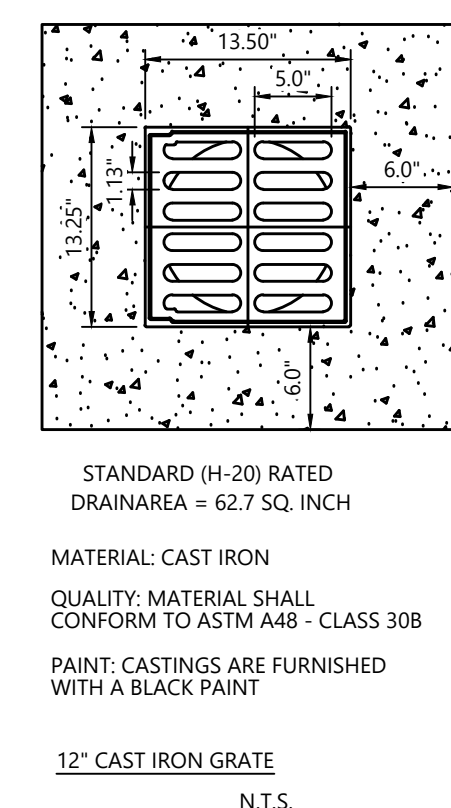


2 TYPICAL LOT GRADING
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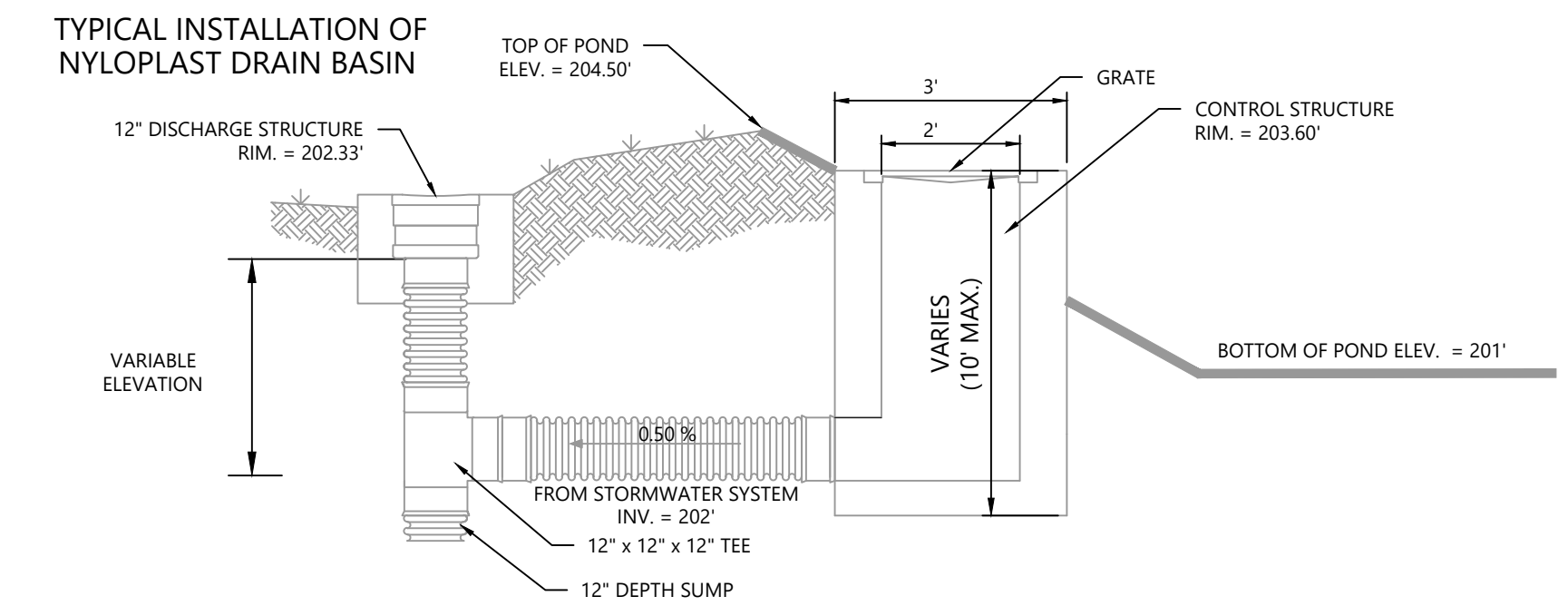


- GENERAL NOTES:**
- BEDDING MATERIAL SHALL BE GRANULAR MATERIAL COMPACTED IN 8" LOOSE LIFTS.
 - GRANULAR MATERIAL SHALL EXTEND 2 FEET PAST PAVEMENT UNDER TRAFFIC AREAS.
 - TRENCH AND BEDDING FOR BOTH MAIN AND SERVICE LINES.
 - IN TRAFFIC AREAS TRENCHES SHALL BE COMPLETELY BACKFILLED WITH COMPACTED CRUSHED STONE OR CHAT TO BOTTOM OF PAVEMENT ELEVATION.
 - TRENCHES GREATER THAN 5' IN DEPTH SHALL BE SLOPED, SHORED, SHEETED BRACED OR OTHERWISE SUPPORTED PER OSHA AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)
 - ALL INSPECTIONS MUST BE DONE PRIOR TO PAVEMENT BEING APPLIED.
 - FOR PIPE INSTALLATION, SAWCUT PAVEMENT THE WIDTH OF THE TRENCH. AFTER INSTALLATION, SAWCUT ADDITIONAL WIDTH FOR PAVEMENT REPLACEMENT.

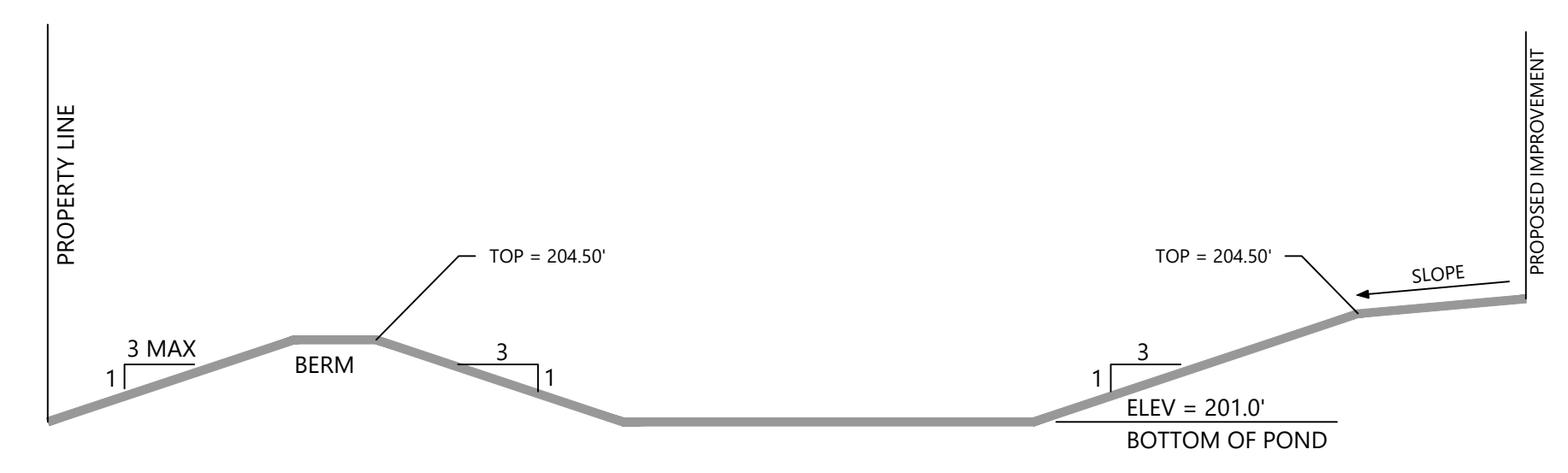
3 TRENCH UNDER PAVEMENT
 (C8.1) SCALE: N.T.S.



12" INLINE DRAIN
 N.T.S.



4 BUBBLE UP NYLOPLAST OUTLET STRUCTURE WITH CAST IRON GRATE DETAIL
 (C8.1) SCALE: N.T.S.



5 POND CROSS SECTION
 (C8.1) SCALE: N.T.S.

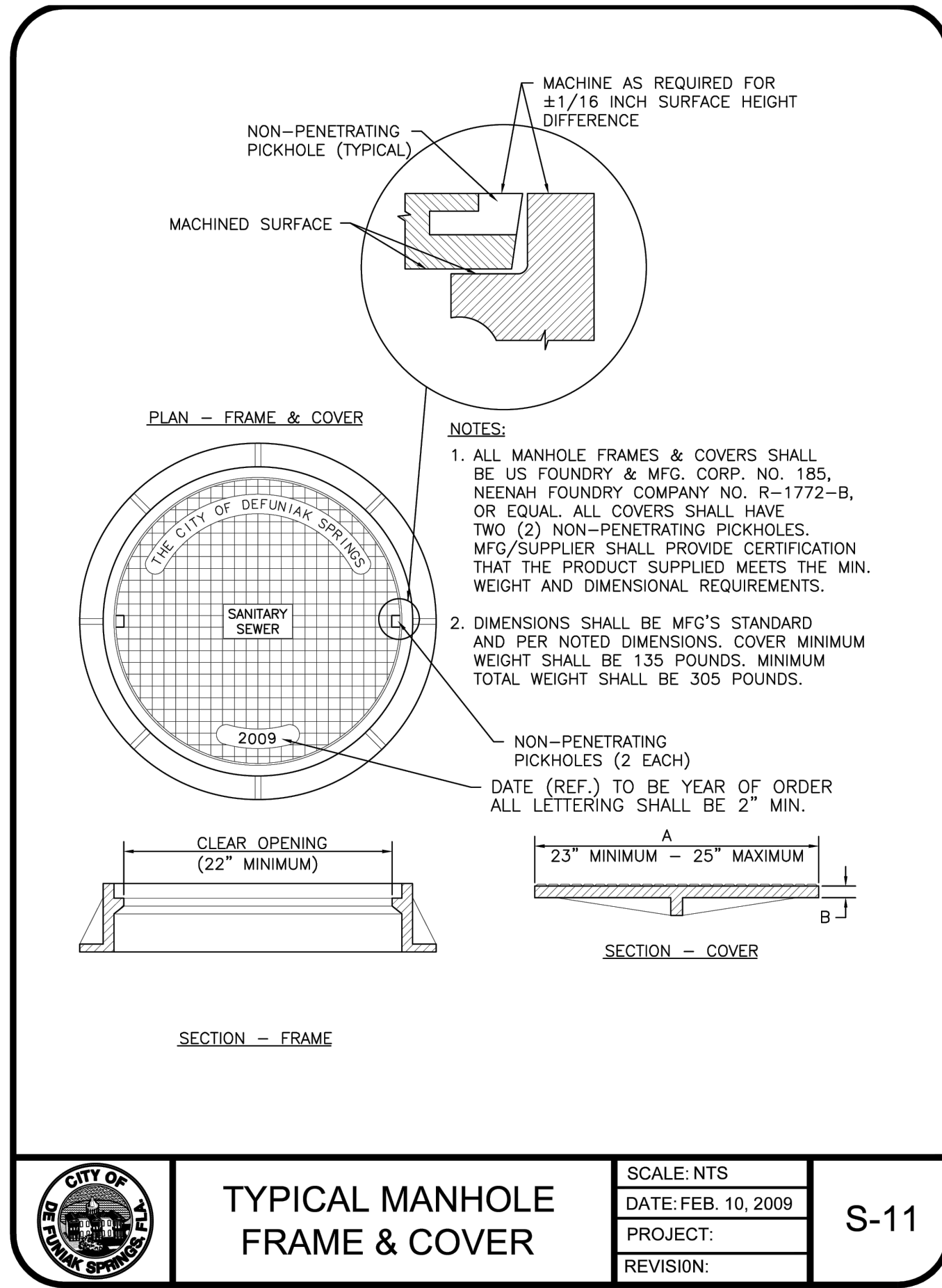
CIVIL PLANS
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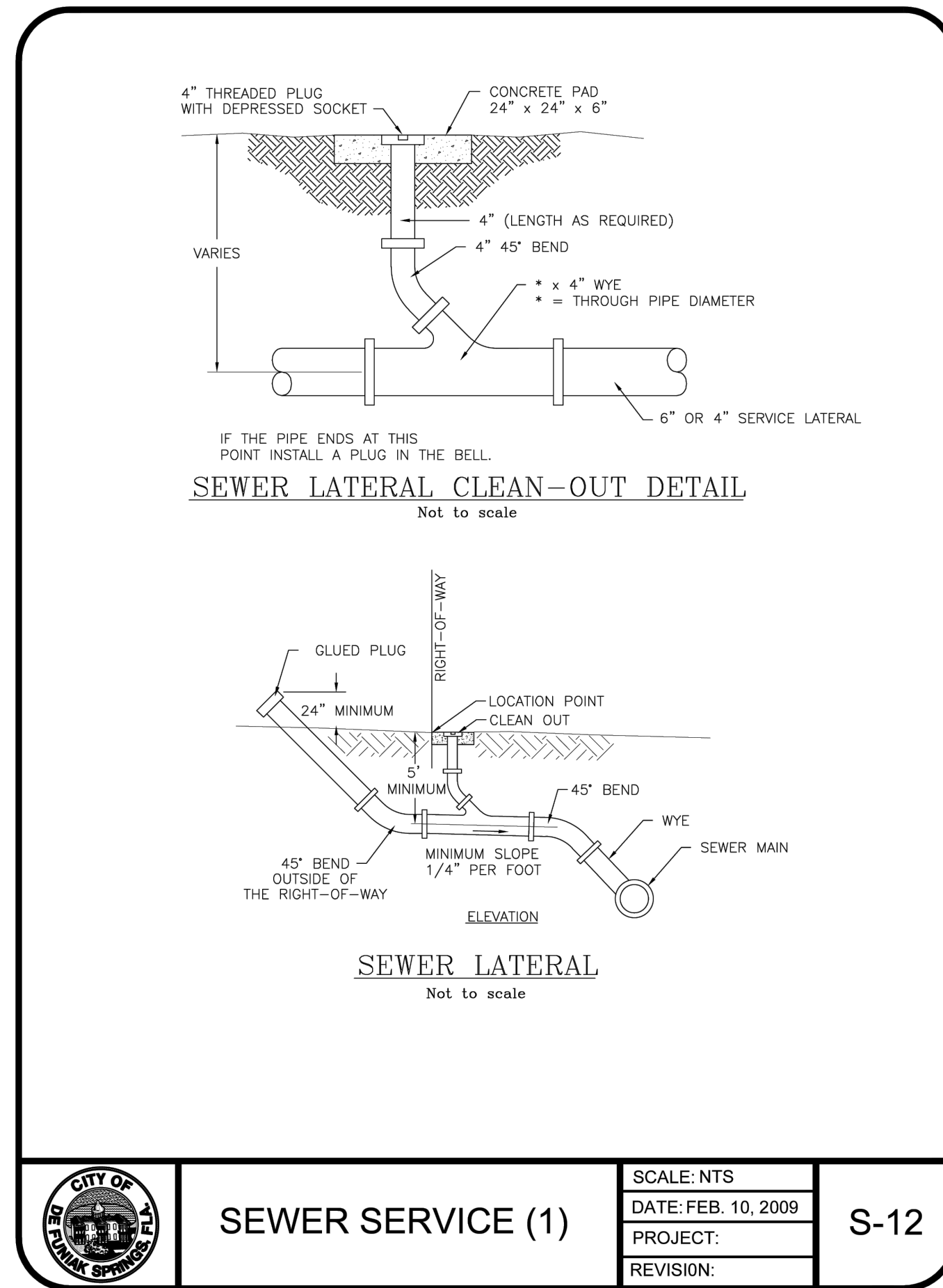
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SHEET NUMBER
 C8.1



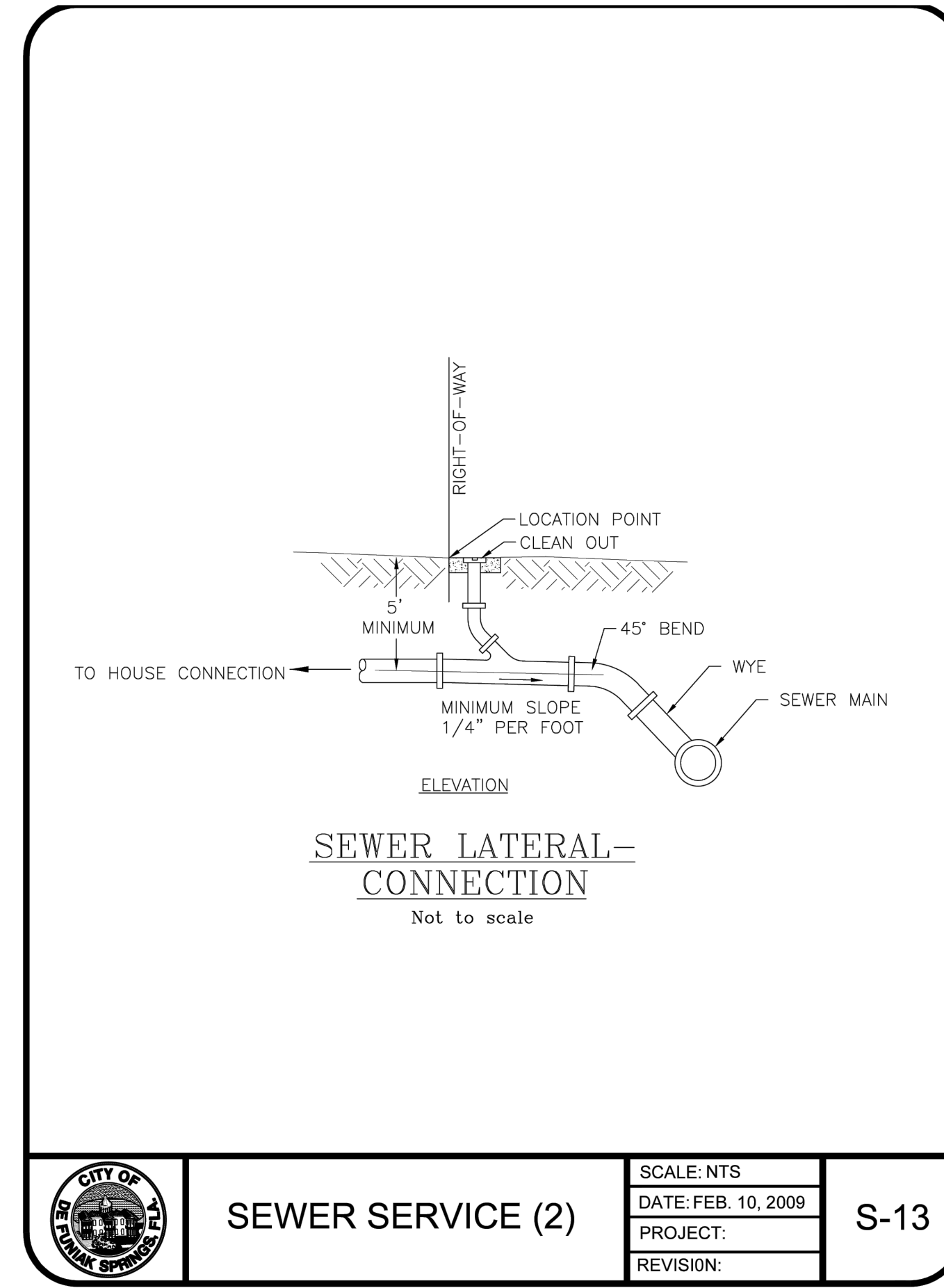
TYPICAL MANHOLE FRAME & COVER

S-11



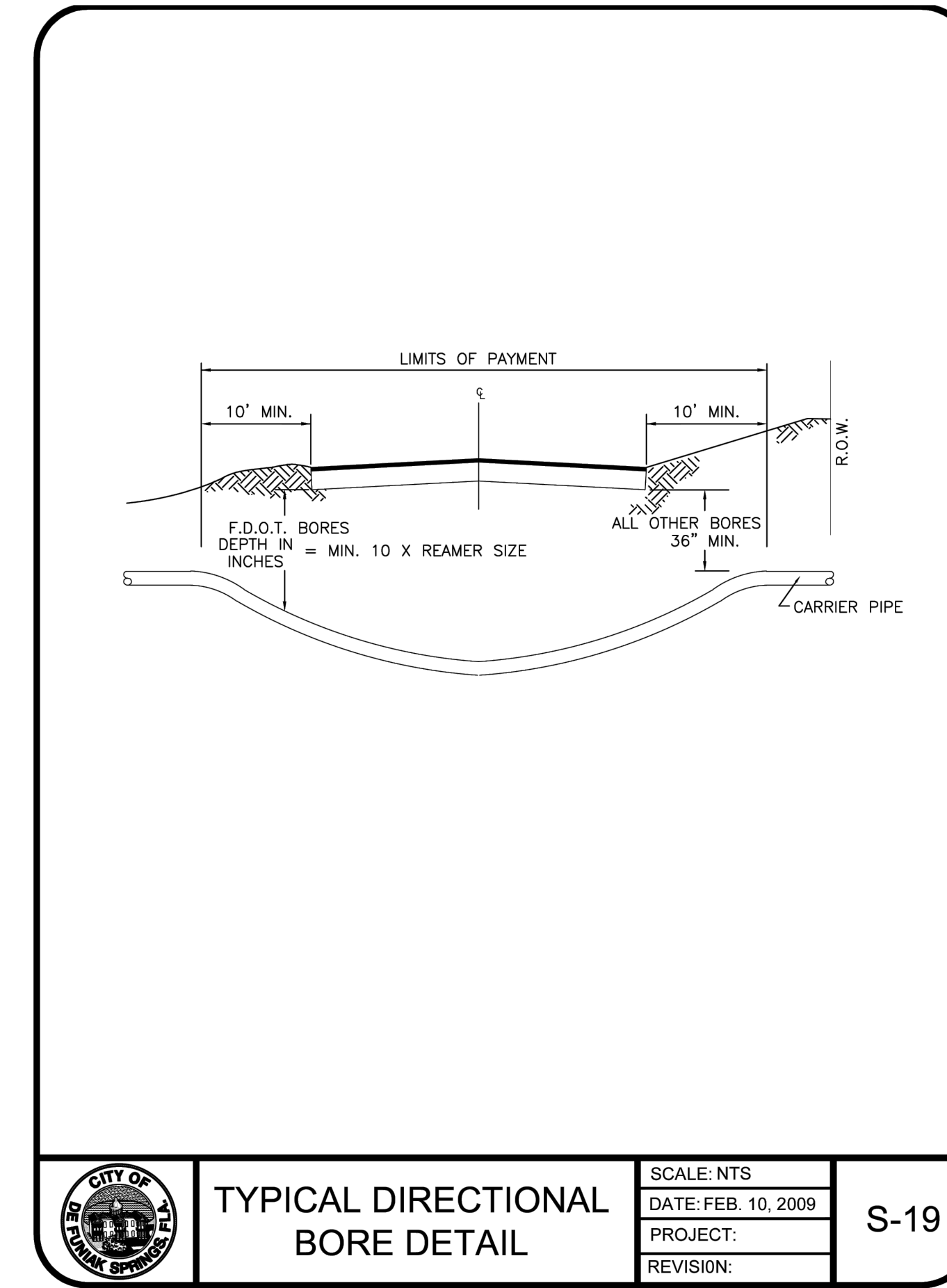
SEWER SERVICE (1)

S-12



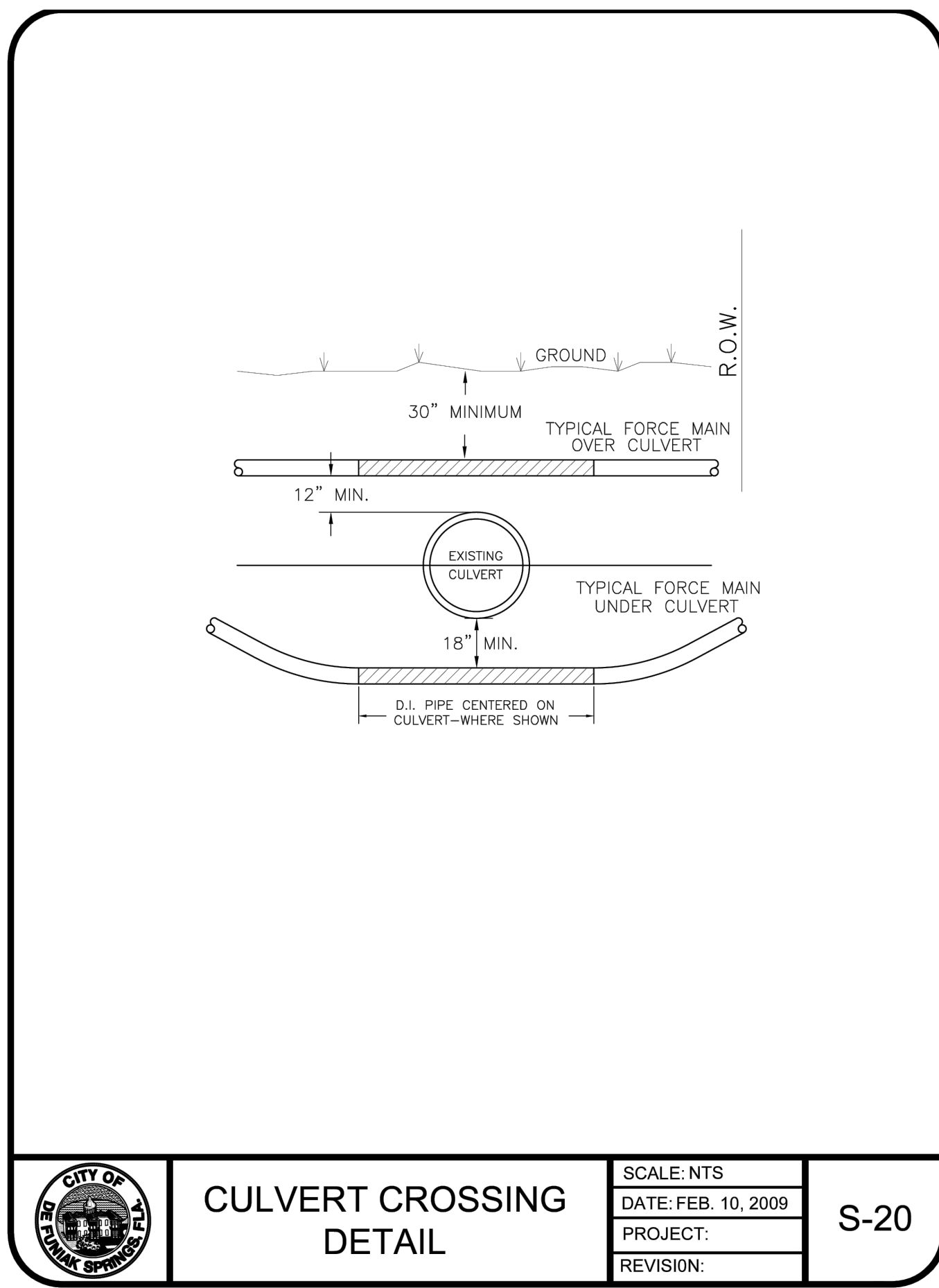
SEWER SERVICE (2)

S-13



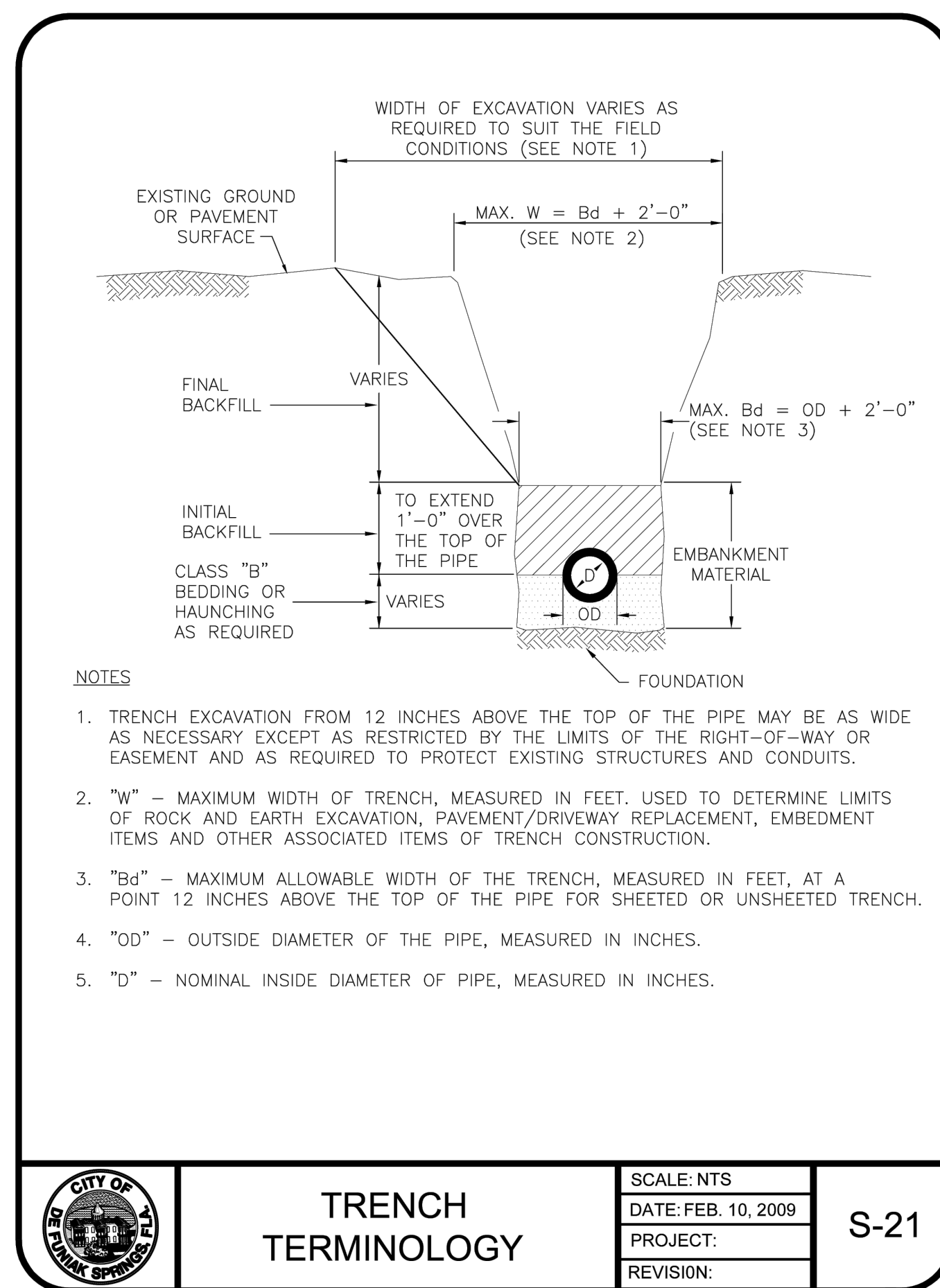
TYPICAL DIRECTIONAL BORE DETAIL

S-19



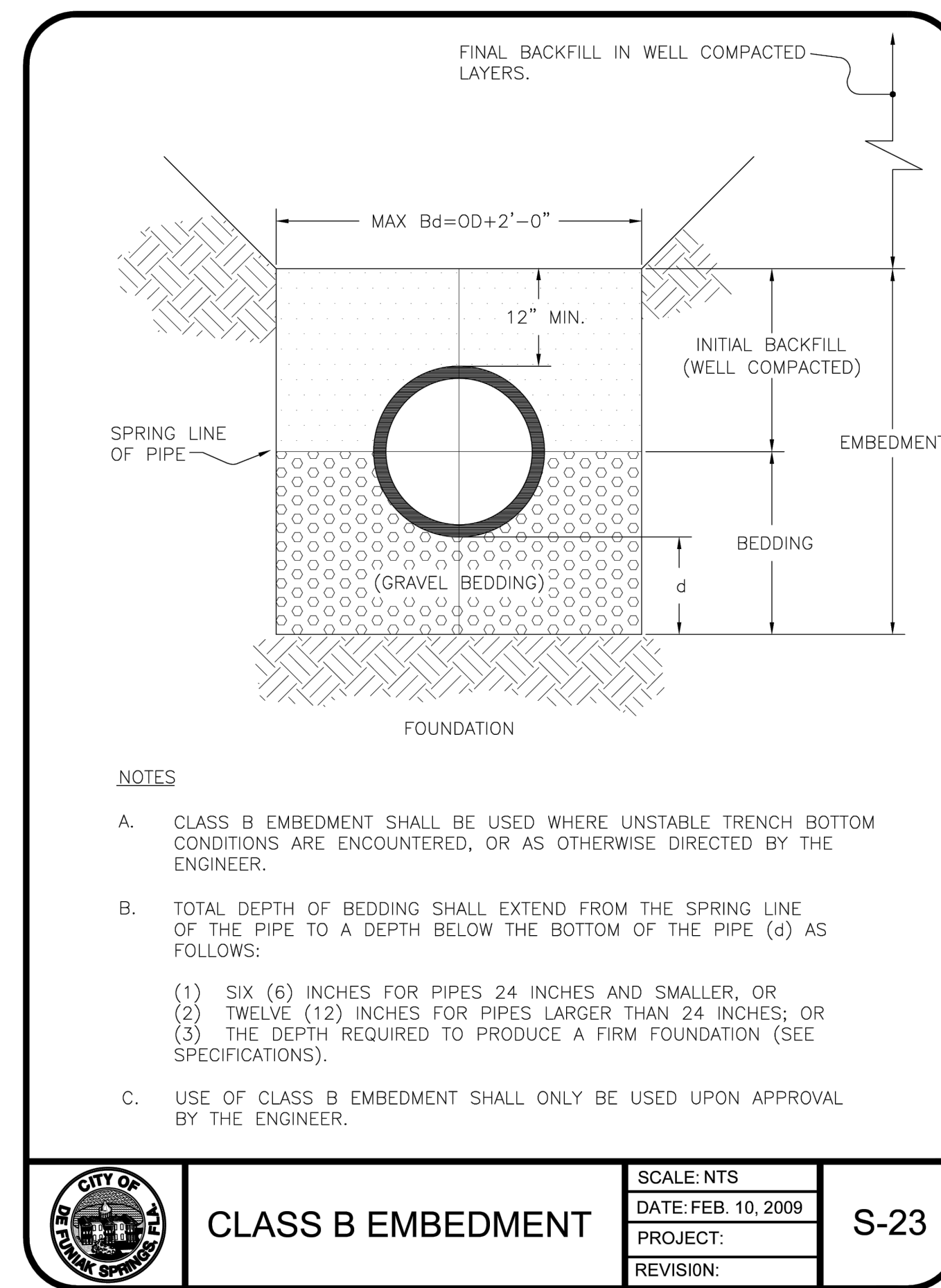
CULVERT CROSSING DETAIL

S-20



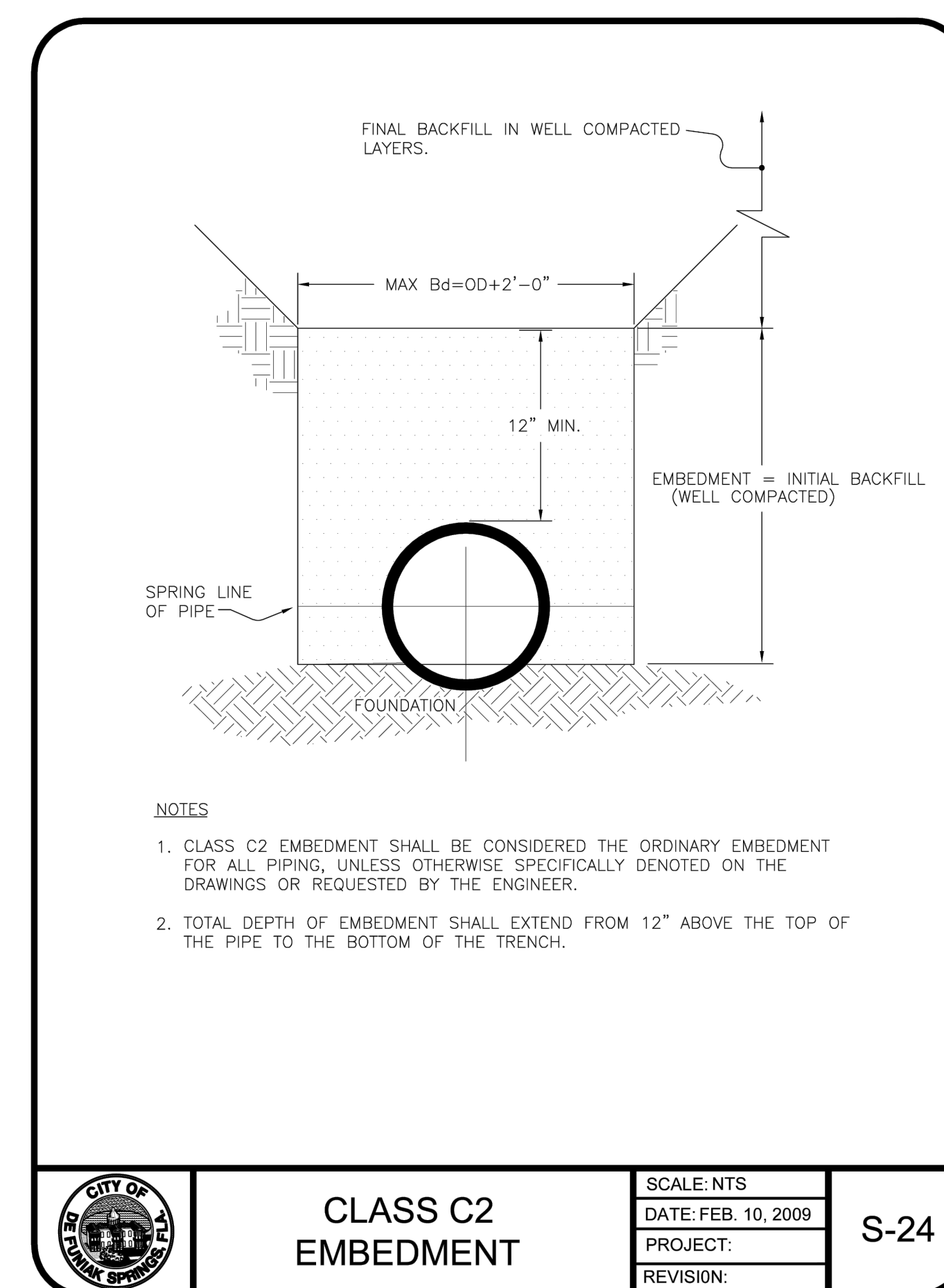
TRENCH TERMINOLOGY

S-21



CLASS B EMBEDMENT

S-23



CLASS C2 EMBEDMENT

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LJA
495 GRAND BOULEVARD
SUITE 206
MIRAMAR BEACH, FL 32550
850-446-4365

RYAN CULTON
LICENSE
No. 85751
STATE OF FLORIDA
PROFESSIONAL ENGINEER

ENGINEER OF RECORD
RYAN CULTON, PE
#85751

NO.	DATE	DESCRIPTION	BY	CHK	APP
1	08/29/2025				
	11/03/2025				

CIVIL PLANS
VAN AVENUE SUBDIVISION
VANN AVE, DEFUJIAK SPRINGS, FL 32433
25-3N-19-19070-001-624J

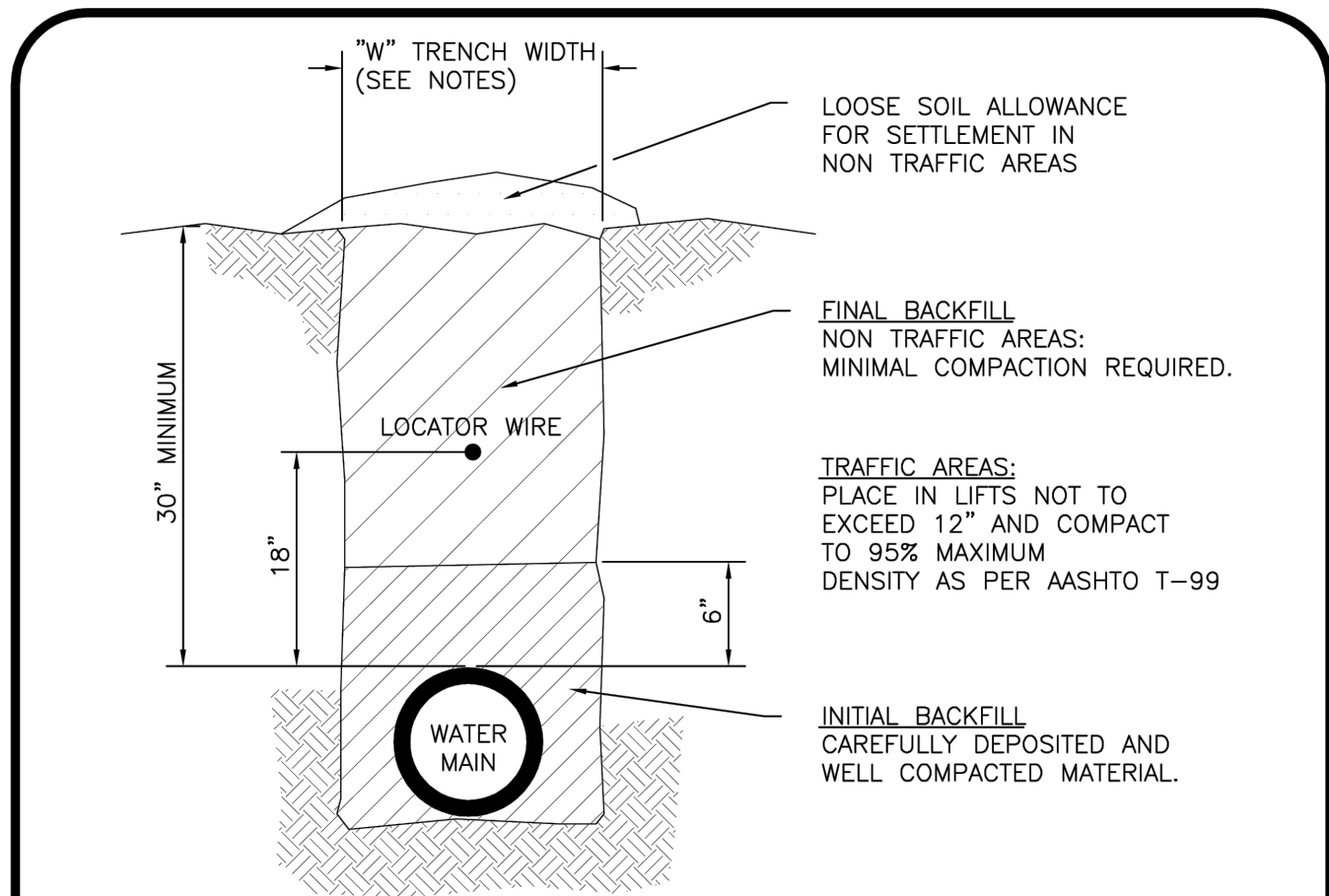
HABITAT FOR HUMANITY
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459

ISSUE DATE
08-29-2025

PROJECT NUMBER
FL7060-0008

SHEET TITLE
UTILITY DETAILS

SHEET NUMBER
C8.3



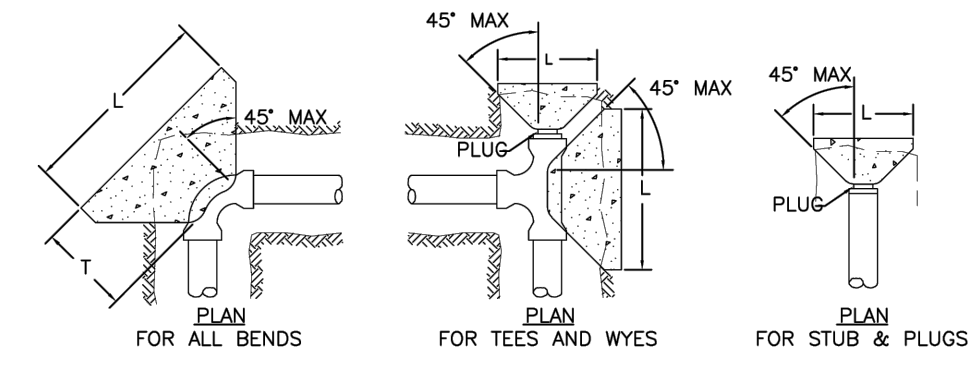
- NOTES:**
1. WIDTH OF THE TRENCH AT ANY POINT BELOW 6" ABOVE THE TOP OF THE PIPE SHALL BE SUFFICIENT TO PROVIDE ADEQUATE ROOM FOR JOINING THE PIPE AND FILLING AND COMPACTING THE SIDE FILLS. HOWEVER, IN NO CASE SHALL THIS WIDTH EXCEED THE OUTSIDE PIPE DIAMETER PLUS 2'-0".
 2. TRENCH EXCAVATION FROM 6" ABOVE THE TOP OF THE PIPE MAY BE AS WIDE AS NECESSARY EXCEPT AS RESTRICTED BY THE LIMITS OF THE RIGHT-OF-WAY OR EASEMENT AND AS REQUIRED TO PROTECT EXISTING STRUCTURES AND CONDUITS.
 3. **INITIAL BACKFILL** - GENERALLY, MATERIAL OBTAINED FROM THE TRENCH EXCAVATION. SOIL TYPES OF HIGHLY ORGANIC SOILS OR HIGHLY PLASTIC EXPANSIVE CLAYS SHALL NOT BE USED. INITIAL BACKFILL SHALL BE COMPACTED TO UNIFORMLY DEVELOP LATERAL SOIL FORCES DURING THE BACKFILL OPERATION.
 4. **FINAL BACKFILL** - GENERALLY, MATERIAL OBTAINED FROM THE TRENCH EXCAVATION WITH MAXIMUM SIZE OF STONE NOT TO EXCEED SIX (6") INCHES.
 5. ALL PVC PIPES SHALL HAVE AN INSULATED 10 GAUGE SOLID COPPER LOCATOR WIRE INSTALLED 18" ABOVE THE WATER MAIN.

CITY OF PALM BEACH

TRENCH DETAIL

SCALE: NTS
DATE: FEB. 09, 2009
PROJECT:
REVISION:

W-1



CLAY SOIL ANCHOR BLOCK TYPE

PIPE	TEES	PLUGS	90°	45°	<45°
6"	B	B	B	A	A
8"	D	D	D	B	B
10"	E	E	E	C	C
12"	F	F	F	D	D

SANDY SOIL ANCHOR BLOCK TYPE

PIPE	TEES	PLUGS	90°	45°	<45°
6"	C	C	D	C	A
8"	F	F	F	D	C
10"	G	G	G	F	E
12"	H	H	H	G	E

ANCHOR BLOCK DIMENSIONS

TYPE	L	H	T
A	2.0	2.0	2.0
B	2.0	3.0	2.0
C	3.0	3.0	3.0
D	4.0	3.0	3.0
E	4.0	4.0	3.0
F	5.0	5.0	4.0
G	7.0	7.0	5.0

NOTES:

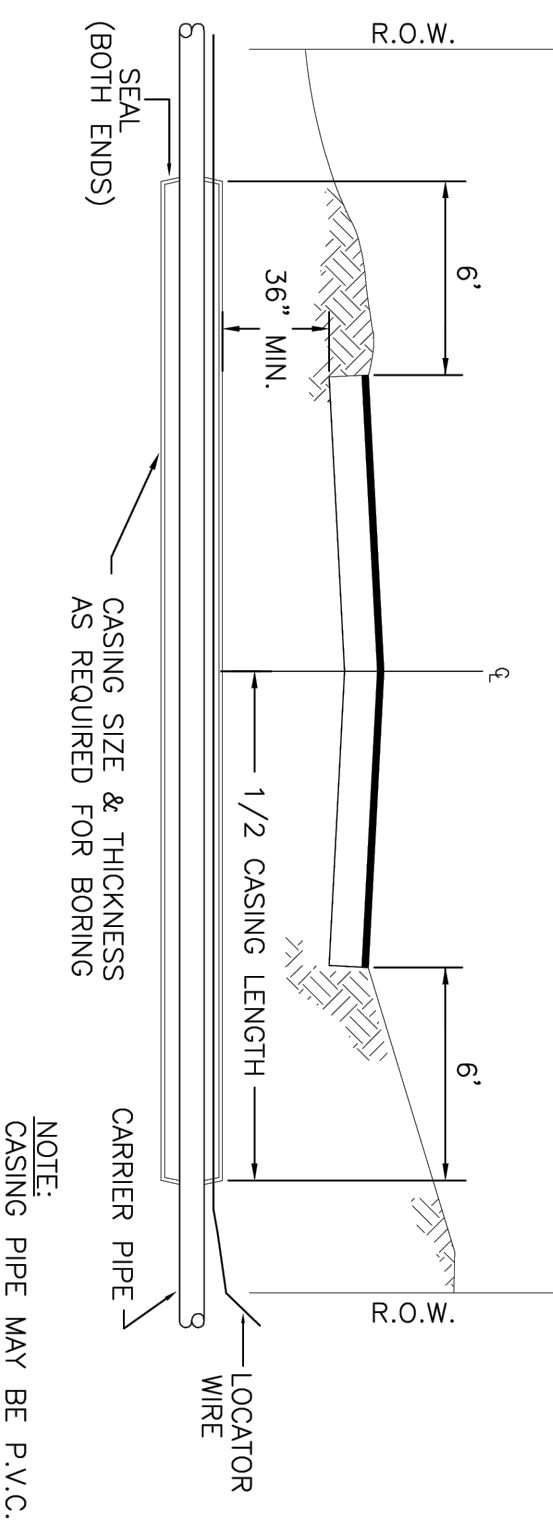
1. ANCHOR BLOCKS SHALL BEAR ON UNDISTURBED EARTH.
2. ALL FITTINGS SHALL BE WRAPPED IN 6 MIL PLASTIC TO PREVENT THE CONCRETE FROM BONDING TO THE FITTING.
3. IN NO CASE SHALL THE PIPE BE ENCASED WITH CONCRETE. CONCRETE SHALL NOT BE PLACED SO AS TO RENDER THE PIPE AND FITTING INACCESSIBLE.
4. CONCRETE SHALL BE MIN. 3000 PSI.

CITY OF PALM BEACH

THRUST BLOCKING

SCALE: NTS
DATE: FEB. 09, 2009
PROJECT:
REVISION:

W-2

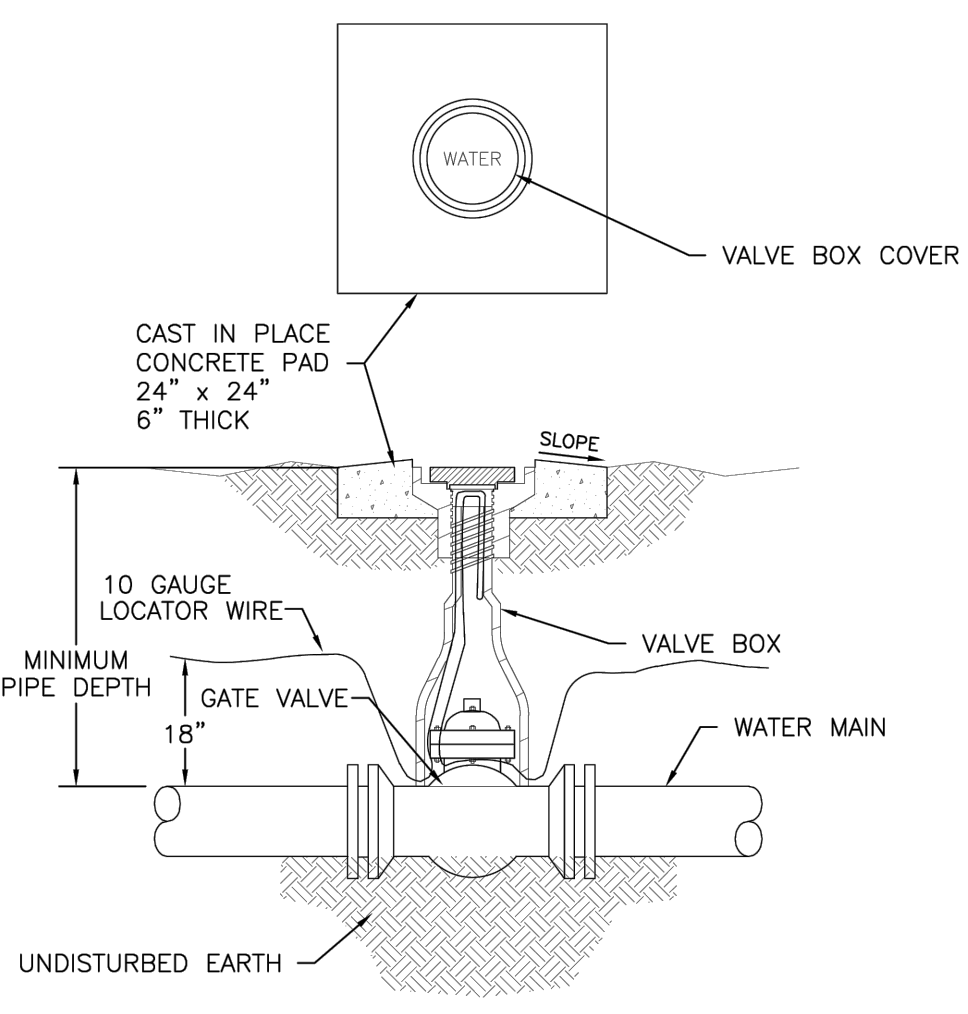


CITY OF PALM BEACH

UNSPECIFIED BORE CASE

SCALE: NTS
DATE: FEB. 09, 2009
PROJECT:
REVISION:

W-3



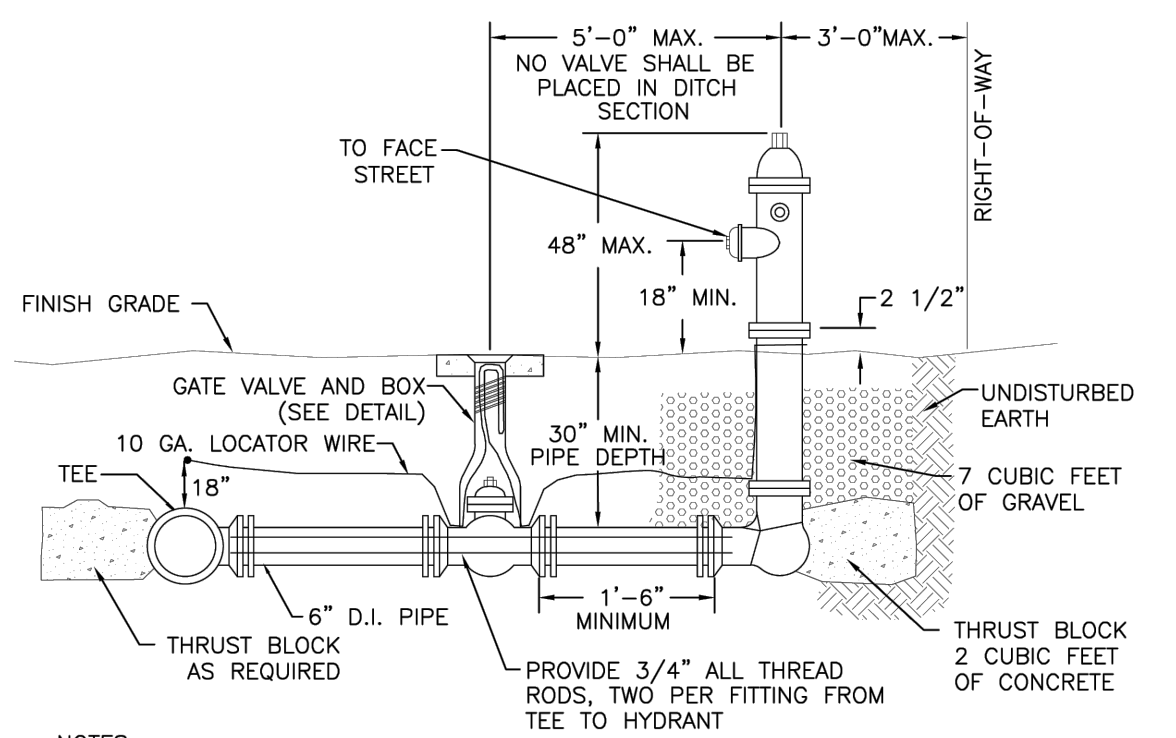
- NOTES:**
1. THE LOCATOR WIRE SHALL BE LOOPED THRU VALVE BOX TO EXTEND 10" ABOVE GROUND LINE.
 2. ALL PADS SHALL BE POURED IN PLACE.

CITY OF PALM BEACH

GATE VALVE & BOX

SCALE: NTS
DATE: FEB. 09, 2009
PROJECT:
REVISION:

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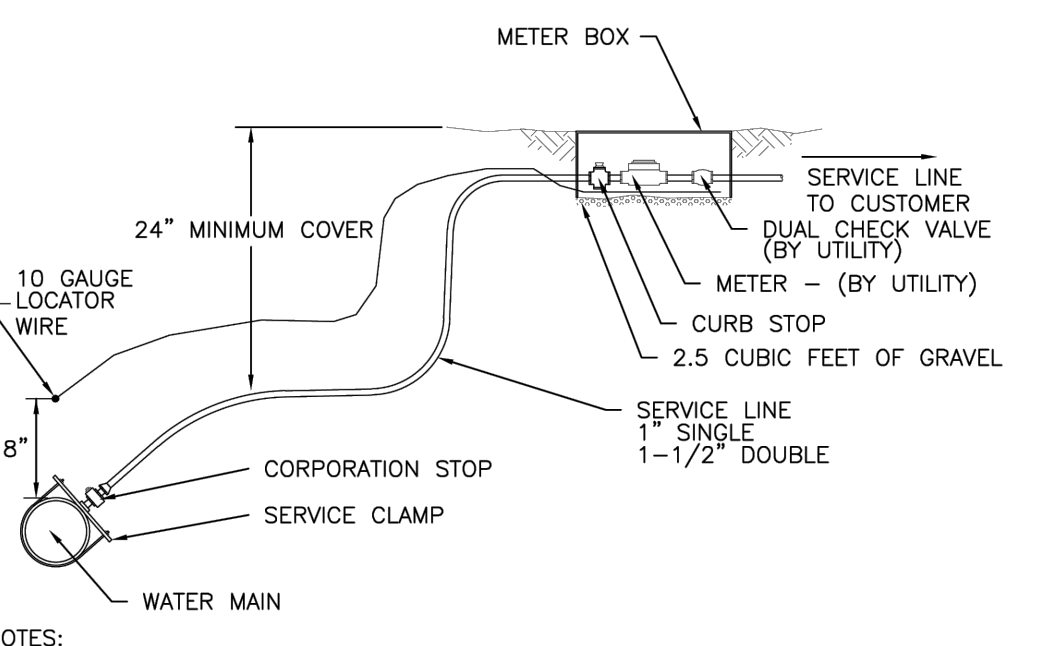
- NOTES:**
1. ALL HYDRANTS SHALL BE LOCATED WITHIN 5 FEET OF THE RIGHT-OF-WAY UNLESS OTHERWISE SHOWN OR DIRECTED ON LOT LINES.
 2. ALL FIRE HYDRANT PIPE LEGS AND LATERALS SHALL BE DUCTILE IRON CLASS 50.
 3. THE CONTRACTOR SHALL PROVIDE ALL ADAPTORS, GLANDS, GATE VALVE AND BOX AND OTHER FITTINGS REQUIRED TO PROPERLY INSTALL THE FIRE HYDRANT AS SHOWN.
 4. ADD SPOOL PIECES TO ADJUST TO EXISTING GRADE.
 5. INSTALL A LOCATOR WIRE FROM THE WATER MAIN THROUGH THE VALVE BOX TO THE FIRE HYDRANT, LOOP AROUND THE HYDRANT BASE.
 6. CONCRETE THRUST BLOCK SHALL NOT OBSTRUCT THE HYDRANT DRAIN HOLE.

CITY OF PALM BEACH

FIRE HYDRANT ASSEMBLY

SCALE: NTS
DATE: FEB. 09, 2009
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REVISION:

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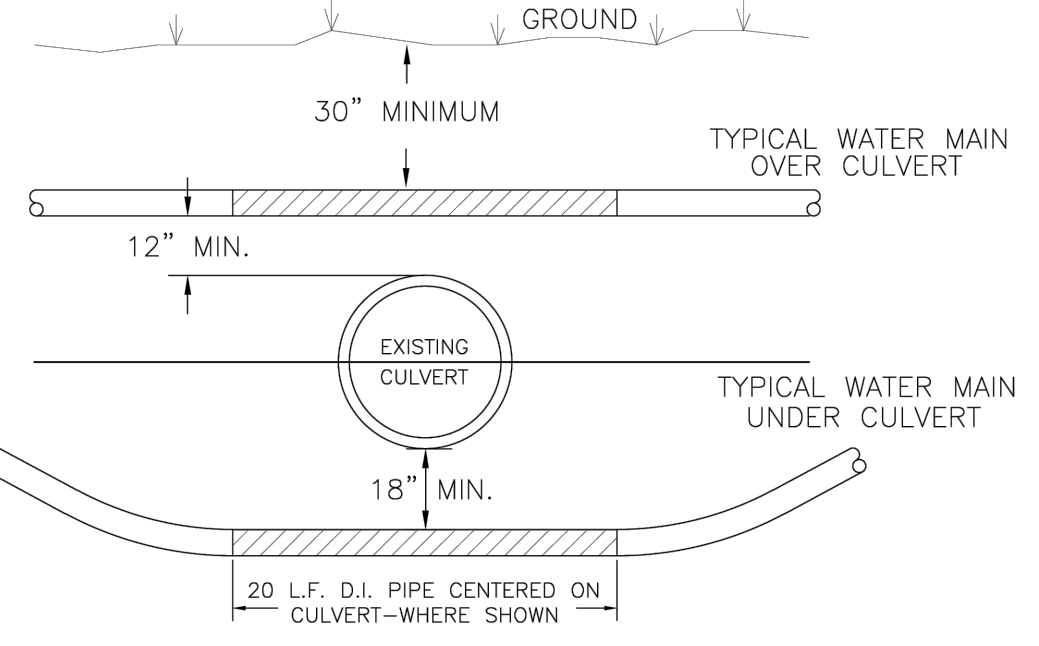
- NOTES:**
1. BASE SERVICE CONNECTION SHALL INCLUDE CURB STOP AND METER BOX LOCATED APPROXIMATELY 1' INSIDE OF THE RIGHT-OF-WAY LINE.
 2. CUSTOMER SERVICE LINE BY OTHERS.
 3. SERVICE CLAMPS ARE NOT REQUIRED WHEN THREADED TAPS ARE MADE TO DUCTILE IRON OR STEEL WATER MAINS.
 4. INSTALL LOCATOR WIRE FROM WATER MAIN TO METER BOX.
 5. WATER SERVICE SHALL BE CLEARLY AND ACCURATELY MARKED ON THE CURB LINE. (IF APPLICABLE)
 6. THE SERVICE LINE SHALL HAVE BRONZE COMPRESSION TYPE FITTINGS.
 7. SERVICE LINE UNDER PAVEMENT SHALL BE CASED WITH APPROPRIATE SIZE TO SERVICE LINE & EXTENDED 2" BEYOND EDGE OF PAVEMENT. (BOTH SIDES) P.V.C. CASING MAY BE USED, EXCEPT ON D.O.I. R.O.W.

CITY OF PALM BEACH

SERVICE CONNECTION

SCALE: NTS
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PROJECT:
REVISION:

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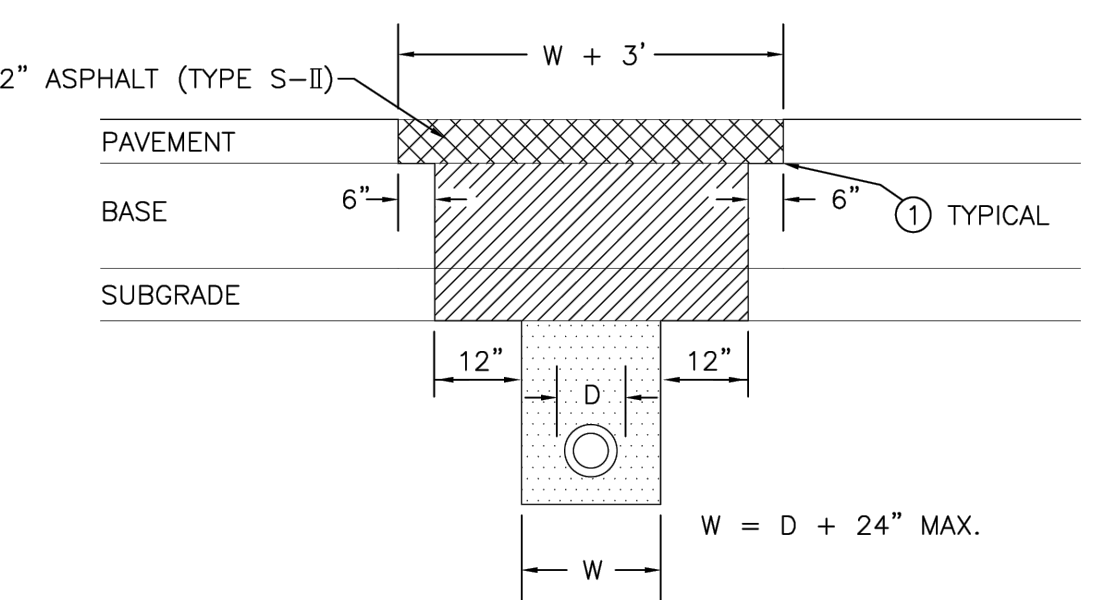


CITY OF PALM BEACH

CULVERT CROSSING

SCALE: NTS
DATE: FEB. 09, 2009
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REVISION:

W-9



- NOTES:**
1. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED OR CUT WITH PNEUMATIC CHISEL.
 2. SURFACE TREATMENT PAVEMENT JOINT SHALL BE LAPPED AND FEATHERED.
 3. SUBGRADE AND BACKFILL TO BE COMPACTED 95% AASHTO T-180, BASE 100% AASHTO T-99.

CITY OF PALM BEACH

PAVEMENT PATCH DETAIL

SCALE: NTS
DATE: FEB. 09, 2009
PROJECT:
REVISION:

W-10

NO.	DATE	BY	CHK	APP	DESCRIPTION
1	08/29/2025				
	11/03/2025				

CIVIL PLANS

VAN AVENUE SUBDIVISION

VANN AVE, DEFUJIAK SPRINGS, FL 32433
25-3N-19-19070-001-624J

HABITAT FOR HUMANITY
CONTACT: JAY WOERNER
2440 US HWY 98
SANTA ROSA BEACH, FL 32459

ISSUE DATE
08-29-2025

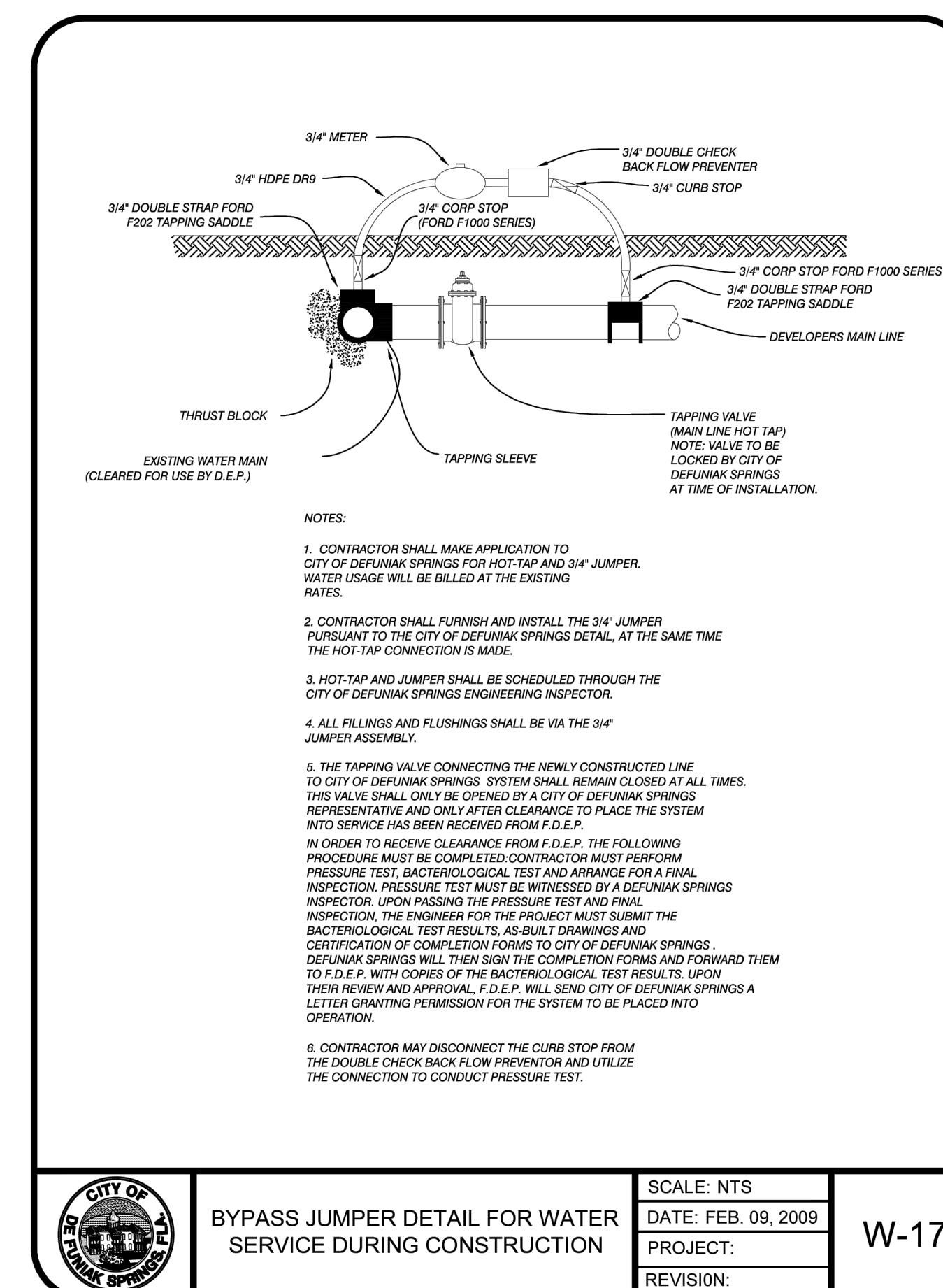
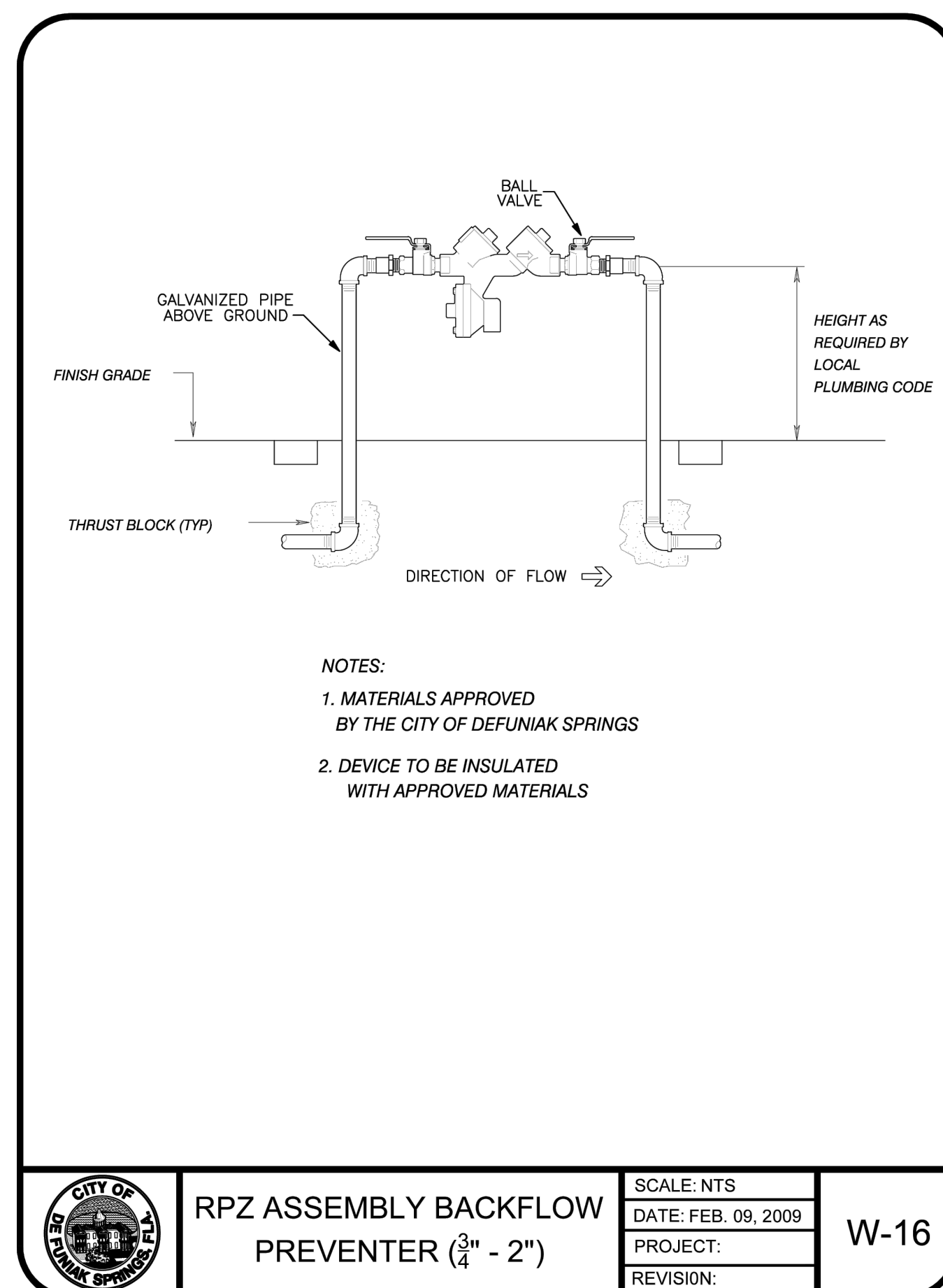
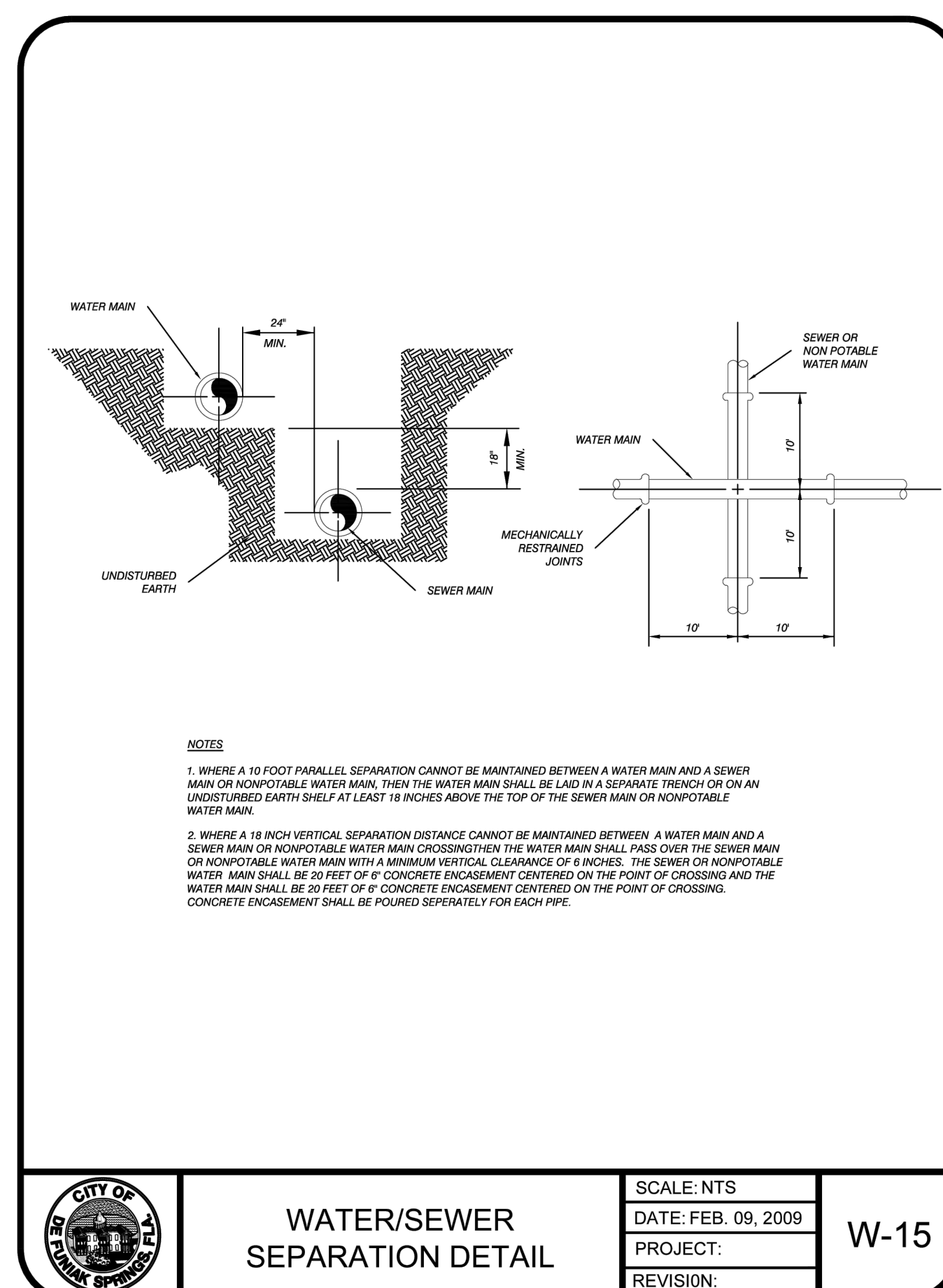
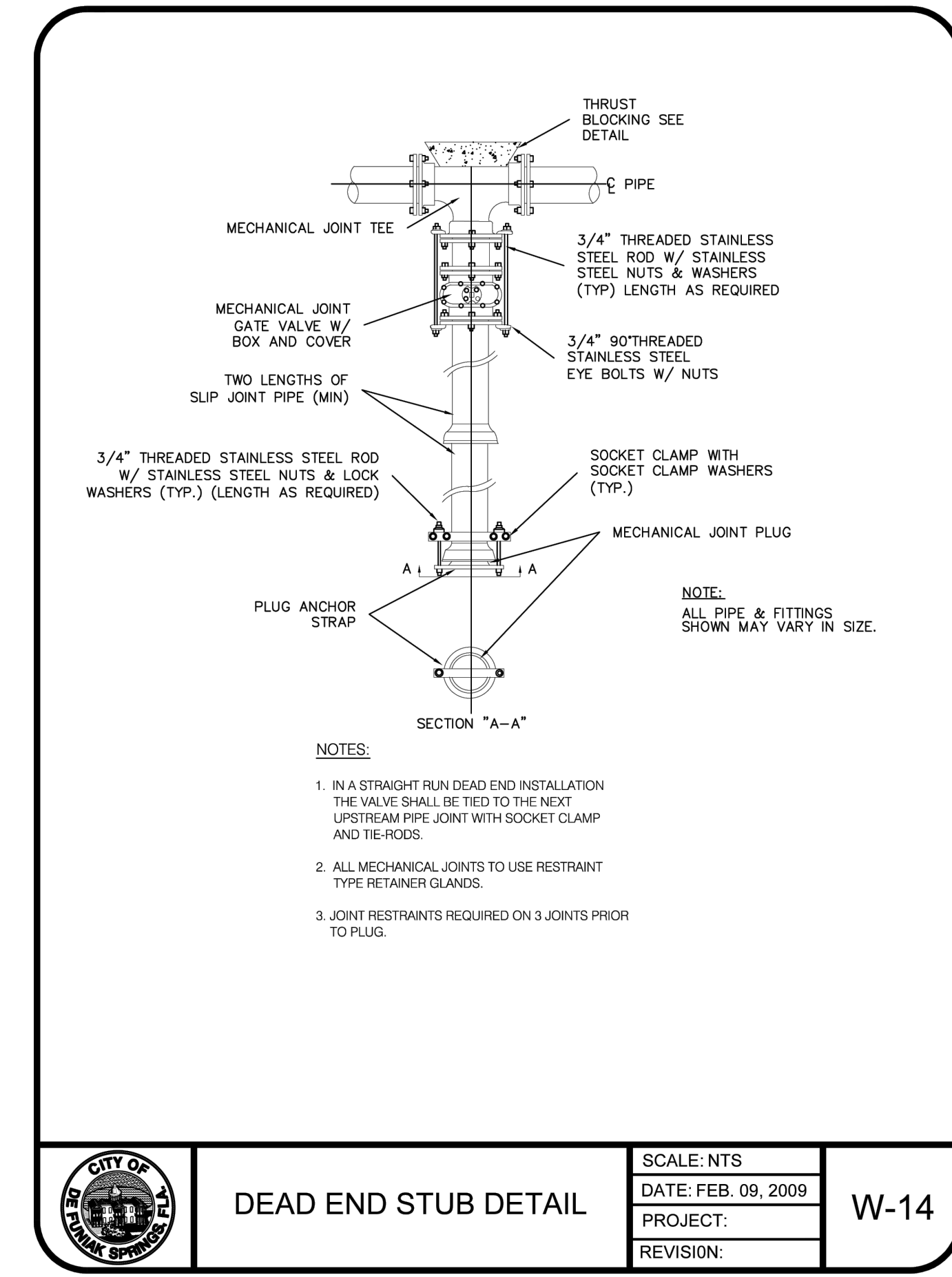
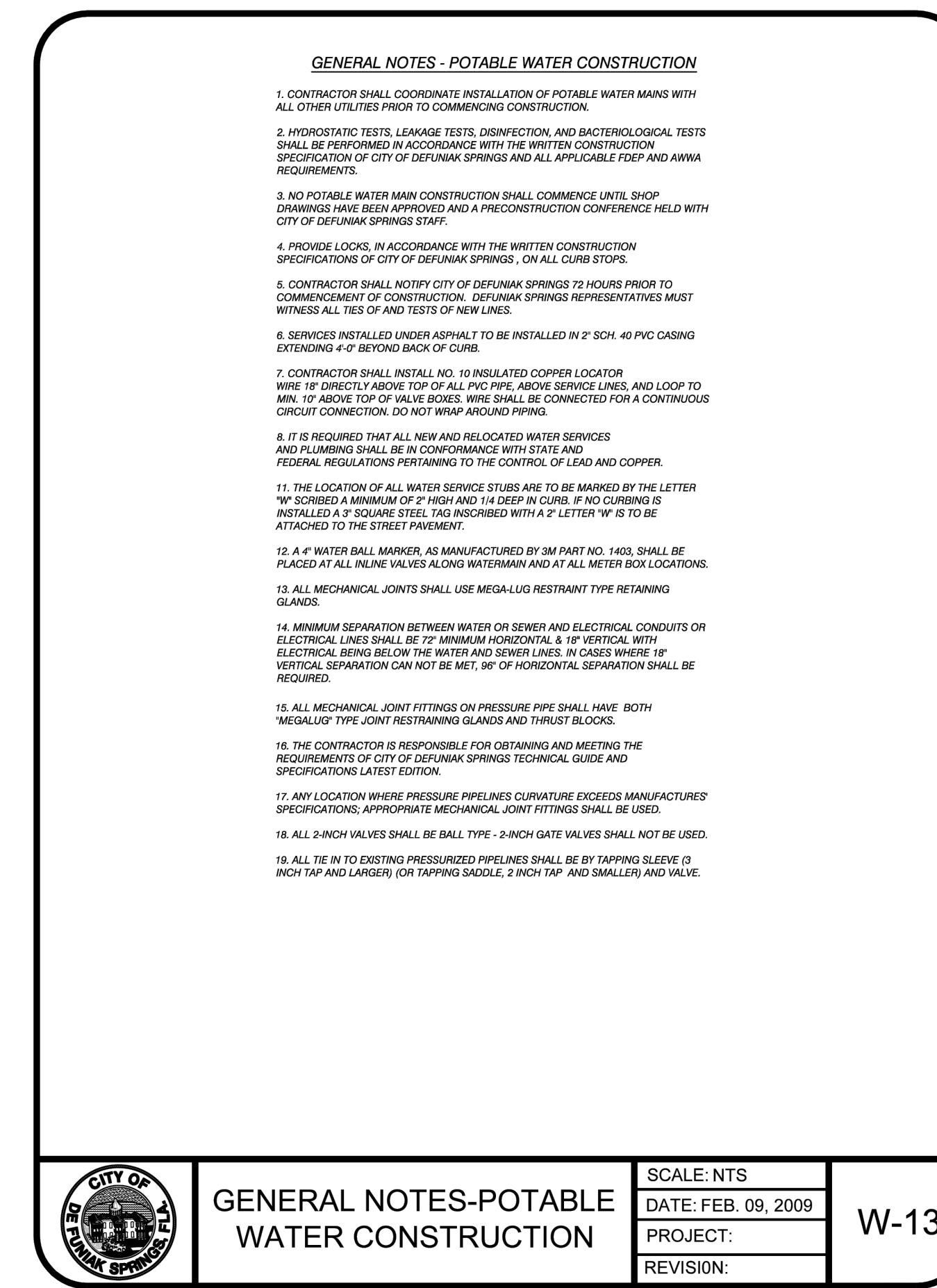
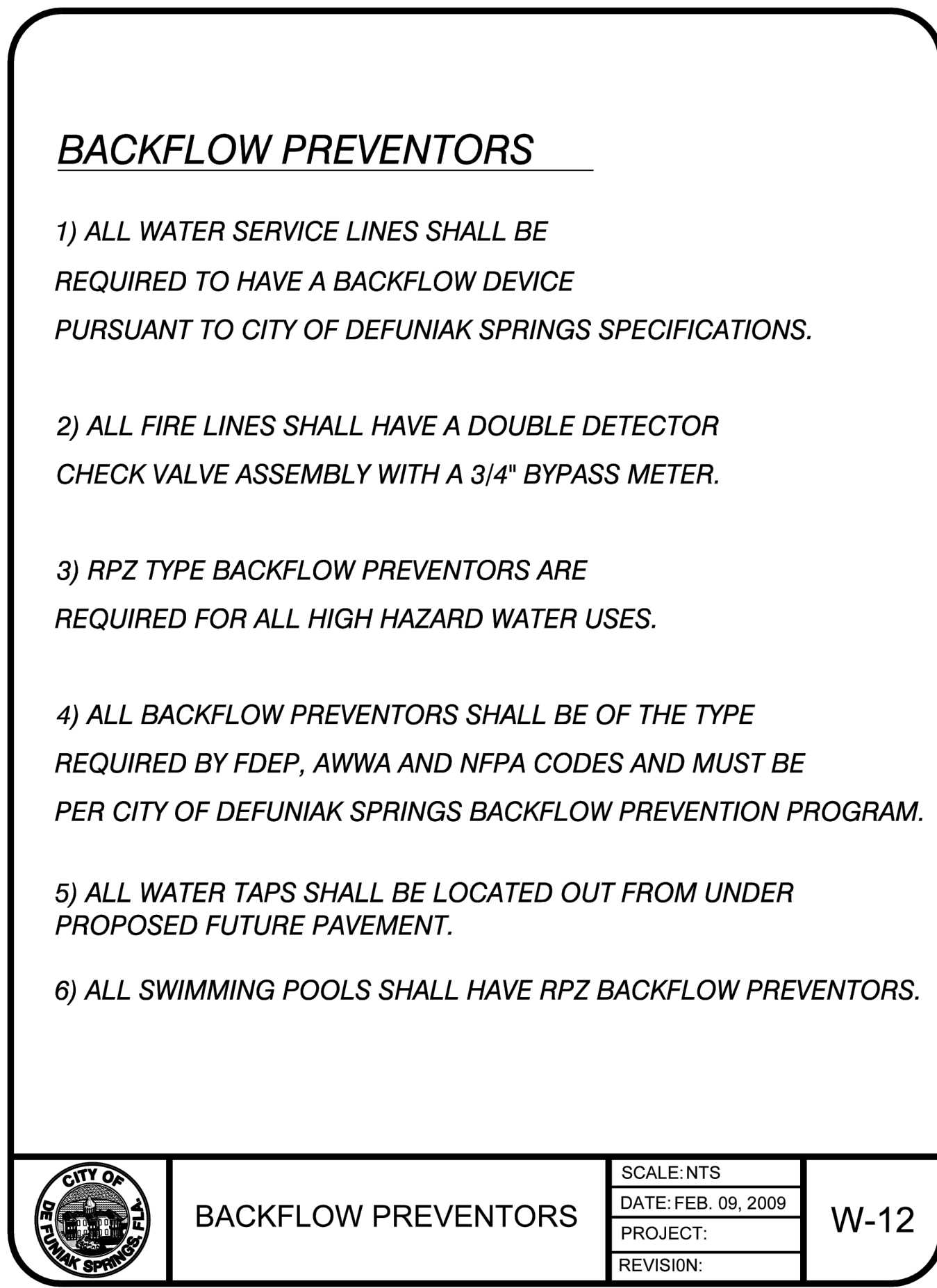
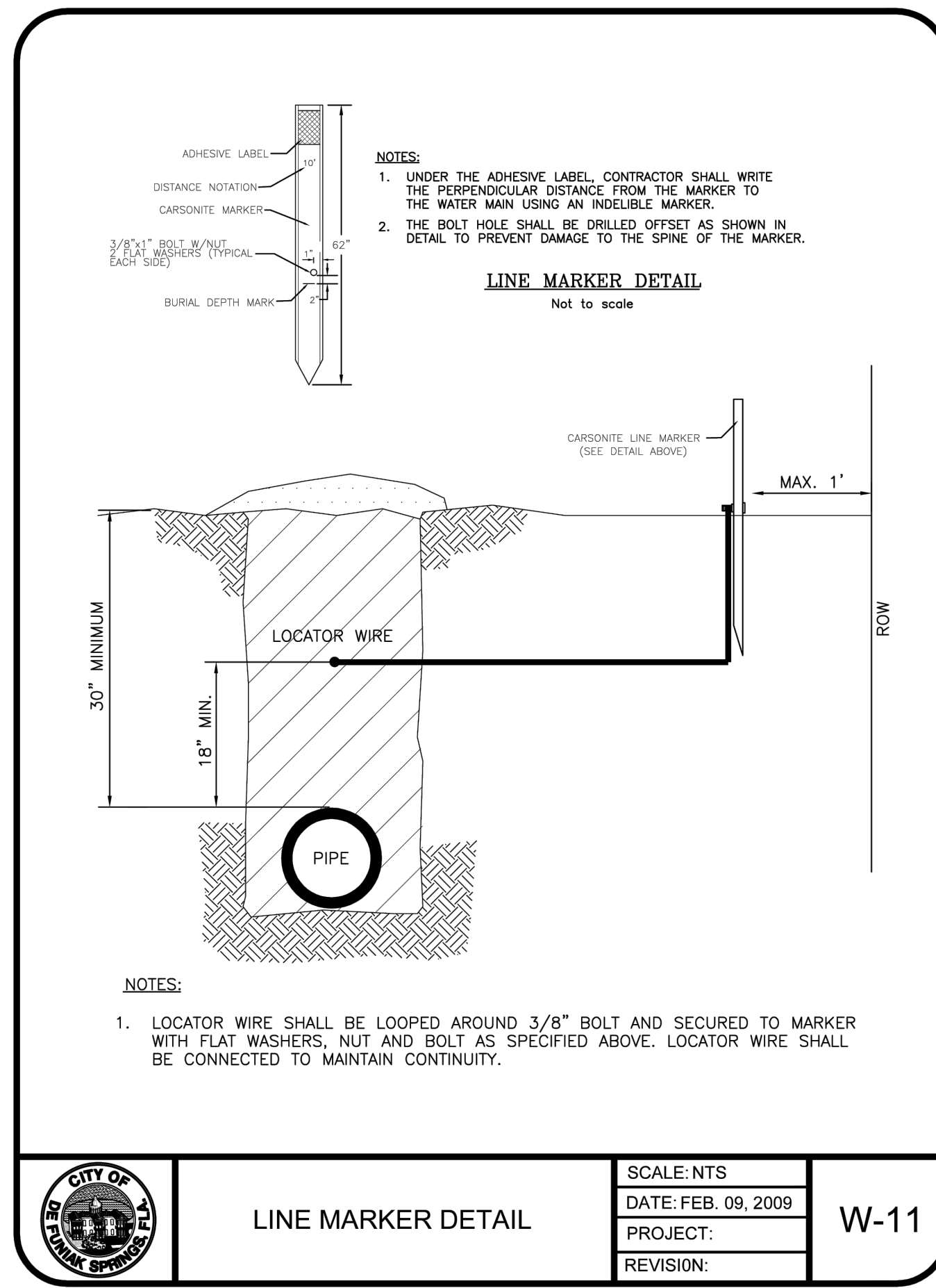
PROJECT NUMBER
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SHEET TITLE

UTILITY DETAILS

SHEET NUMBER

C8.4



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495 GRAND BOULEVARD
SUITE 206
MIRAMAR BEACH, FL 32550
850-446-4365

STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 85751
RYAN CULTON, PE
#85751

CW	CW	BY	CHK	APV
CW	CW			
MP	MP			
CIVIL ENGINEERING PLANS				
CITY COMMENTS - FIRST REVIEW				
08/29/2025	11/03/2025			
NO.	DATE			

CIVIL PLANS
VAN AVENUE SUBDIVISION
VANN AVE, DEFUNIAK SPRINGS, FL 32433
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